

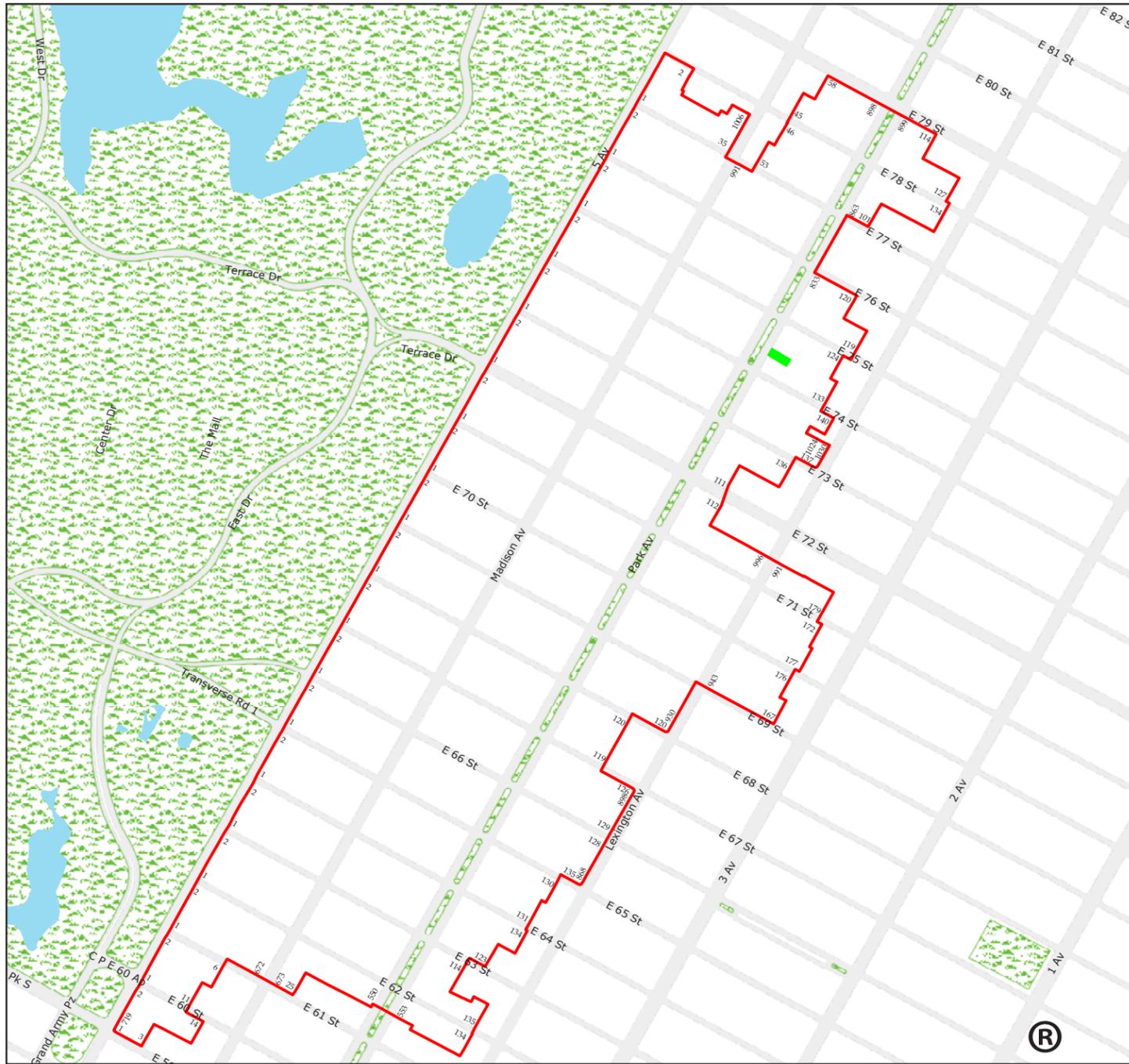
807 Park Avenue
Landmarks Preservation Commission
March 24th, 2015



PBDW ARCHITECTS

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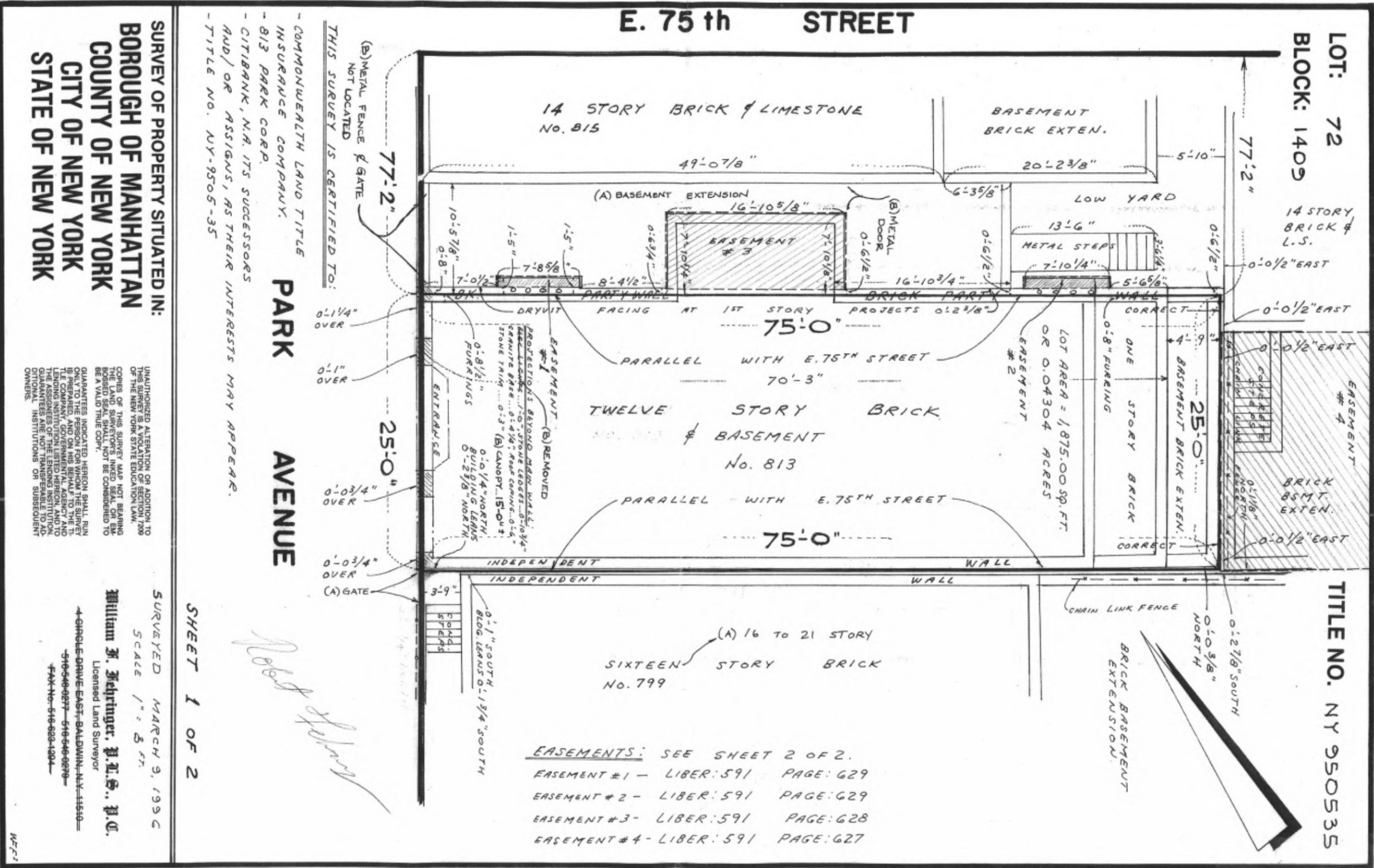


UES Historic District Map



Sanborn Map of neighborhood

Upper East Side Historic District - District Boundaries & Context Sanborn Map



LOT: 72
BLOCK: 1409

14 STORY BRICK & L.S.

TITLE NO. NY 950535

E. 75th STREET

PARK AVENUE

COMMONWEALTH LAND TITLE INSURANCE COMPANY.
- 813 PARK CORP.
- CITIBANK, N.A. ITS SUCCESSORS
- AND/OR ASSIGNS, AS THEIR INTERESTS MAY APPEAR.
- TITLE NO. NY-9505-35

SURVEY OF PROPERTY SITUATED IN:
BOROUGH OF MANHATTAN
COUNTY OF NEW YORK
STATE OF NEW YORK

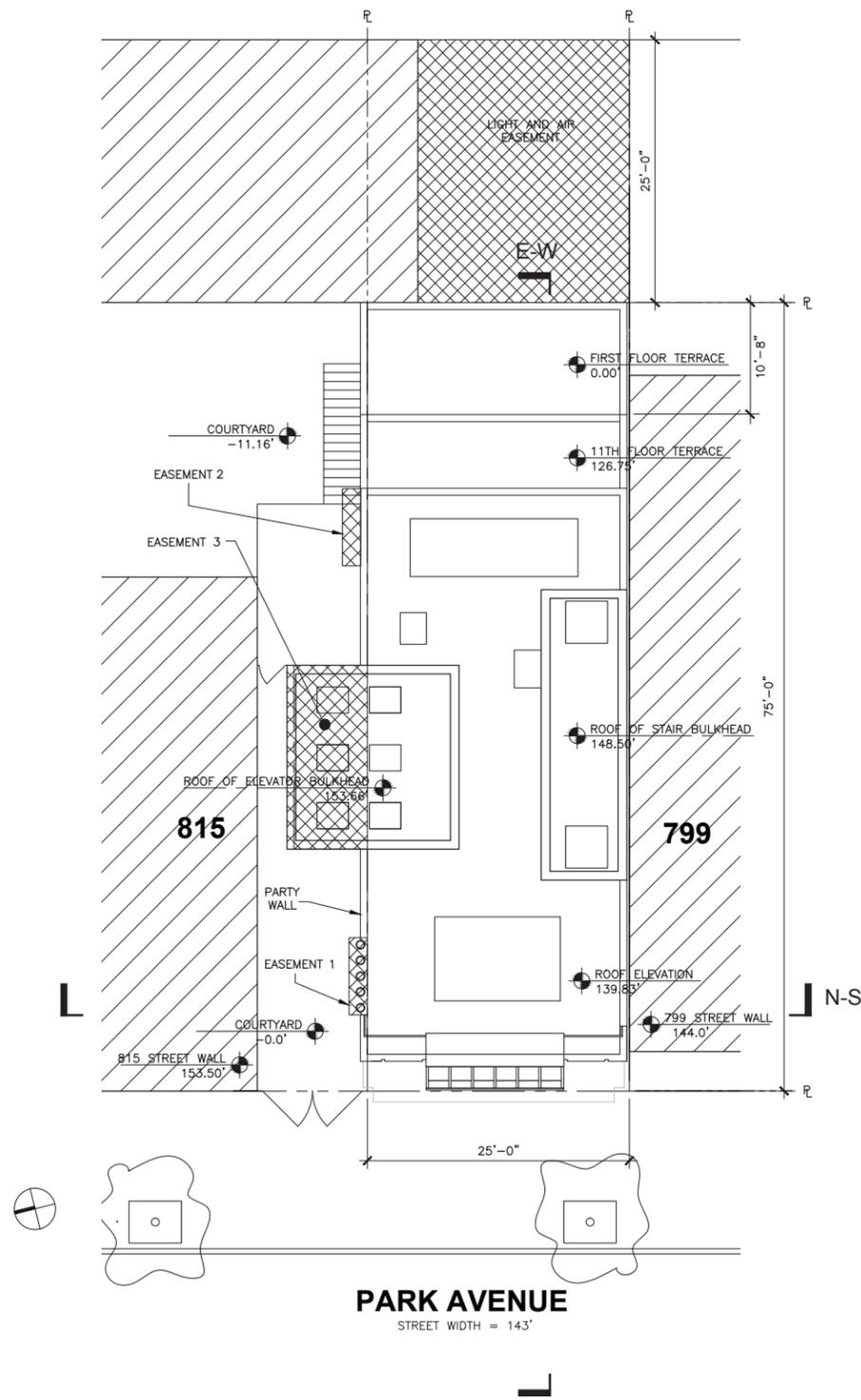
UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS PROHIBITED BY SECTION 209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE SURVEYOR'S SEAL AND SIGNATURE SHALL BE AVOID TRUE COPY. GUARANTEES INDICATED HEREON SHALL RUN WITH THE LAND AND ON THE PART OF THE SURVEYOR AND HIS SUCCESSORS, AGENTS AND ATTORNEYS. THE LENDING INSTITUTIONS LISTED HEREON AND TO WHOM THIS SURVEY IS REFERRED TO ARE NOT THE ASSIGNEES OF THE LENDING INSTITUTIONS LISTED HEREON AND THE LENDING INSTITUTIONS LISTED HEREON ARE NOT THE ASSIGNEES OF THE LENDING INSTITUTIONS LISTED HEREON.

SURVEYED MARCH 9, 1993
SCALE 1" = 8 FT.
William M. Schryver, P.L.S., P.E.
Licensed Land Surveyor
4 SINGLE DRIVE EAST, BALDWIN, N.Y. 11510
516-546-0277 516-546-0278
FAX NO. 516-623-1294

SHEET 1 OF 2

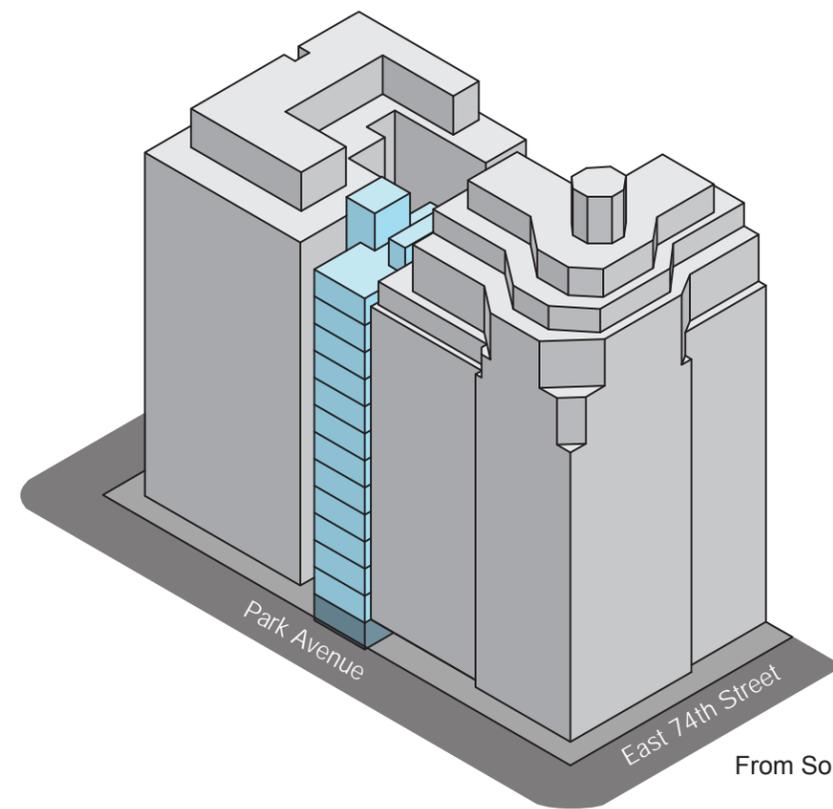
EASEMENTS: SEE SHEET 2 OF 2.
EASEMENT #1 - LIBER: 591 PAGE: 629
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EASEMENT #3 - LIBER: 591 PAGE: 628
EASEMENT #4 - LIBER: 591 PAGE: 627

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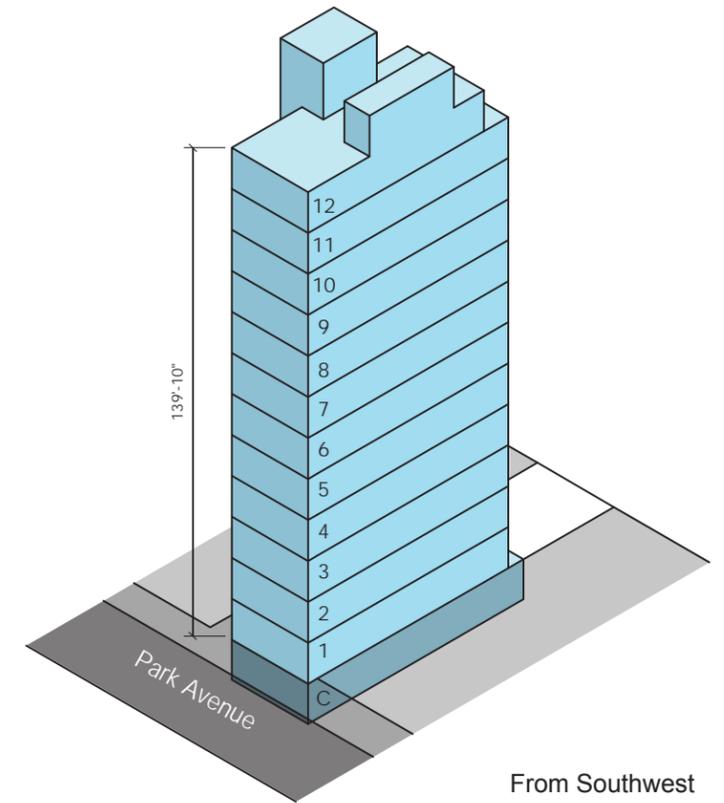


PARK AVENUE
STREET WIDTH = 143'

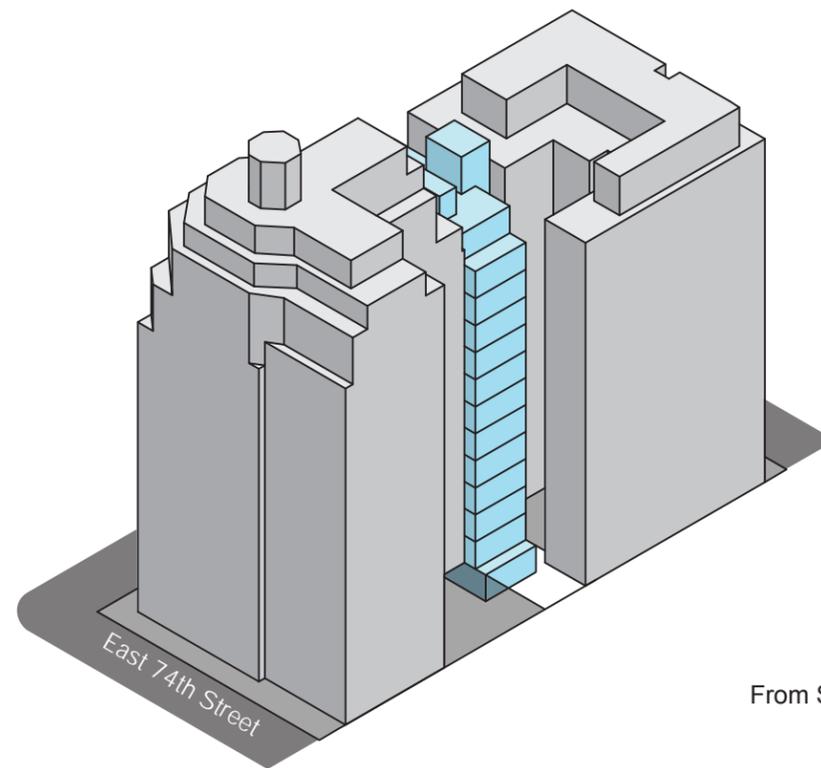
Site Plan



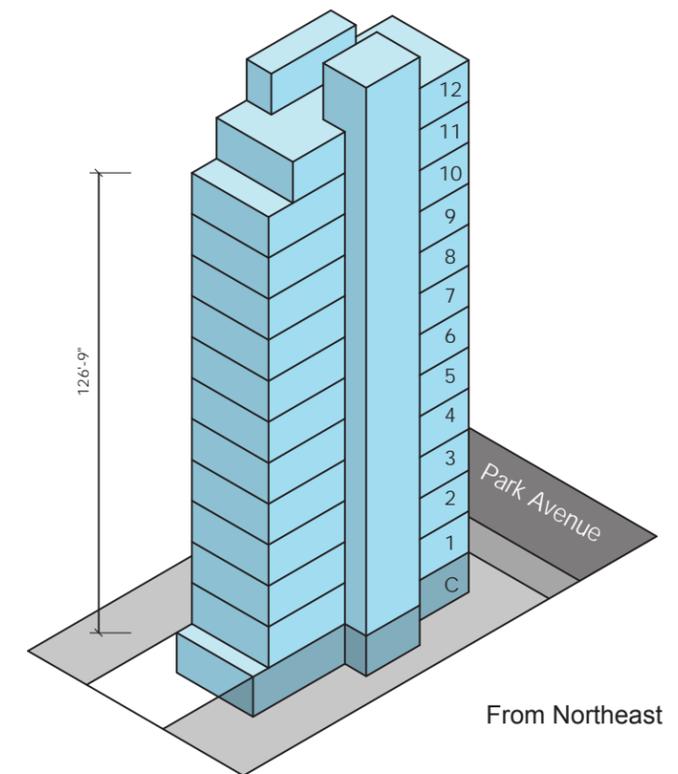
From Southwest



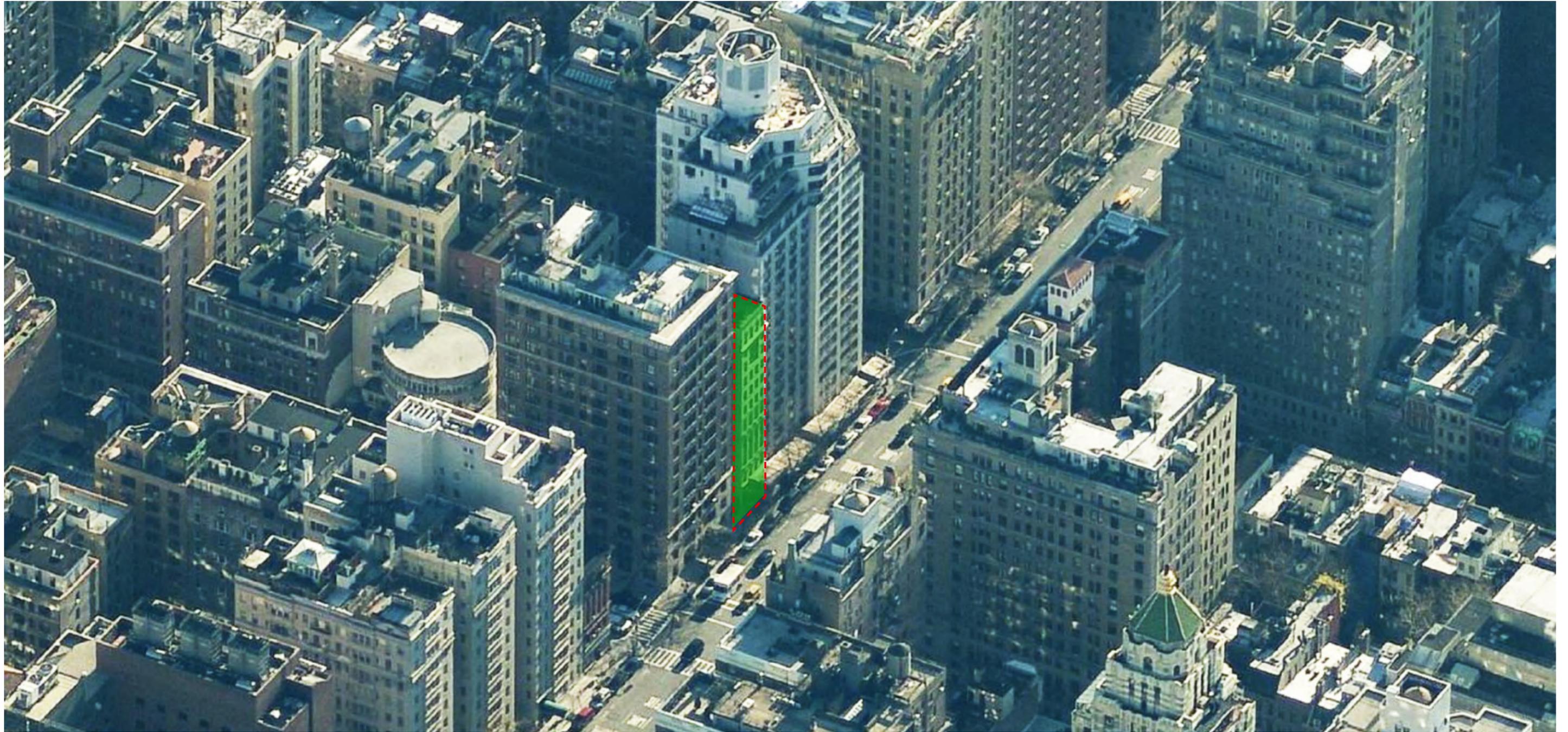
From Southwest



From Southeast



From Northeast



Aerial view from Northwest, Existing



Aerial view from Southeast, Existing



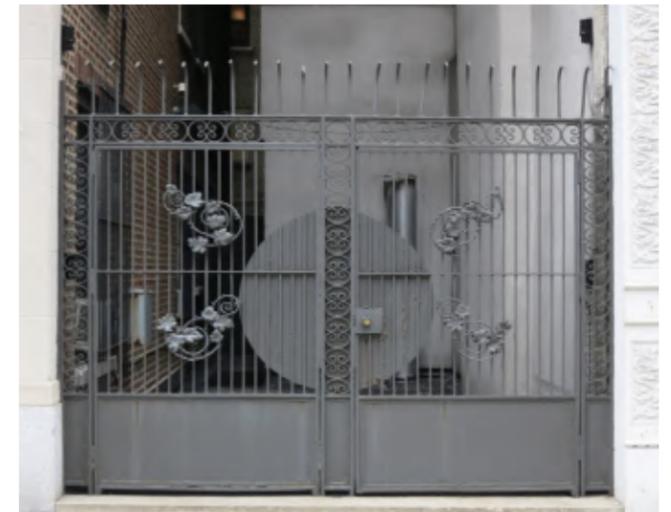
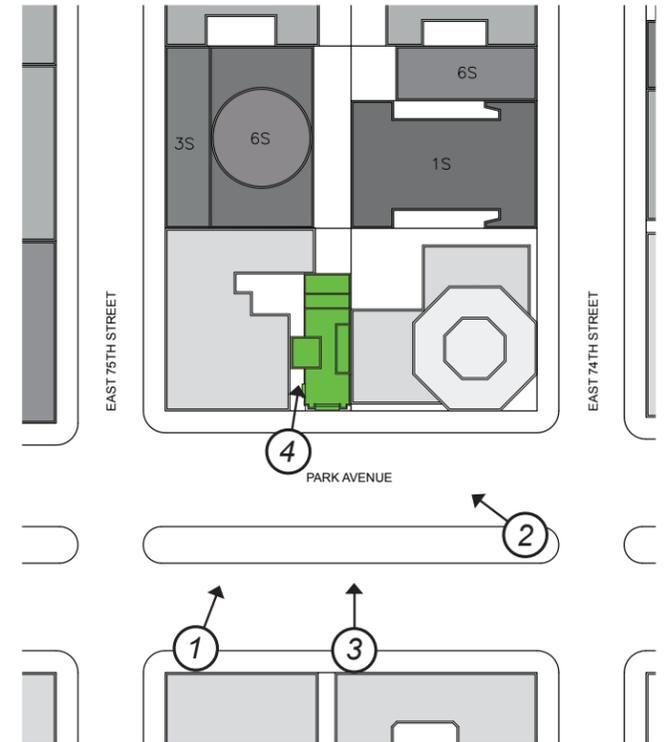
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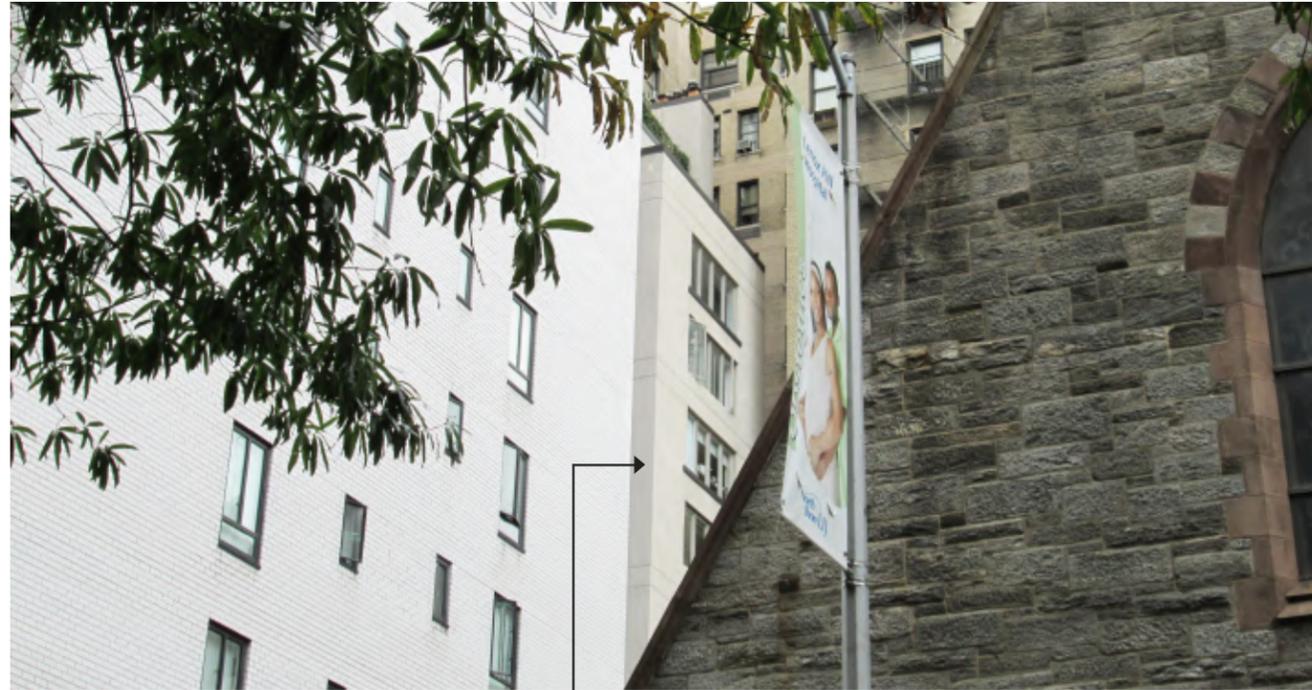
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4

Site Photos, Existing

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March 24th, 2015



Existing

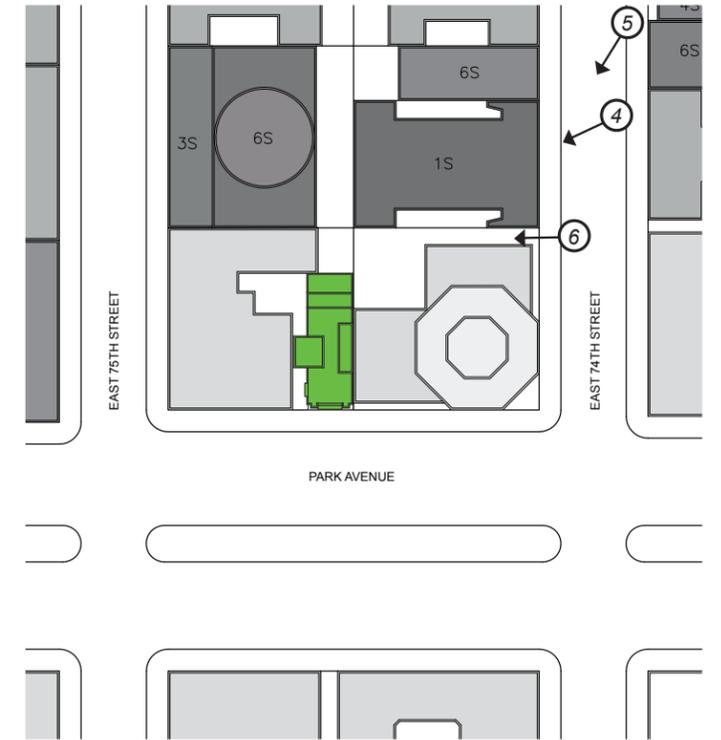
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Site Photos, Existing

807 Park Avenue - Landmarks Preservation Commission
March 24th, 2015



895 891 885



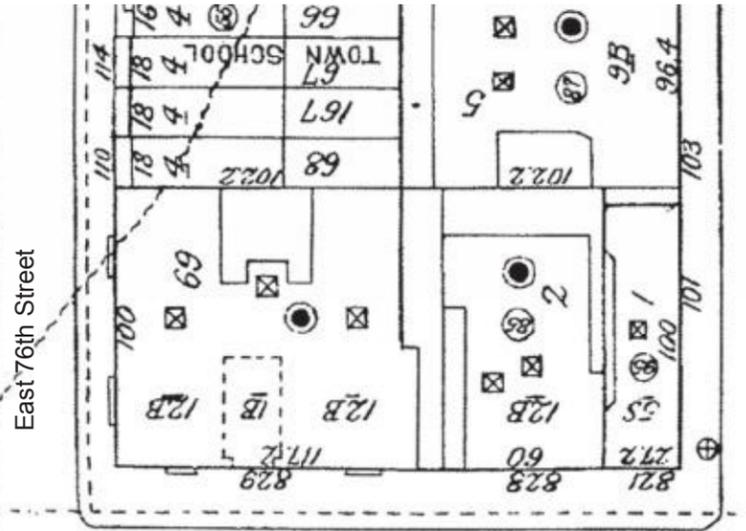
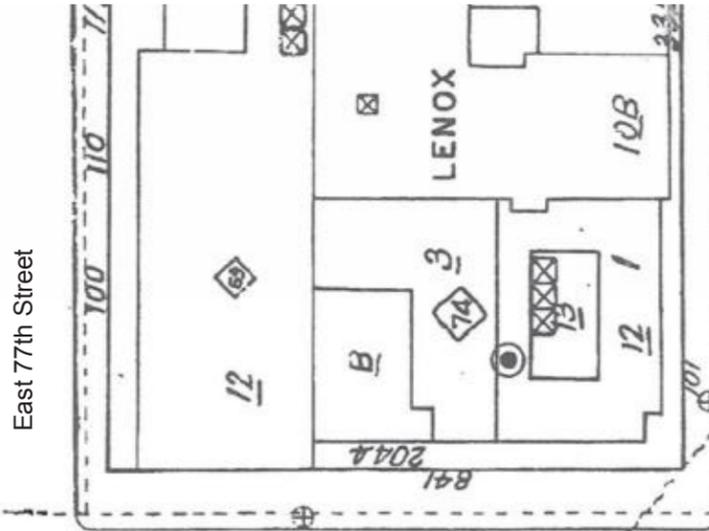
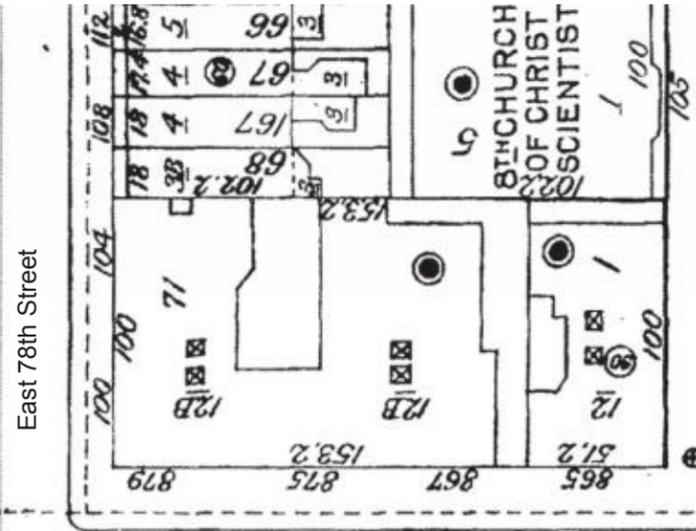
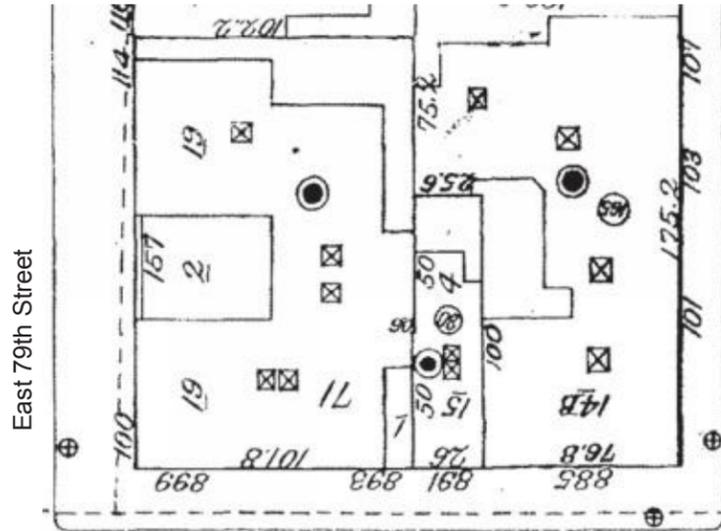
875 863



← Excluded from district →



829 823 821



East Side of Park Avenue - East 79th Street to East 75th Street



740

750



760

770



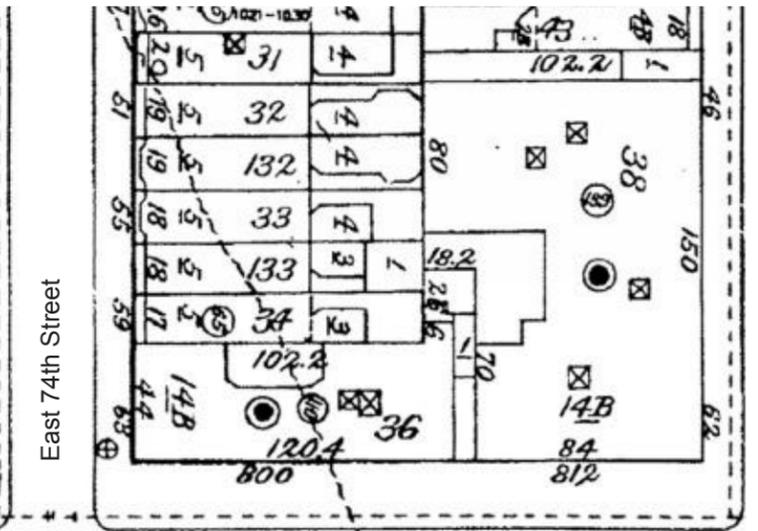
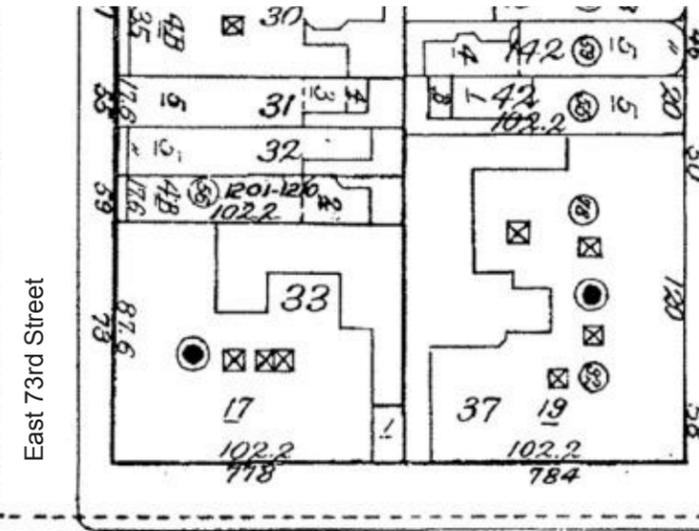
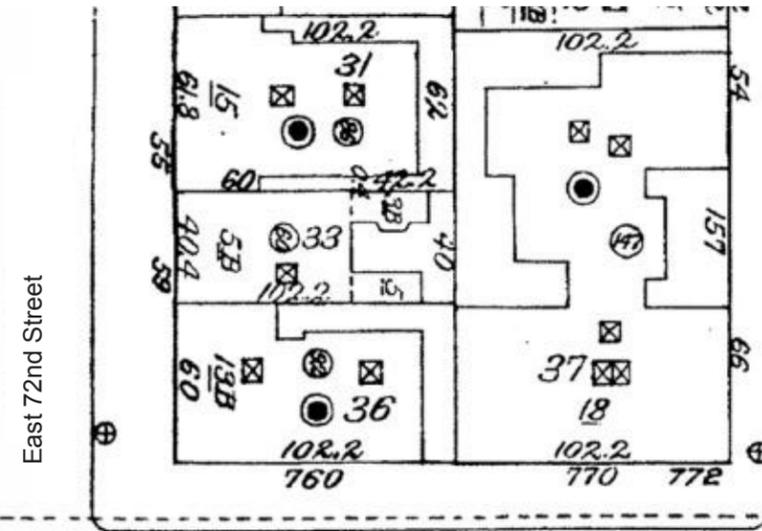
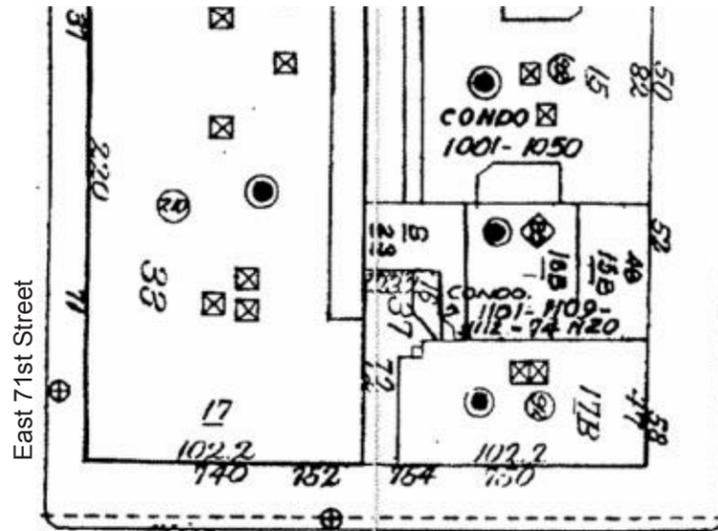
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784



800

812



See page 28 for further analysis

West Side of Park Avenue - East 71st Street to East 75th Street



820 830



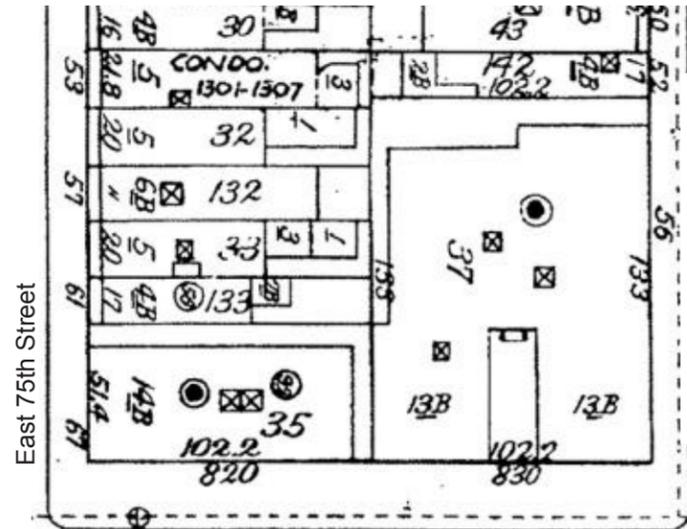
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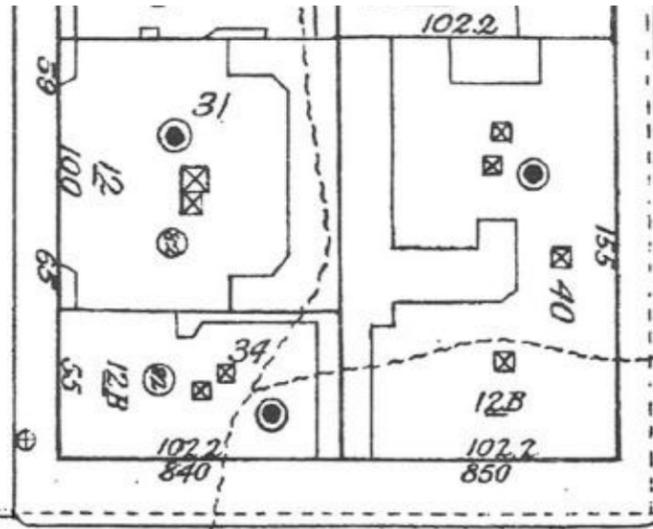
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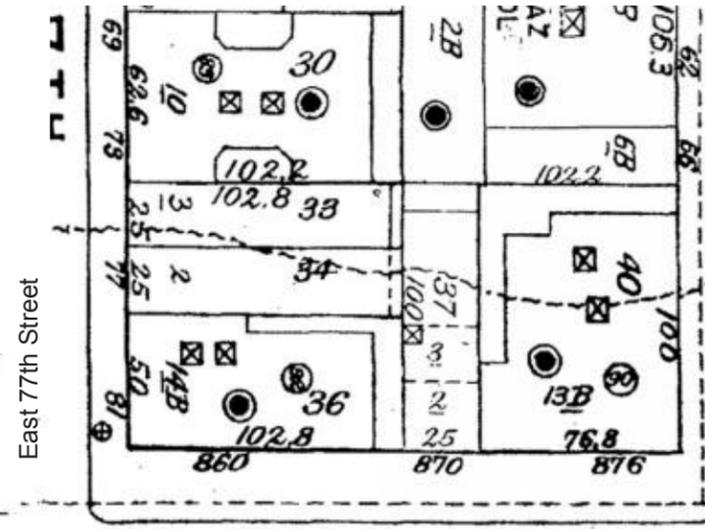
888 890 898



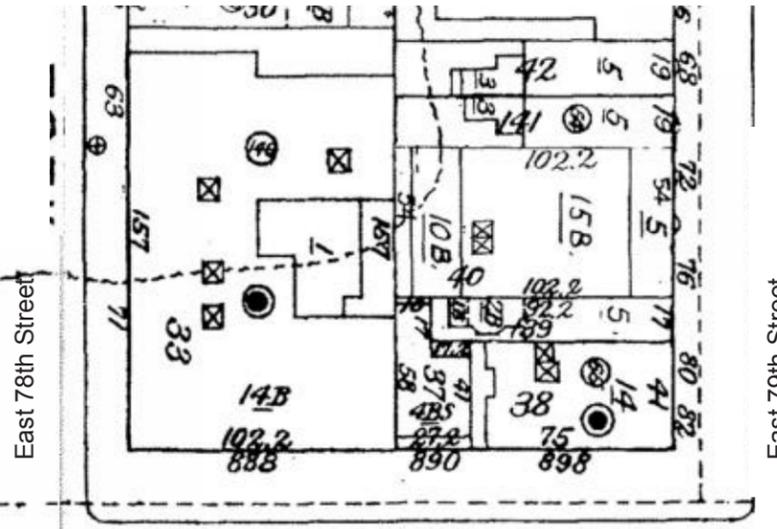
East 75th Street



East 76th Street



East 77th Street



East 78th Street

East 79th Street

West Side of Park Avenue - East 75th Street to East 79th Street

1. What we are proposing:

- a. Demolition – with the exception of the side walls and foundations of the existing building at 807 Park Avenue.
- b. Construction of a new appropriate building, taller but with the same number of floors and floor area and conforming to the predominant street wall and other historic district characteristics.

2. What are the standards guiding this application to demolish. What should they be?

Most importantly, of course, are the standards of the LPC itself, the standards of appropriateness. But at the hearing this past December 2nd the question of other, applicable standards came up. Are there other standards that might help to guide us in this particular instance?

- a. We have chosen what we understand – from general reading and experience -- to be some international preservation standards, polices and practices (including the Venice Charter [1965] of ICOMOS, The International Council on Monuments and Sites and the Burra Charter [2013], also of ICOMOS and, in the United States, the National Register and The Secretary of the Interior's Standards). Below are three generalized, accepted standards:
- b. *Briefly:*
 - 1) *Preservation work should not deceive. There should be a clear distinction between what is original and what is not.*
 - 2) *Later additions need be preserved only when they themselves are of a significant historical period or have a significant architectural quality.*
 - 3) *Details and other elements should not be imitated and repeated elsewhere in the preservation work unless clearly defined as such.*
- c. In the United States much of preservation more directly follows the National Register and the Secretary of the Interior's Standards. (see below)

3. As background we would like to point out that in the Upper East Side Historic District, itself, there are at least two particularly relevant precedents.

- a. 815 Fifth Avenue – total demolition and new “appropriate” construction. (Fig. 1)
- b. 110 East 64th Street – part demolition and entirely new “appropriate” façade construction. (Fig. 2)



Existing Building



Proposed building

Figure 1 - 815 Fifth Avenue
TP Greer Architects LLP



Former building



Current Building

Figure 2 - 110 East 64th Street
Agrest & Gandelsonas

4. Now, in our case, what was designated is not the building we seek to demolish; it is not the one that exists today. The current building is not the building described in the 1979-1980 Designation Report (Fig. 3) – we have verified this with the report’s principal author, Marjorie Pearson -- and it is not the building the commissioners thought they were designating in 1981 (Fig. 4).

a. That was, according to the report a “Romanesque/ Neo-Renaissance . . . five storey residential building” . It had significant, defining stylistic elements and was built in 1898-1899 as one of a group of four.

b. The existing building is something else, very different and we are having a difficult time finding out what that is.

“Architecture

Style – Romanesque Revival/Neo-Renaissance

Elements – Five-storey residential building with ground floor store; storefront flanked by cast-iron piers with floral motifs; round-arched windows with keystones at second floor; diaper-patterned band course at base of third floor; two-storey pilasters flanking arch-enframed windows with keystones at third and fourth floor; dentilled band course above fourth floor; corbelled lintels at fifth floor; roof cornice with scrolled brackets above dentils, egg and dart molding, and floral motif frieze.

History – Built as one of a group of four tenements (Nos. 813-819). Each was intended for nine families and had a ground floor store.”

Figure 3

from the UPPER EAST SIDE HISTORIC DESIGNATION REPORT

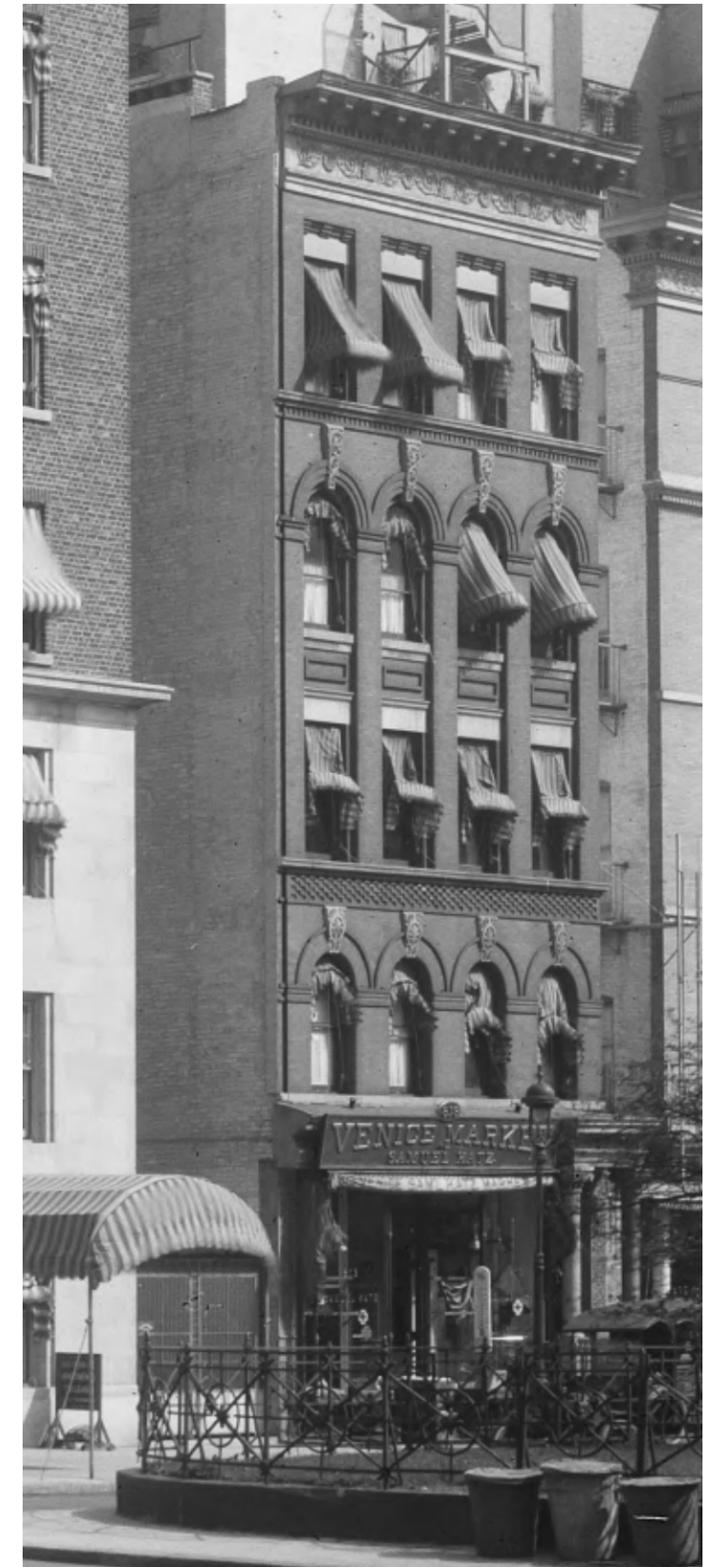


Figure 4

Ca. 1918

Existing Building & Designation

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March 24th, 2015

5. So what is this building?

a. It is a building that was built some time between 1980 and 1983, Maybe. (Fig. 5).

b. The historic fabric of the 1899 designated building that remains is only a thin, very thin part of the original (Figs. 6,8,9,10), a veneer layer that unhappily leads some people to conclude that something more substantial exists, that behind it is a solid piece of history.

c. But there is no historic building behind the façade fragment (Fig. 6) and the whole, the twelve story building, is evidently misleading to many. Furthermore, and what is most important, it is patently not characteristic of the historic district, especially Park Avenue.

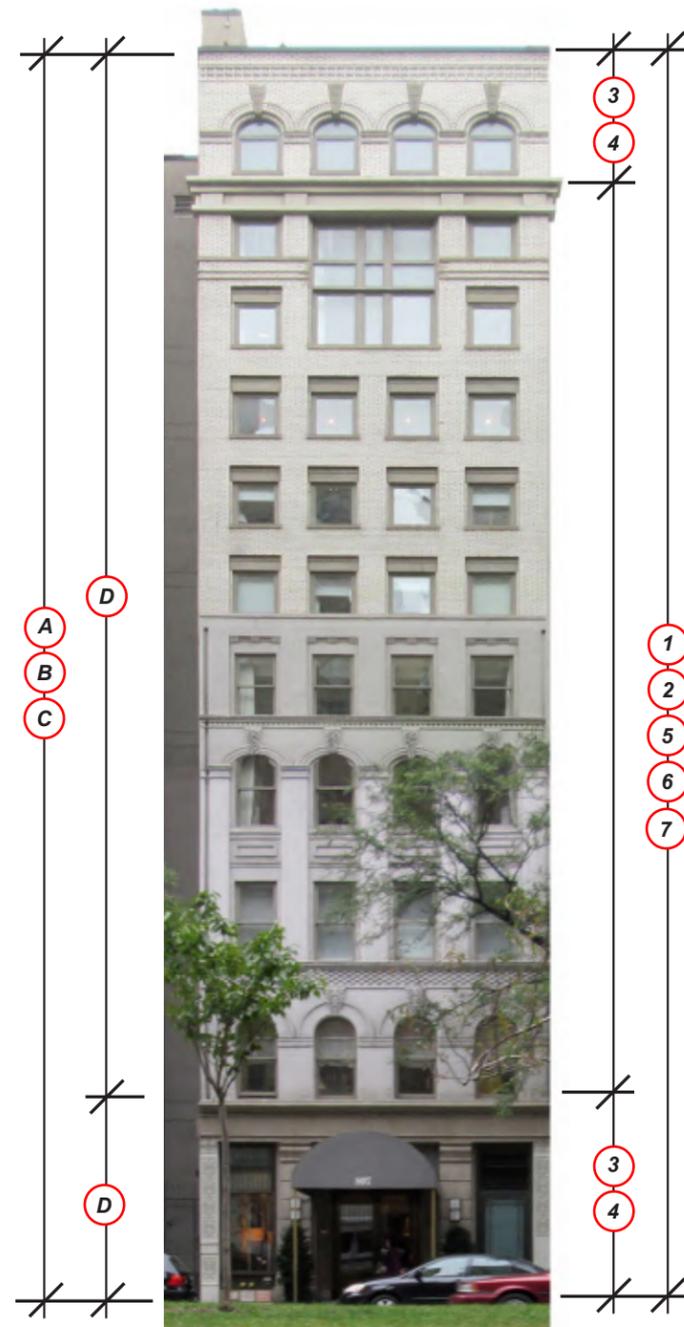
d. It is neither one of the avenue's typical low buildings nor a typical Renaissance type apartment building (Exhibit A) and it doesn't follow their predominant design principles (which we will illustrate and explain below in part 3).

e. It is an odd building with odd fenestration, odd characteristics all created since the districts designation. In addition, its white, painted brick façade is the only painted brick façade on Park Avenue.

6. What does it contribute to the district?

a. It contributes a confusing and false message. It deceives. New and old are indistinguishable and it seems to have misled a large segment of the public. It only implies historic significance. There is no architectural, social or historic integrity to what's there now and nothing historic ever happened there.

b. Furthermore, in its creation it violated many of the accepted standards, the standards of the Secretary of the Interior particularly. (Fig. 5)



807 Park Avenue - Guidelines Photograph

Figure 5

The Secretary of the Interior's Standards for the Treatment of Historic Properties
with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings

Standards for Rehabilitation

- A** A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
- B** The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- C** Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- D** New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

New Additions to Historic Buildings

Not Recommended

- 1** Expanding the size of the historic building by constructing a new addition when the new use could be met by altering non-character-defining interior spaces.
- 2** Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.
- 3** Duplicating the exact form, material, style, and detailing of the historic building in a new addition so that the new work appears to be part of the historic building.
- 4** Imitating a historic style or period of architecture in a new addition.

Not Recommended

- 5** Designing and constructing new additions that result in the diminution or loss of the historic character of the resource, including its design, materials, workmanship, location, or setting.
- 6** Designing a new addition that obscures, damages, or destroys character-defining features of the historic building.
- 7** Constructing a rooftop addition so that the historic appearance of the building is radically changed.

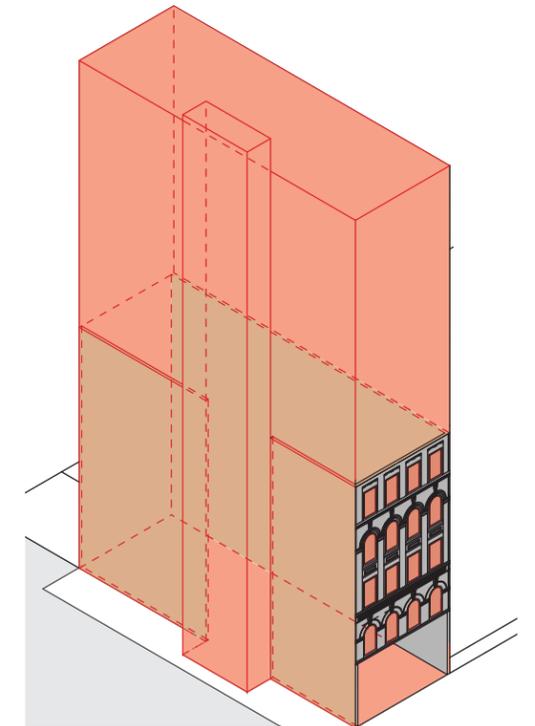


Figure 6

7. Applying the Secretary's Standards, when an existing structure is significantly compromised one looks elsewhere in the historic context for better, more intact examples. Indeed, there are other examples of the original building type nearby. We counted about six, one of them, a beautiful one, being a mere 138 feet away on the corner of 75th Street. (Fig. 7)



Park Avenue Elevation



East 75th Street Elevation

Figure 7 - 821 Park Avenue

- NON-HISTORIC
- REMOVED HISTORIC FABRIC
- PAINTED REMAINS

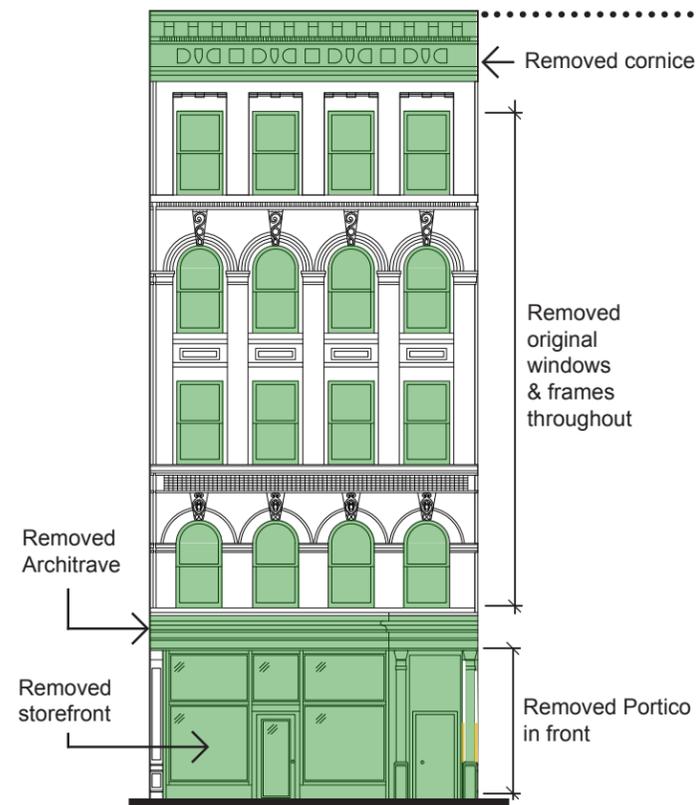


Figure 8 - Original elevation

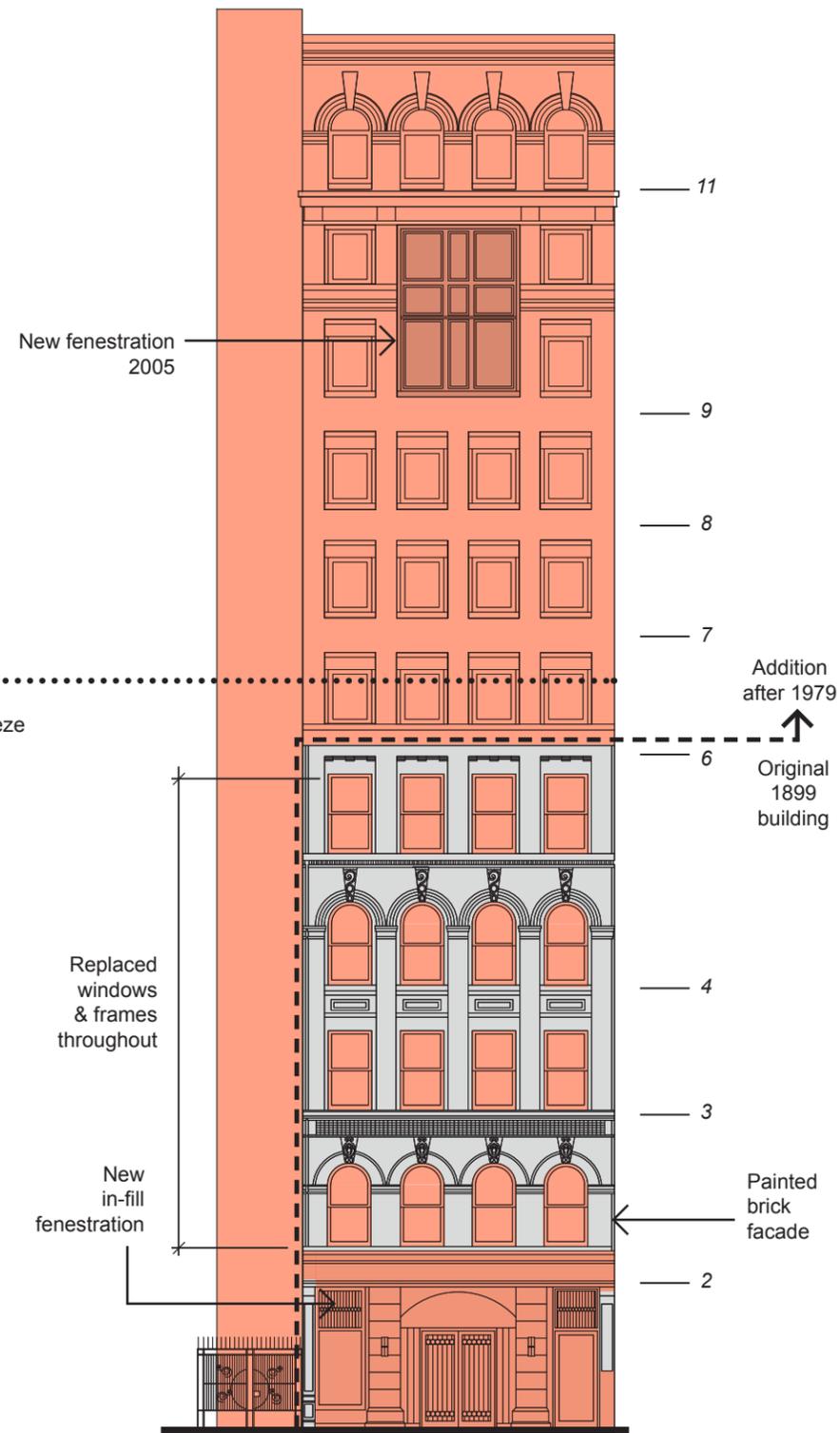


Figure 9 - Current elevation

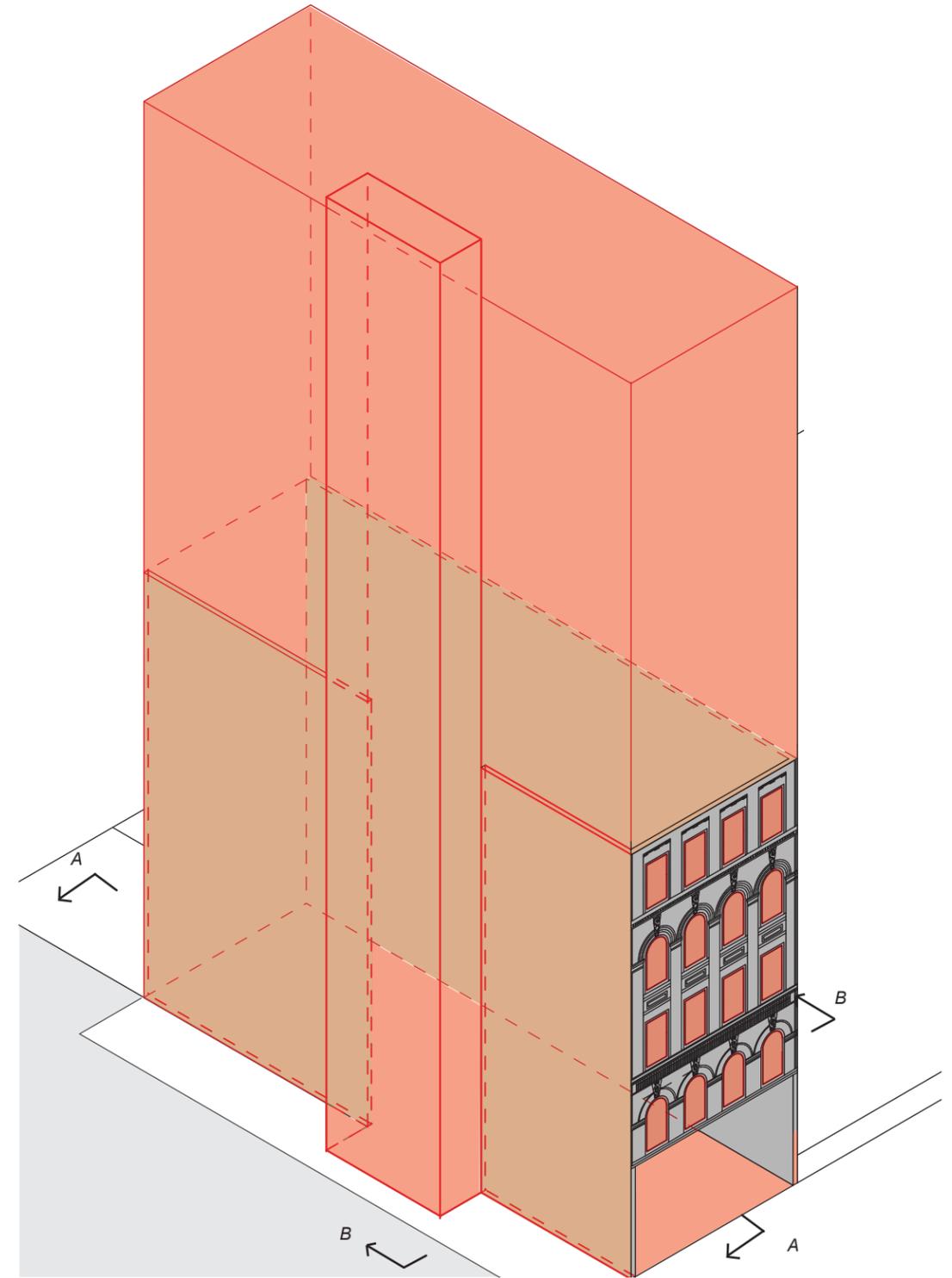


Figure 10 - Axonometric with current alterations

8. A Failed Building

As a surprisingly long succession of owners can testify, 807 Park Avenue has had serious sales and rental problems throughout its life. It is a failed building despite attempts, over the years since it was built, to modify and better it. Some of these modifications have been extensive but none have succeeded in curing the basic problem which is that it just doesn't seem to work. That is why our client, the present owner, wishes finally to demolish and start again.

An examination of existing plans and sections shows that the forced alignments of the existing floors (post-designation (?) construction) with the remaining fragment of the original building has made substantial difficulties. Floor planes and ceiling heights are forced awkwardly to work with the window openings and the new ground floor (Fig. 11).

At the Fifth Floor ceiling the new floor slab nearly slides into the top of the row of windows. In another case the slab comes in uncomfortably below the window sills' normal height (Fig. 11). These strange alignments are unpleasant from within and are discernable from the street, especially at night.

Apartment layouts are contorted. Ceilings are low at the core and too low at the adjoining living areas. In addition there are uncomfortably steep stairs joining the duplex and triplex floors.

The general feeling is discouraging, heightening the problems of the building and making them all seem worse.

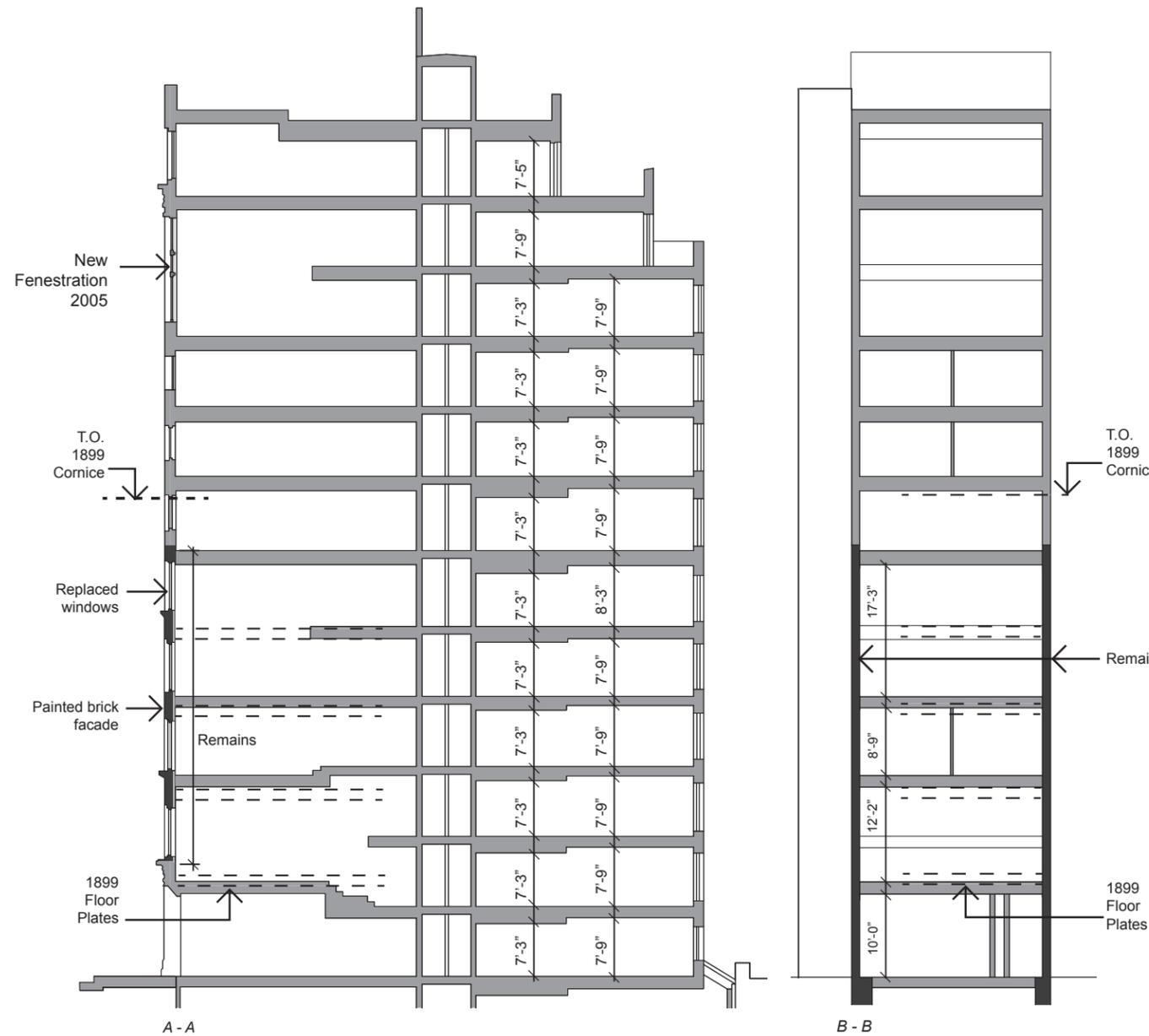


Figure 11 - Current sections

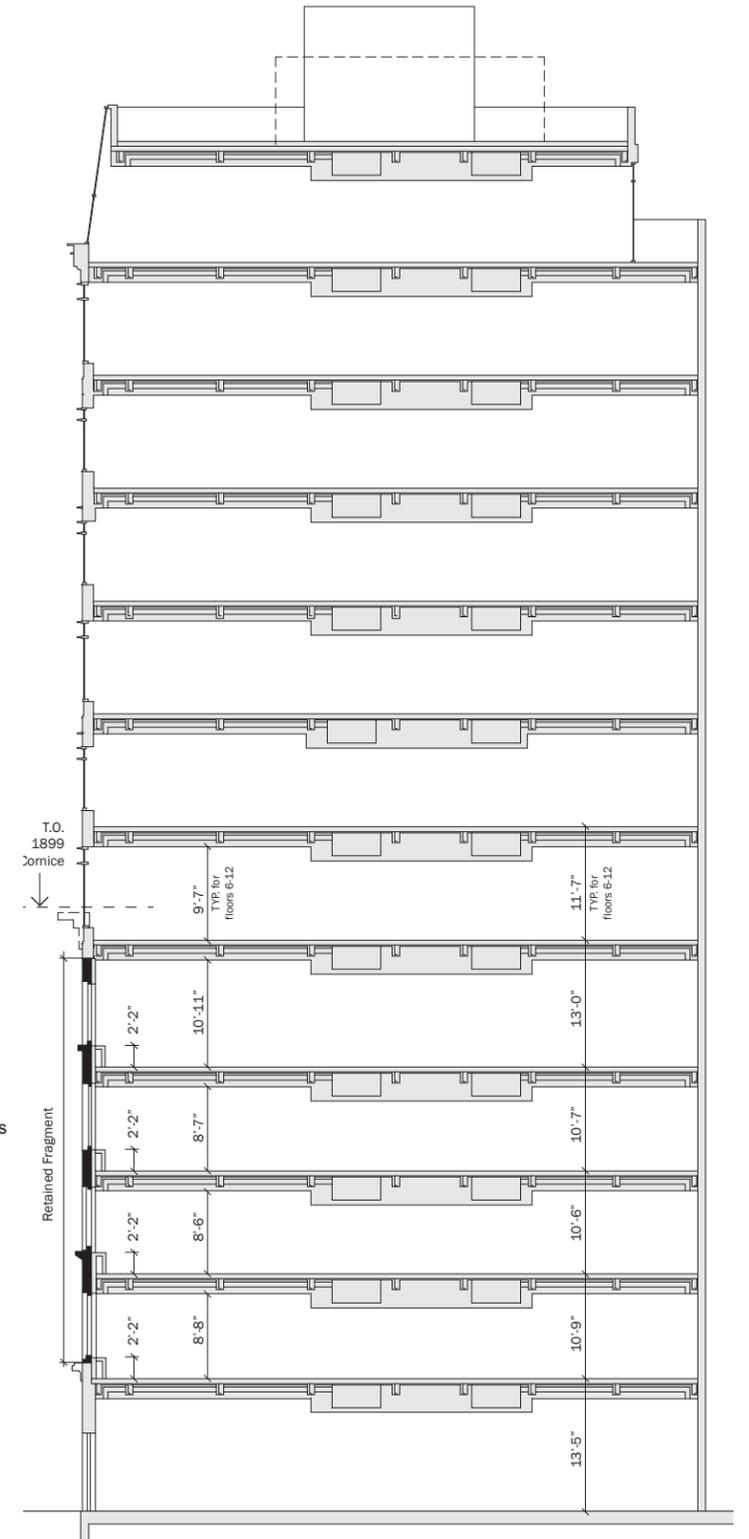


Figure 12 - Proposed Section retaining Fragment

Sections

9. Questions.

a. Had it known and had the present building come before the Commission for a Certificate of Appropriateness would the Commission ever have allowed the original 1899 building to have its remaining storefront removed, defining stylistic features stripped away, its crowning cornice removed, elements imitated and used elsewhere in the design, six stories added and all of it hidden behind a coat of white paint?

b. Would this 'Inappropriate' existing building have been listed as a "style" building in a current designation report?

10. In its place we have tried to create a better, appropriate and contributing building, one that:

a. Fills a gap and heals the street wall.

b. Follows the unifying design principles of Park Avenue.

c. Uses appropriate materials (Exhibit B) and corrects the corners, edges and the side court façade.

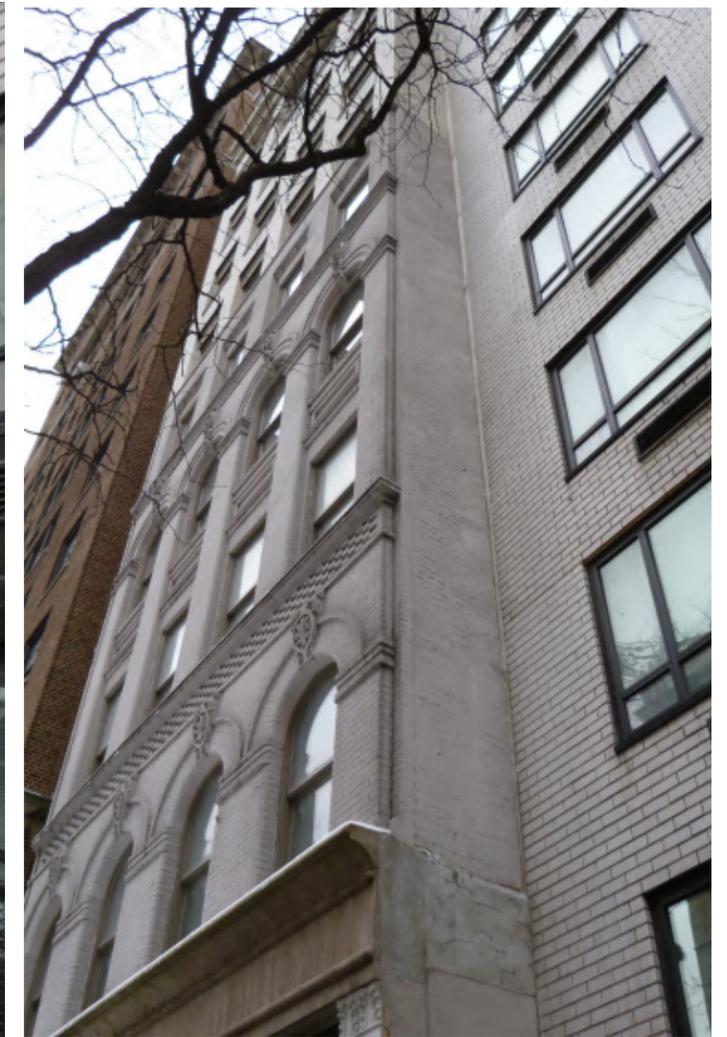
d. And finally, is a building that resolves and expresses what the district does represent.

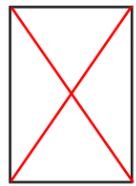


Views oriented South



Views oriented North

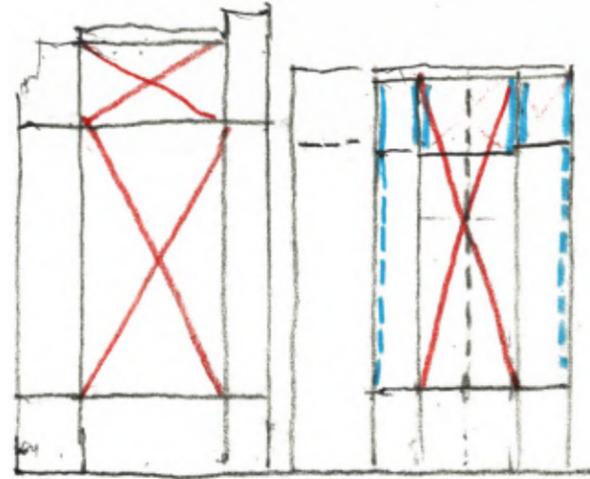
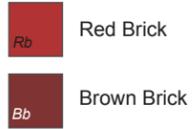
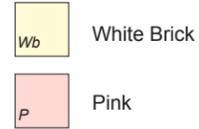
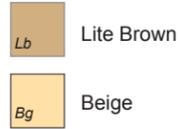




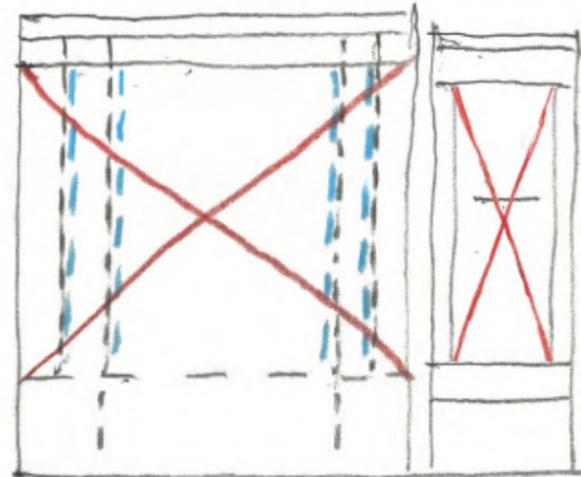
Central Compositional Massings



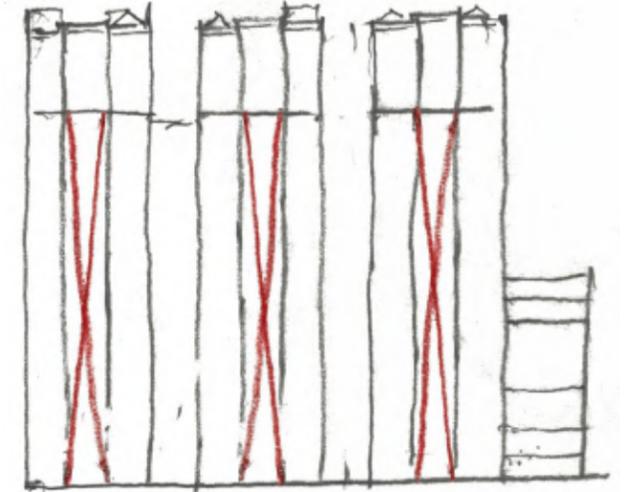
Articulations/Quoins



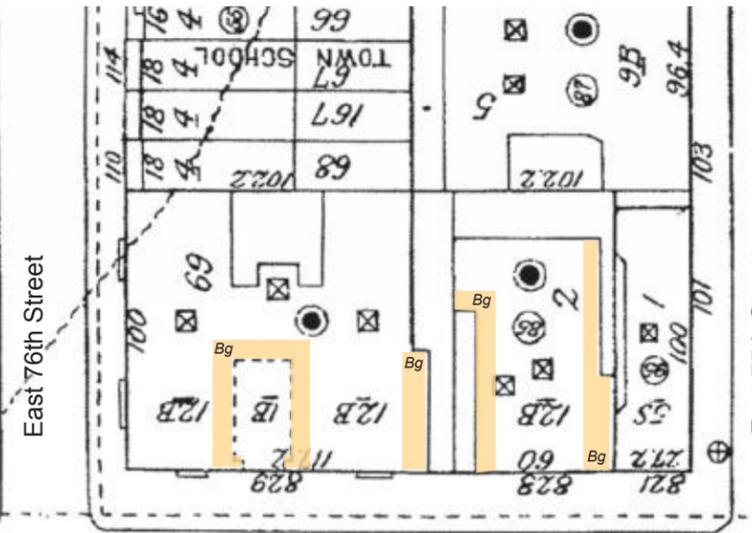
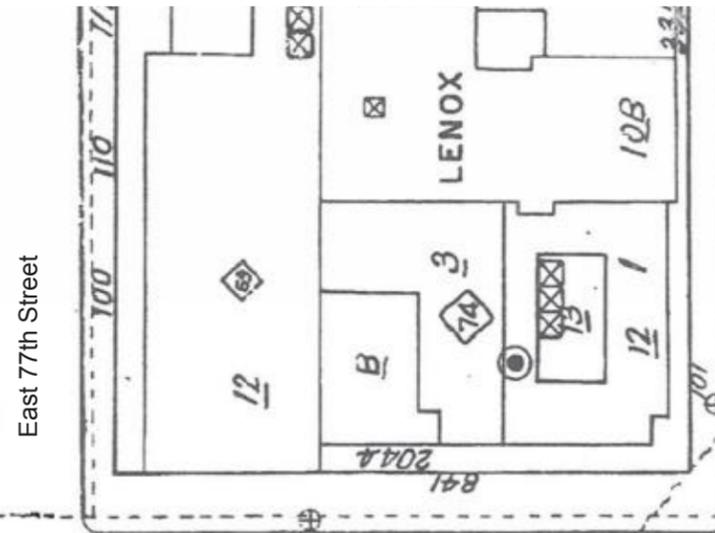
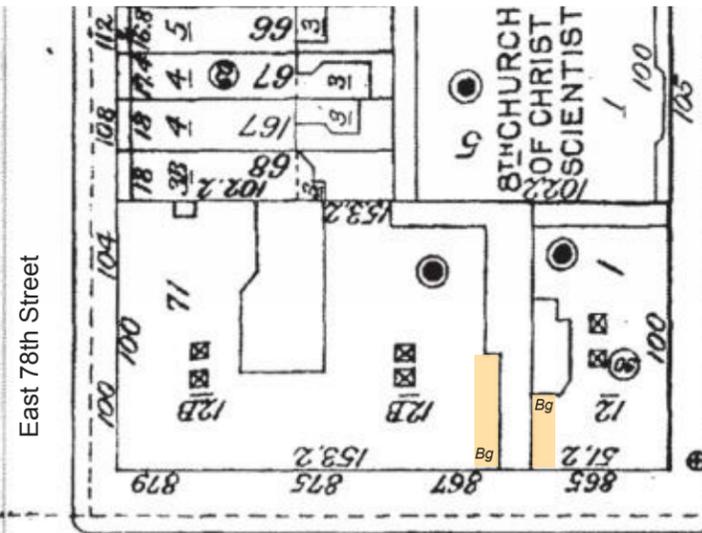
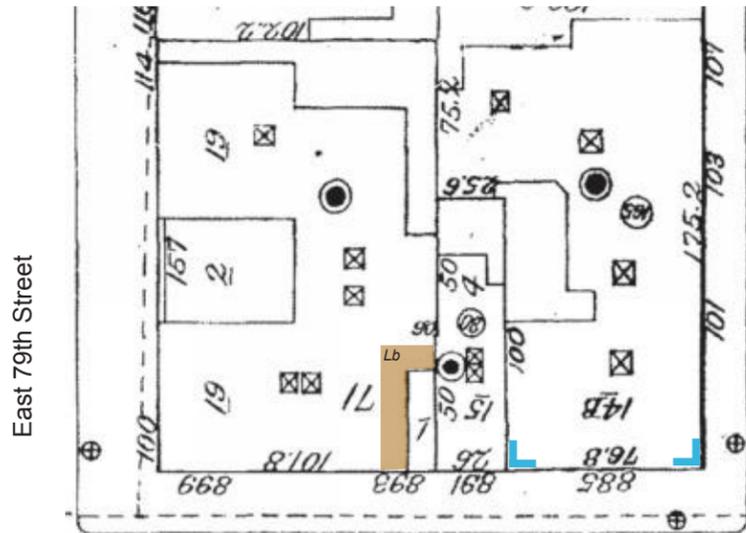
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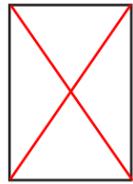
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Proportional and Compositional Organization of Park Avenue - Side Alley Survey - East Side of Park Avenue - East 79th Street to East 75th Street



Central Compositional Massings



Articulations/Quoins



Lite Brown



White Brick



Red Brick



Dark Brown



Beige



Pink

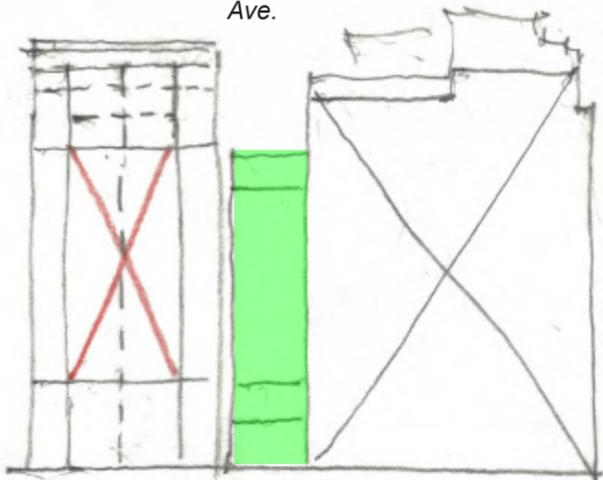


Brown Brick



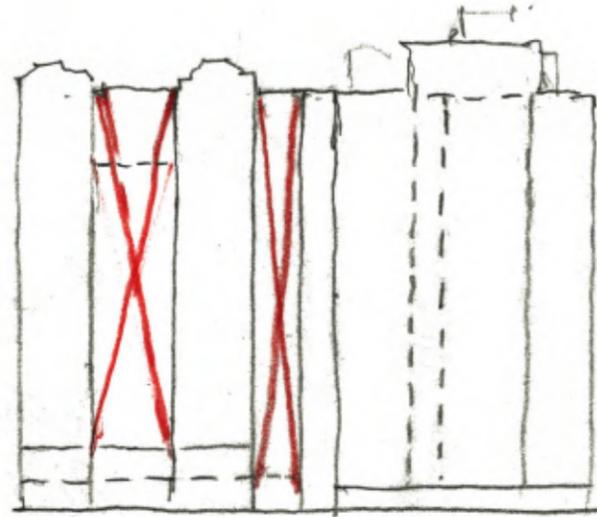
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807
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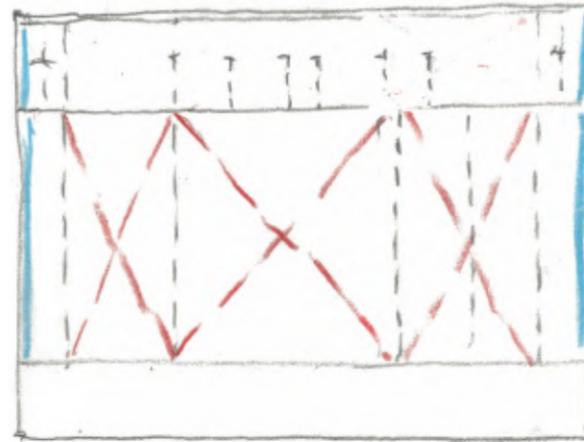
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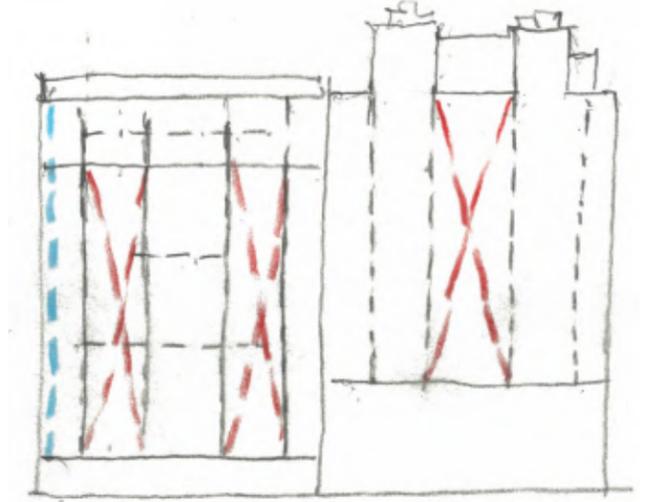


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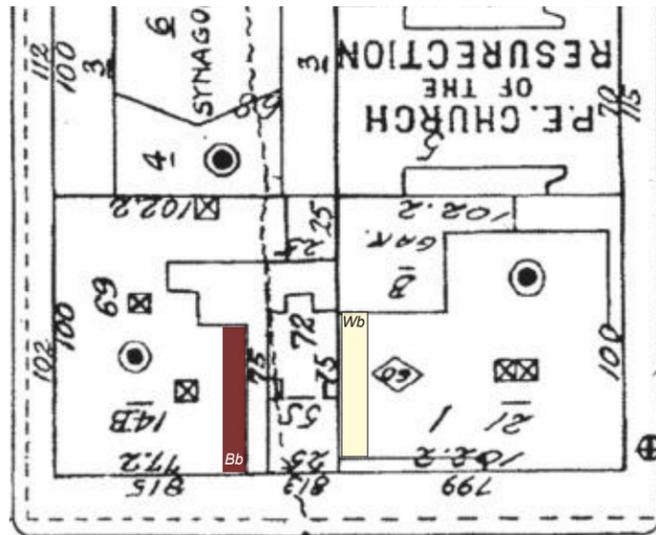


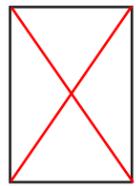
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755

737

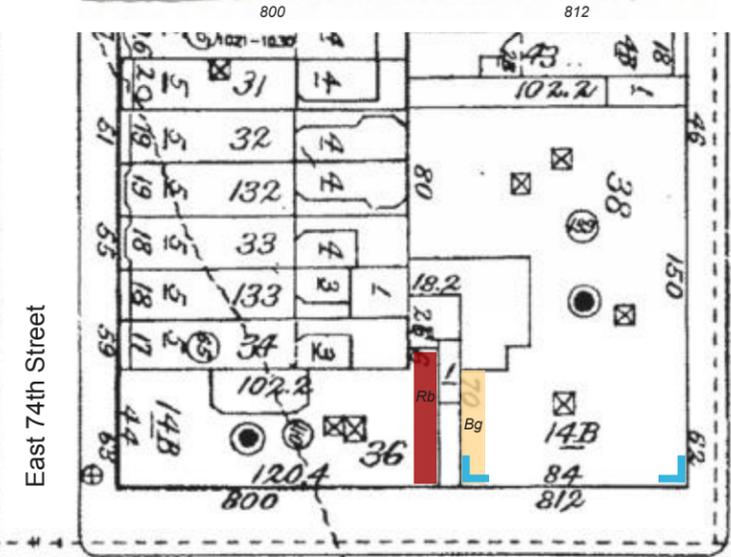
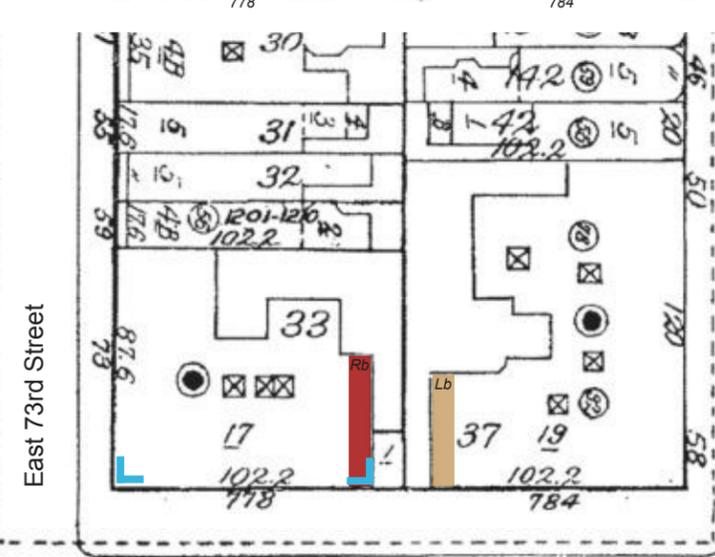
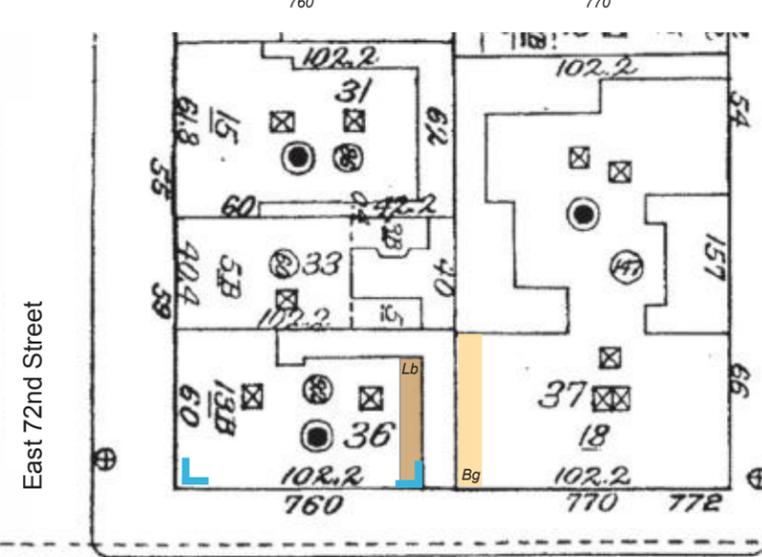
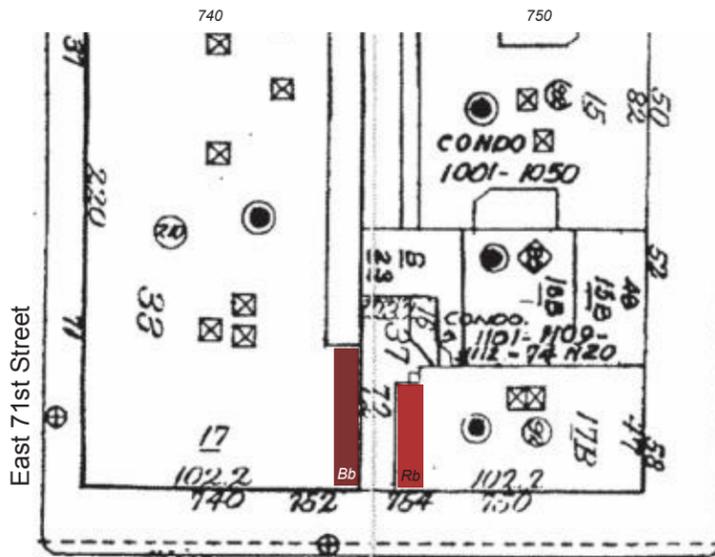
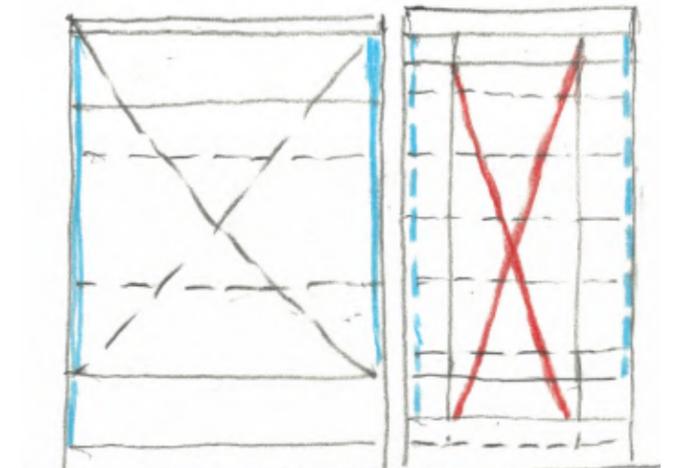
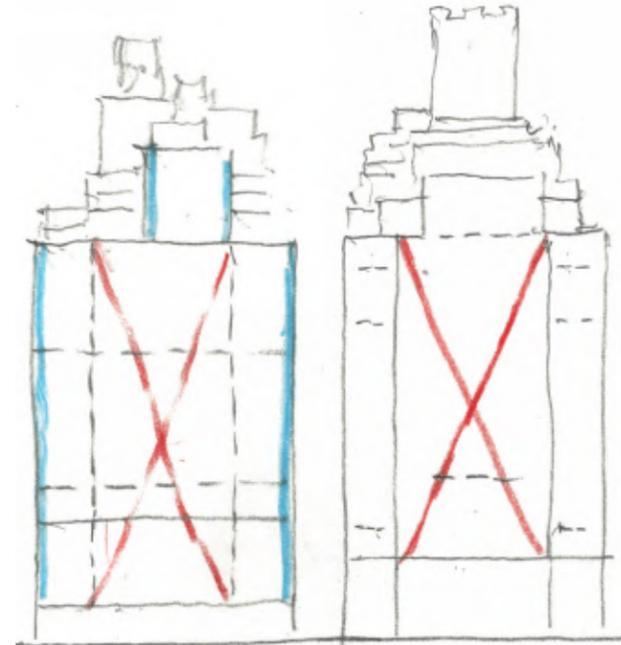
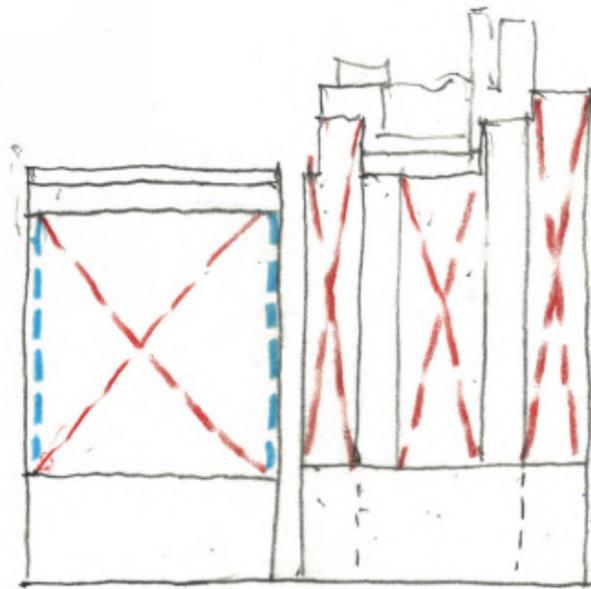
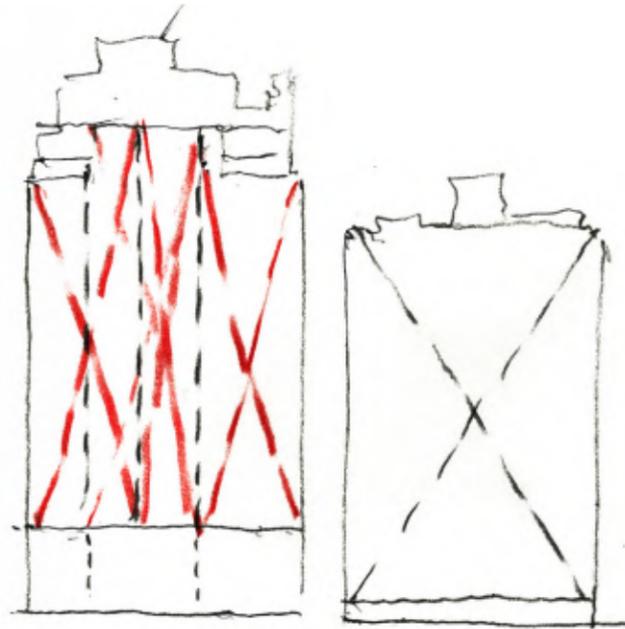
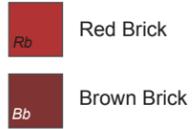
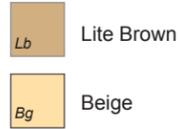




Central Compositional Massings

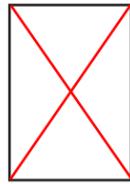


Articulations/Quoins



See page 28 for further analysis

Proportional and Compositional Organization of Park Avenue - Side Alley Survey - West Side of Park Avenue - East 71st Street to East 75th Street



Central Compositional Massings



Articulations/Quoins



Lite Brown



White Brick



Red Brick



Dark Brown



Beige



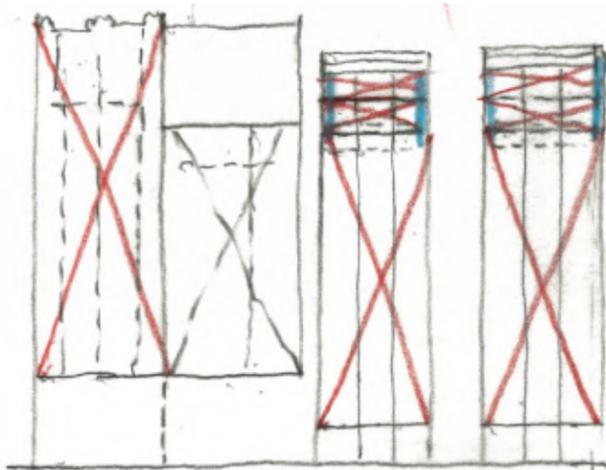
Pink



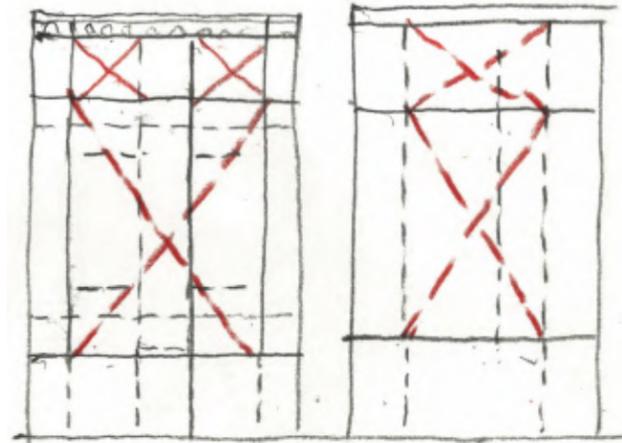
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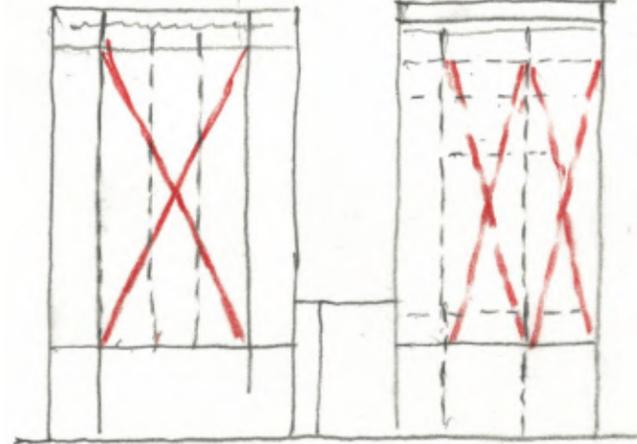
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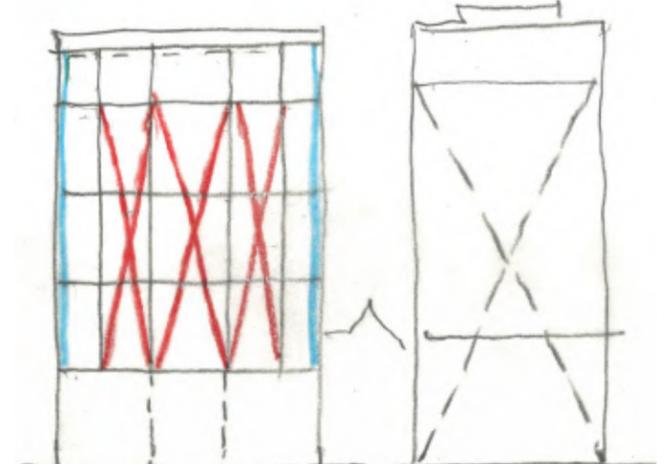
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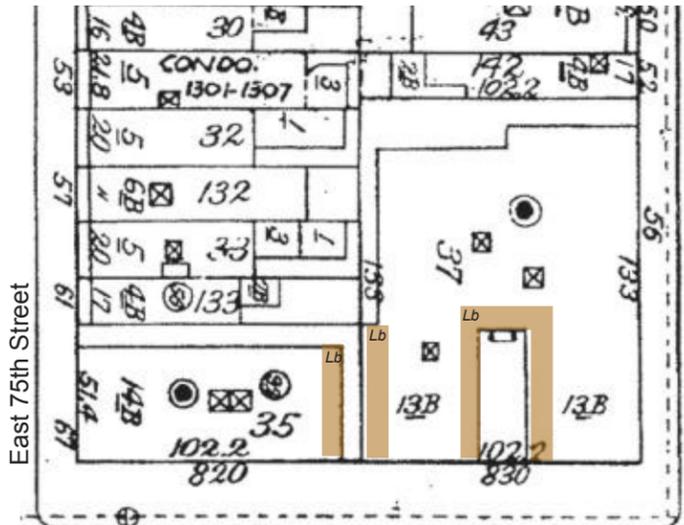
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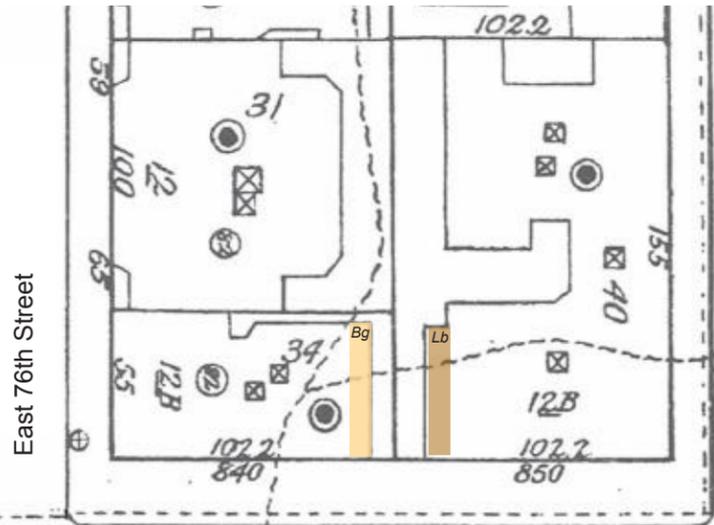
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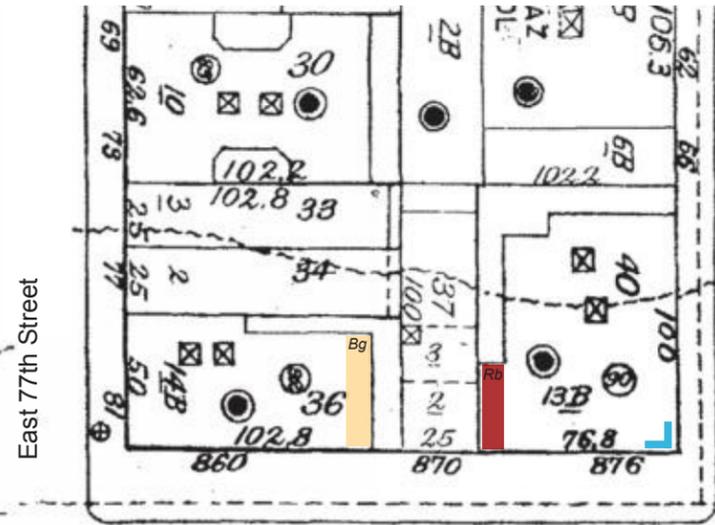
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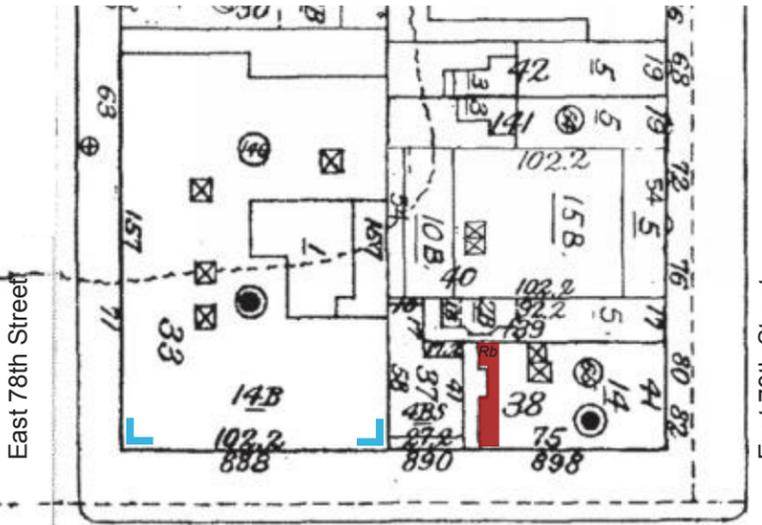
East 75th Street



East 76th Street



East 77th Street



East 78th Street

East 79th Street

Proportional and Compositional Organization of Park Avenue - Side Alley Survey - West Side of Park Avenue - East 75th Street to East 79th Street



East 75th Street

East 74th Street

815 Park Avenue

807 Park Avenue

799 Park Avenue

West elevation of Block #1409, Existing - Not to scale

807 Park Avenue - Landmarks Preservation Commission
March 24th, 2015



East 75th Street

815 Park Avenue

807 Park Avenue

799 Park Avenue

East 74th Street

West Elevation, Proposed - Not to scale



East 74th Street

East 75th Street

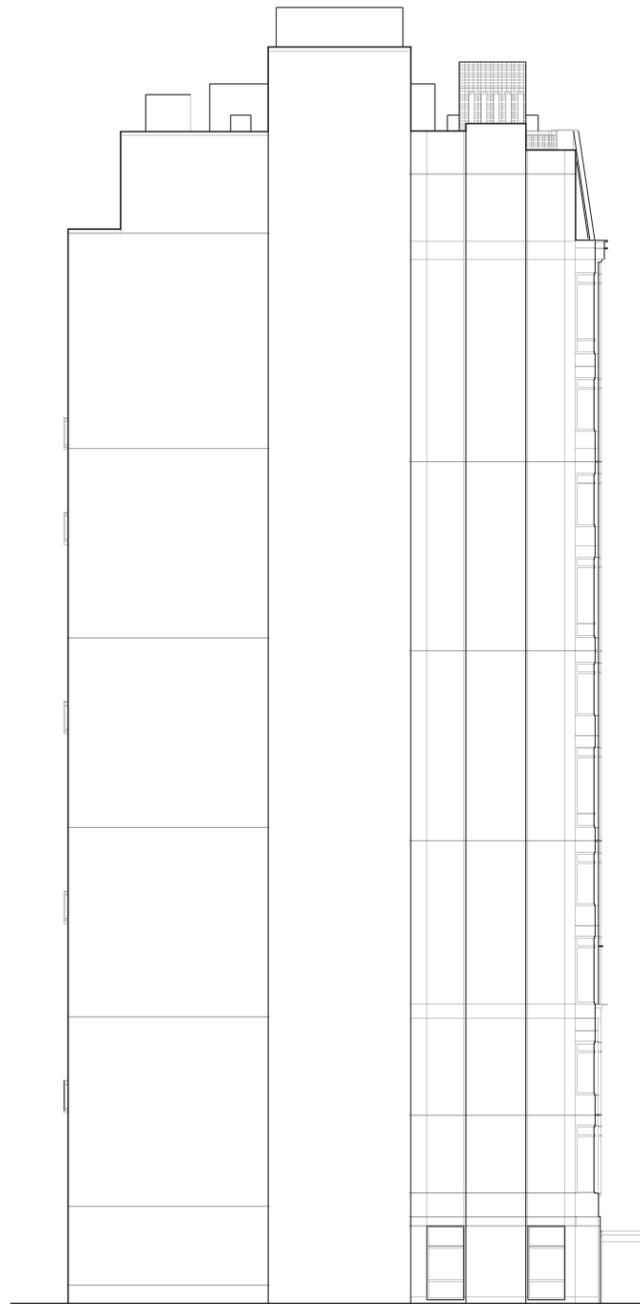
799 Park Avenue

807 Park Avenue

815 Park Avenue

East elevation of Block #1409, Existing - Not to scale

807 Park Avenue - Landmarks Preservation Commission
March 24th, 2015



Proposed North Elevation



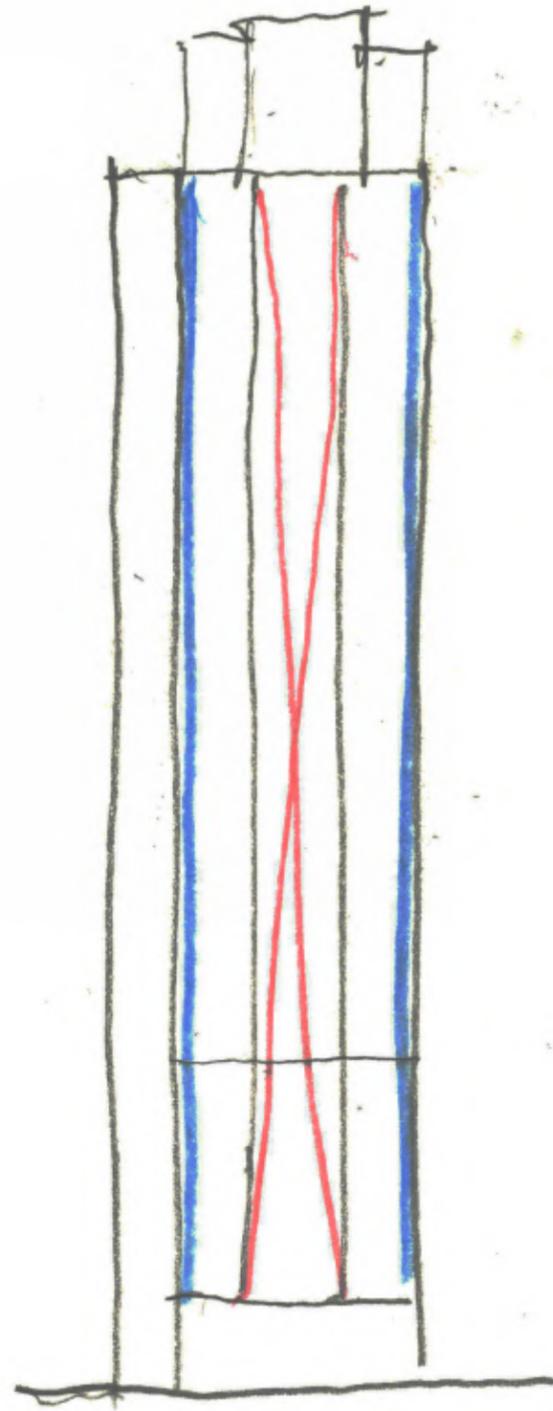
799 Park Avenue

807 Park Avenue

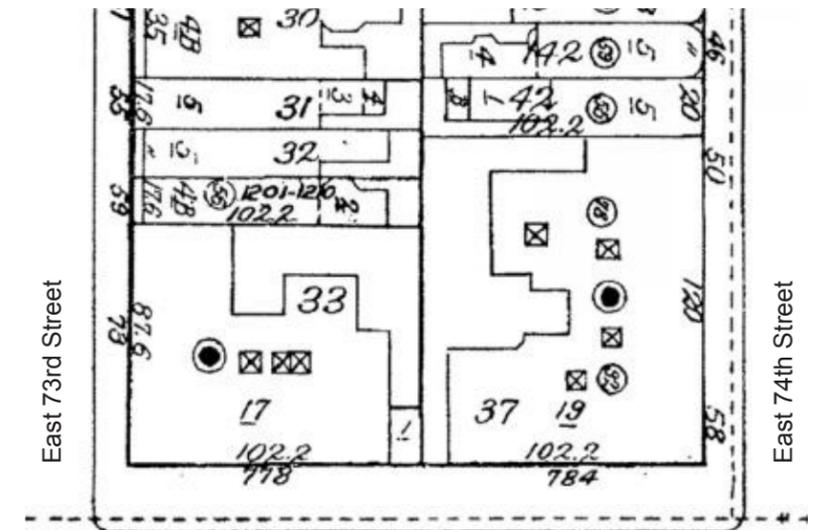
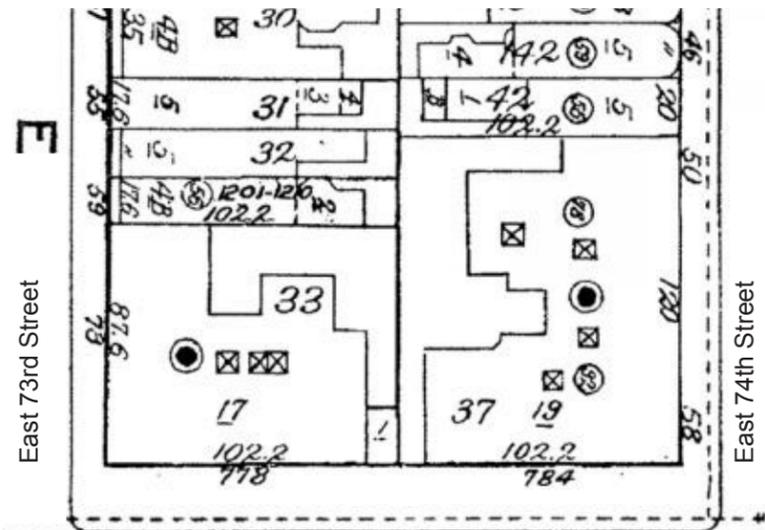
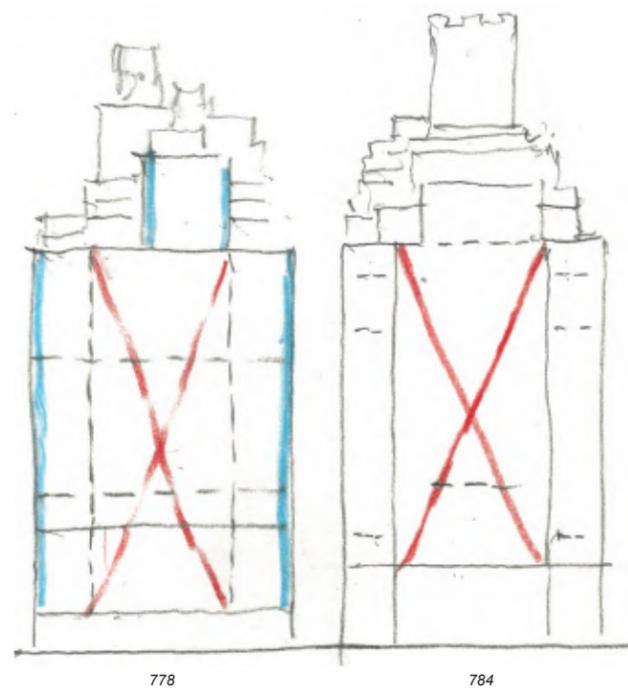
815 Park Avenue

Proposed East Elevation

Elevations, Proposed - Not to scale



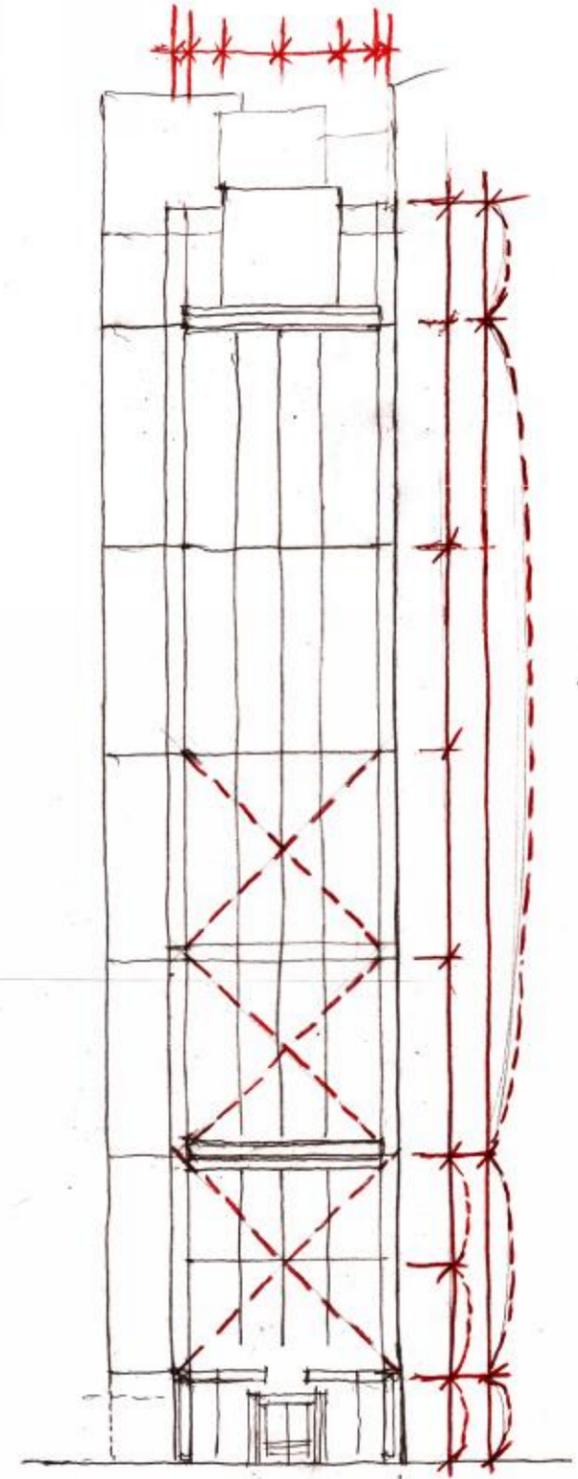
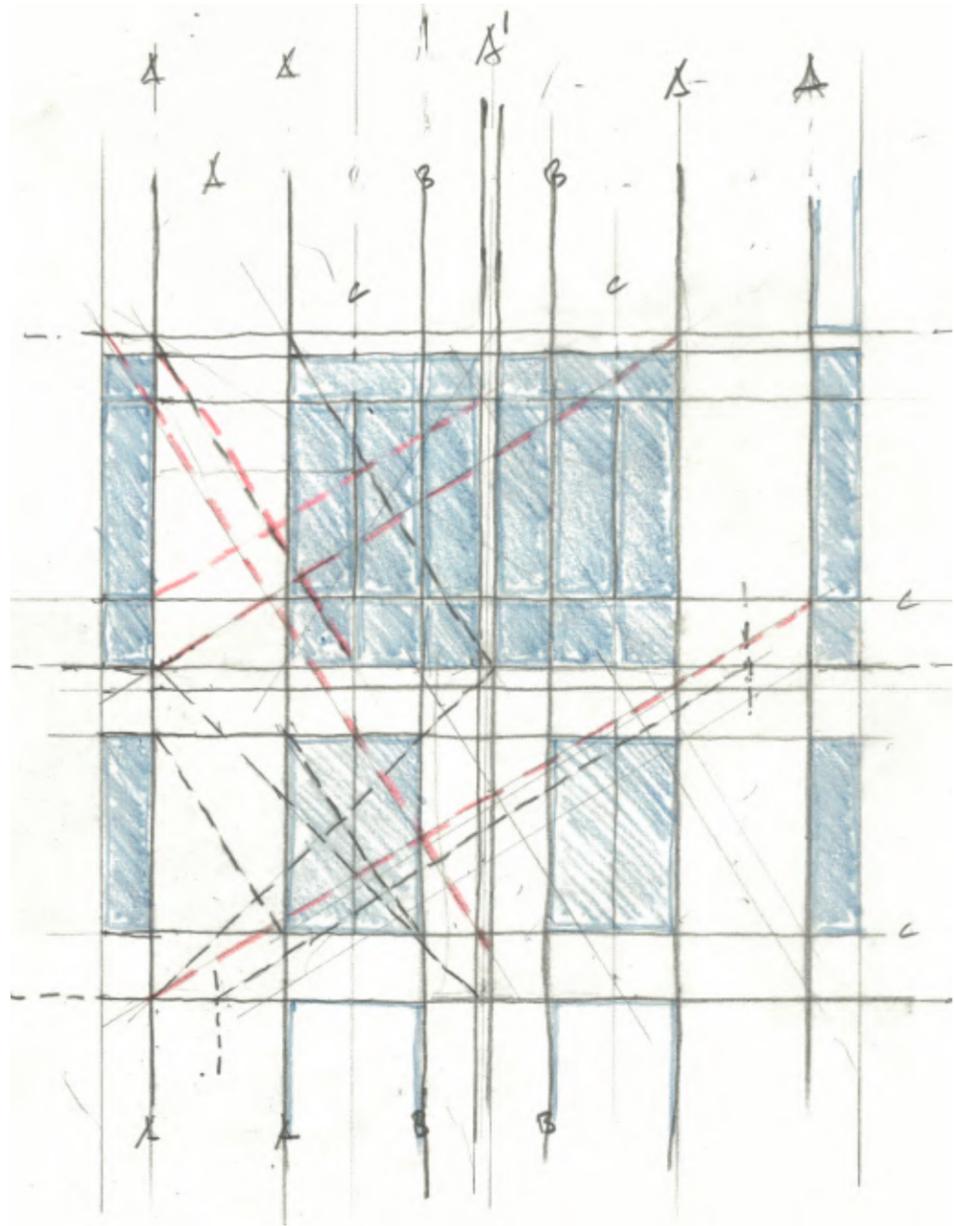
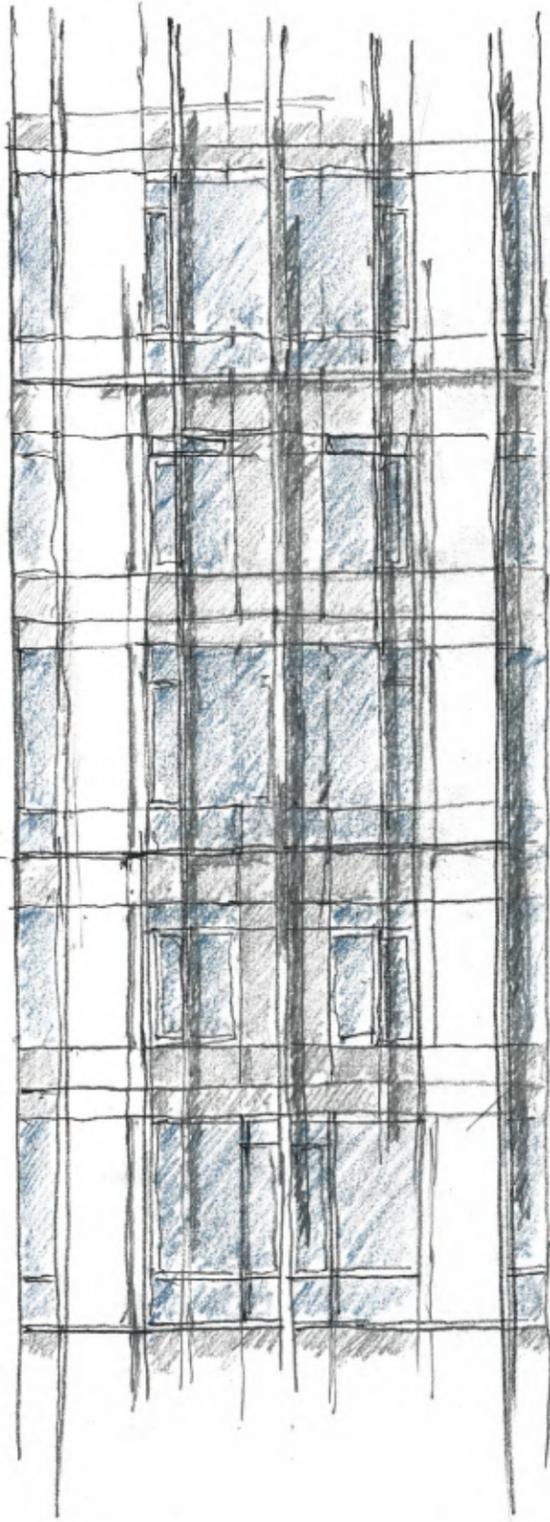
807 Park Avenue - Proposed West Elevation Diagram



Block #1388

Proportional and Compositional Organization Analysis

807 Park Avenue - Landmarks Preservation Commission
March 24th, 2015

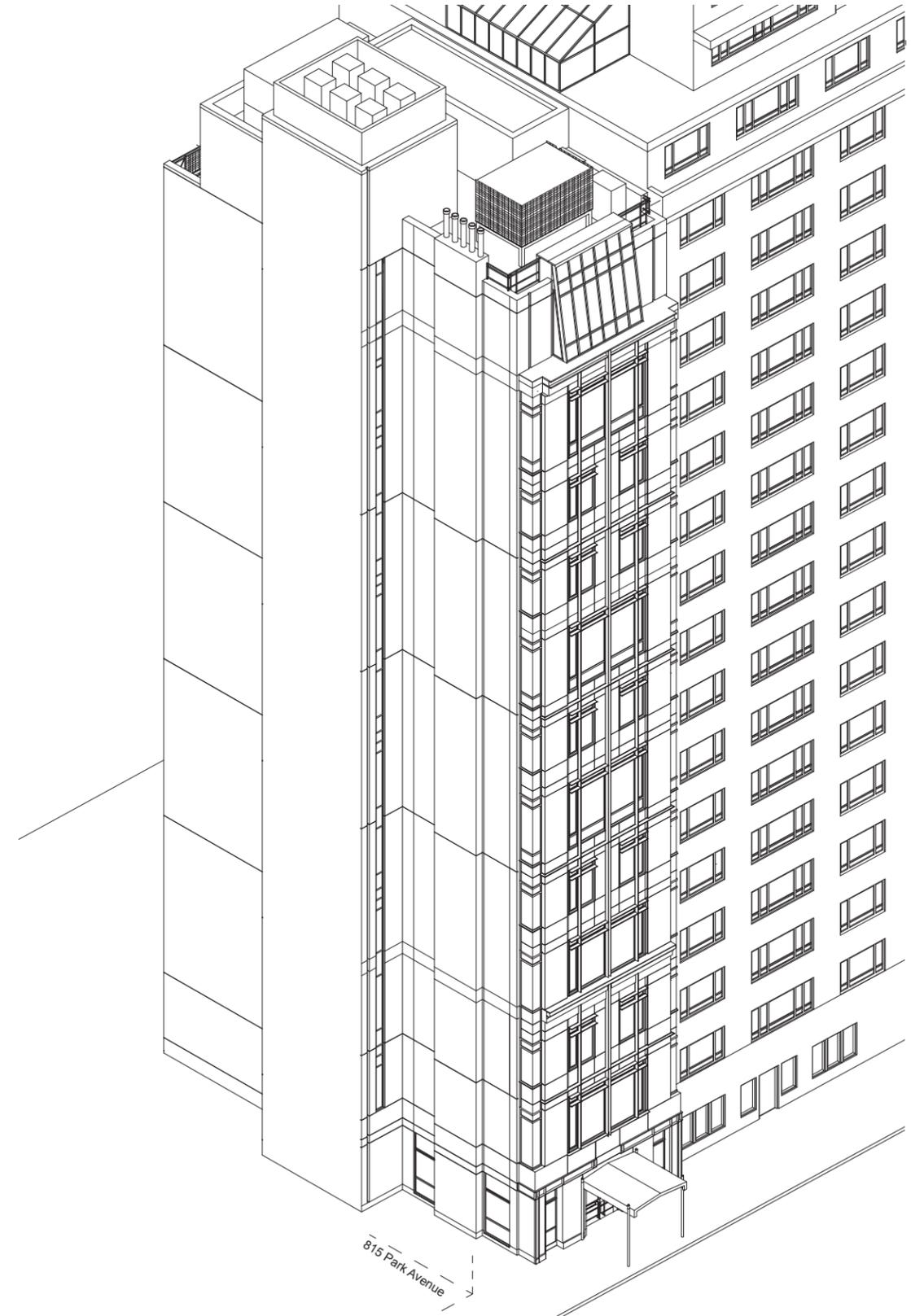


Proportional and Compositional Organization of 807 Park Avenue

807 Park Avenue - Landmarks Preservation Commission
 March 24th, 2015



West Elevation



West Elevation, Proposed & Axonometric from Northwest



Proposed East Elevation

View from East 74th Street & East Elevation, Proposed



Limestone

Granite

Glass

Shadowbox

Metal

Axonometric View from Northwest



Perspective from Park Avenue

A

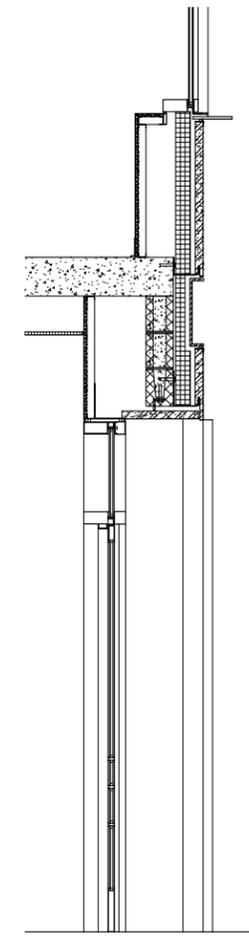


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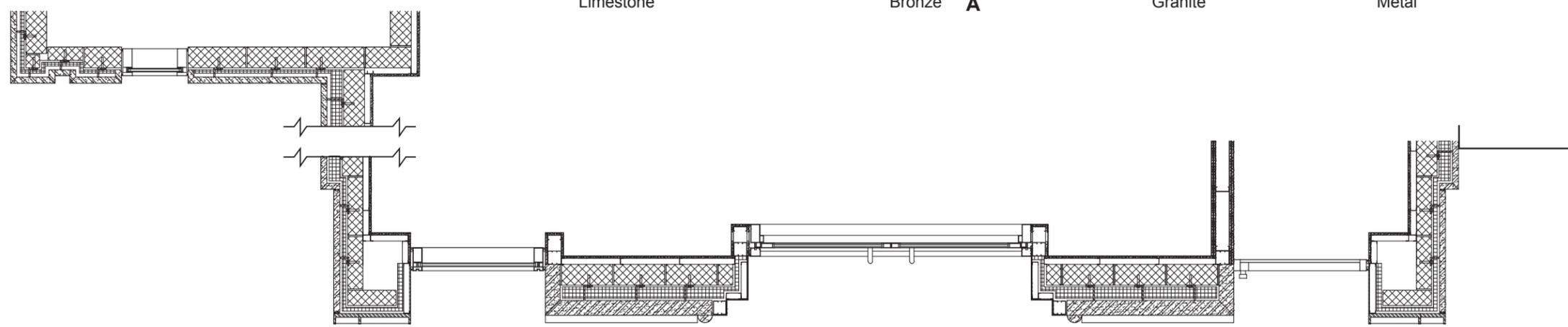
1

Limestone Bronze Granite Metal

A



Section A-A



Section 1-1

Exterior Envelope at First Floor with entry canopy

807 Park Avenue - Landmarks Preservation Commission
 March 24th, 2015

A

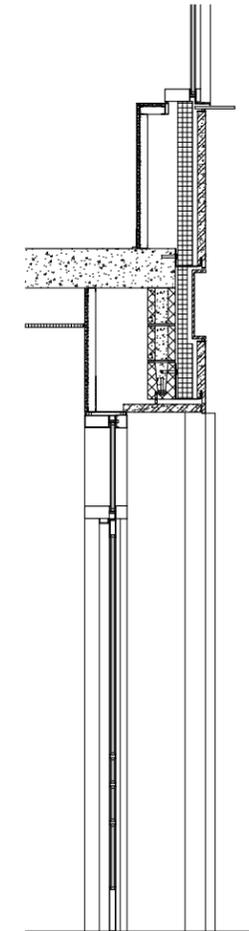


1-1

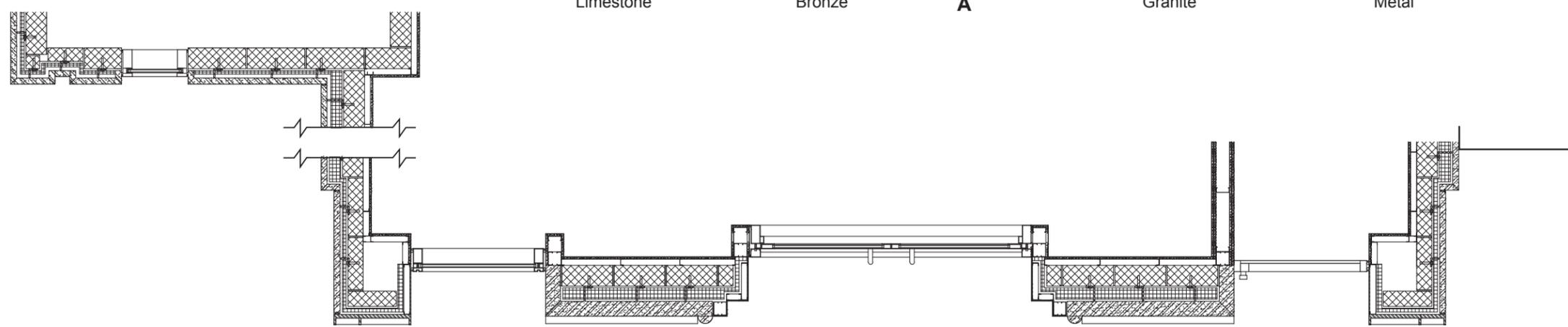
1-1

Limestone Bronze Granite Metal

A



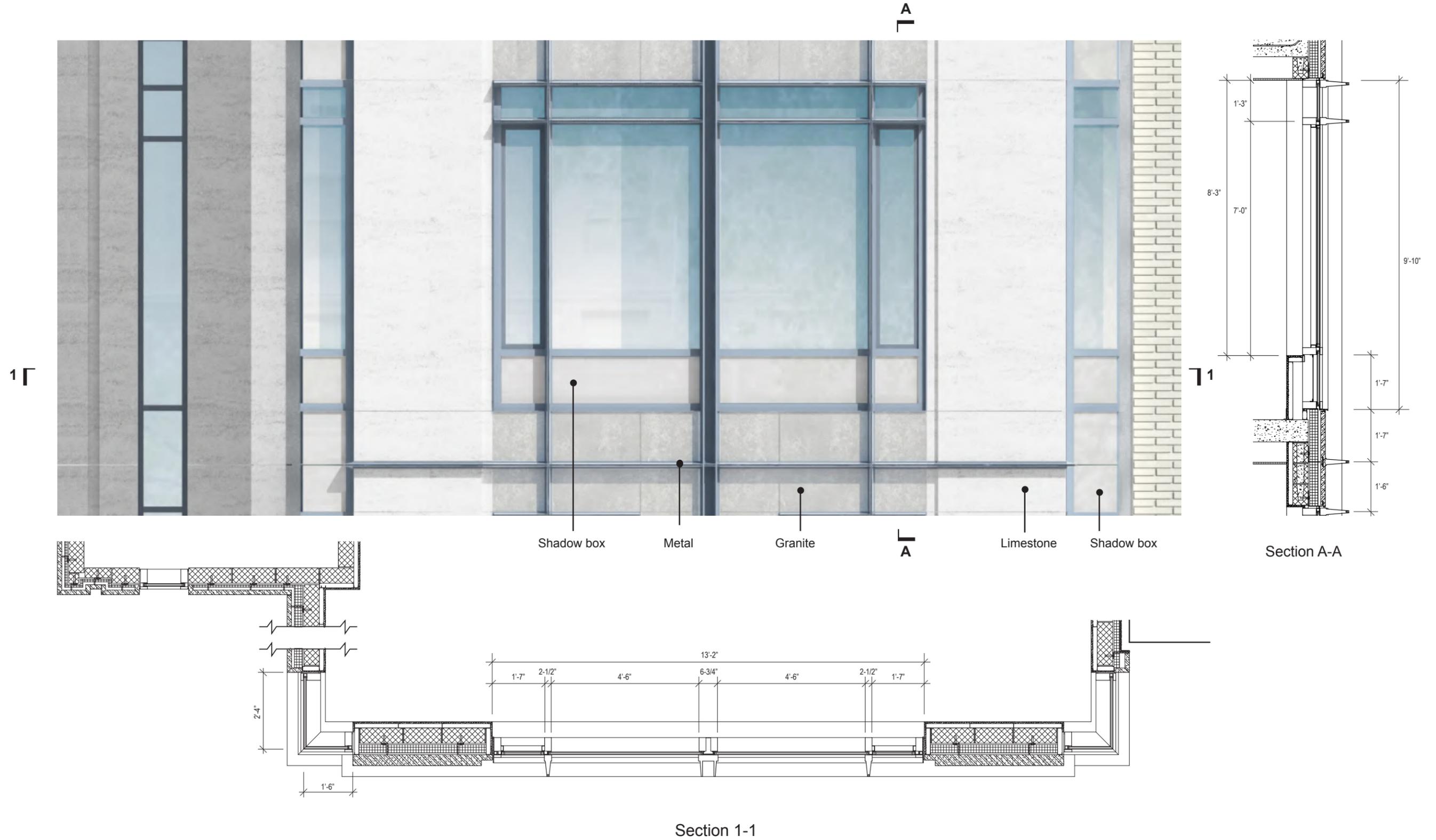
Section A-A



Section 1-1

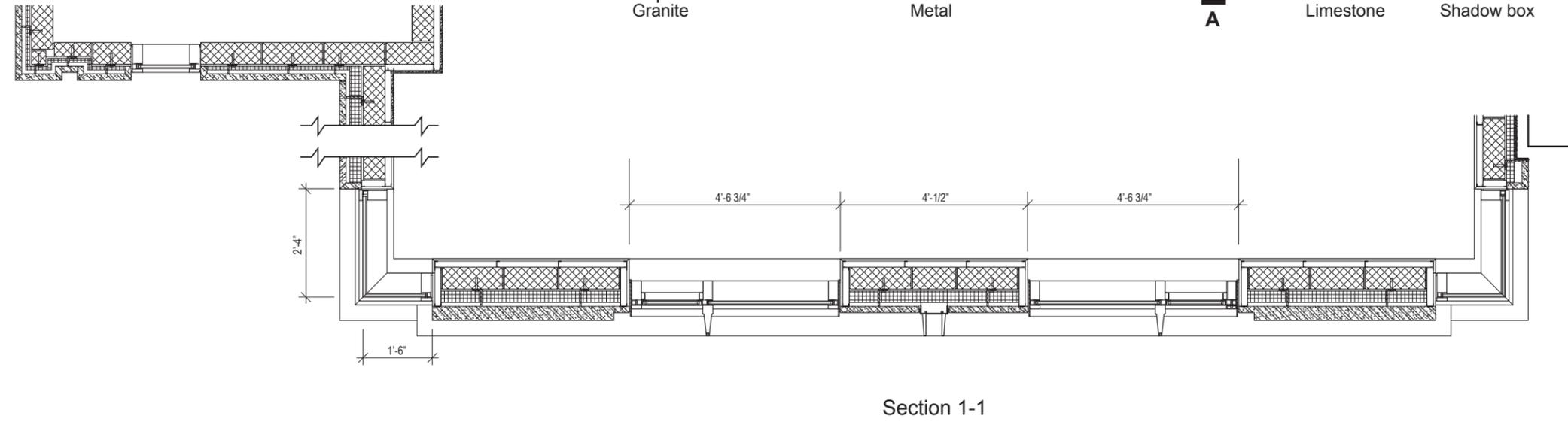
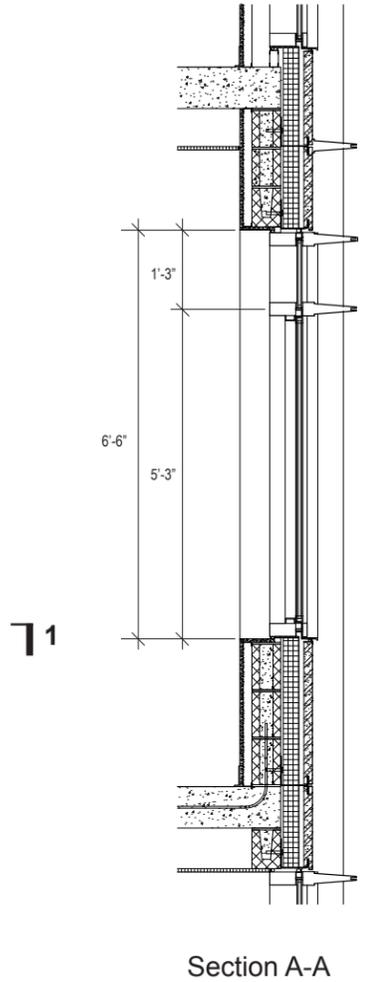
Exterior Envelope at First Floor *without* entry Canopy

807 Park Avenue - Landmarks Preservation Commission
 March 24th, 2015



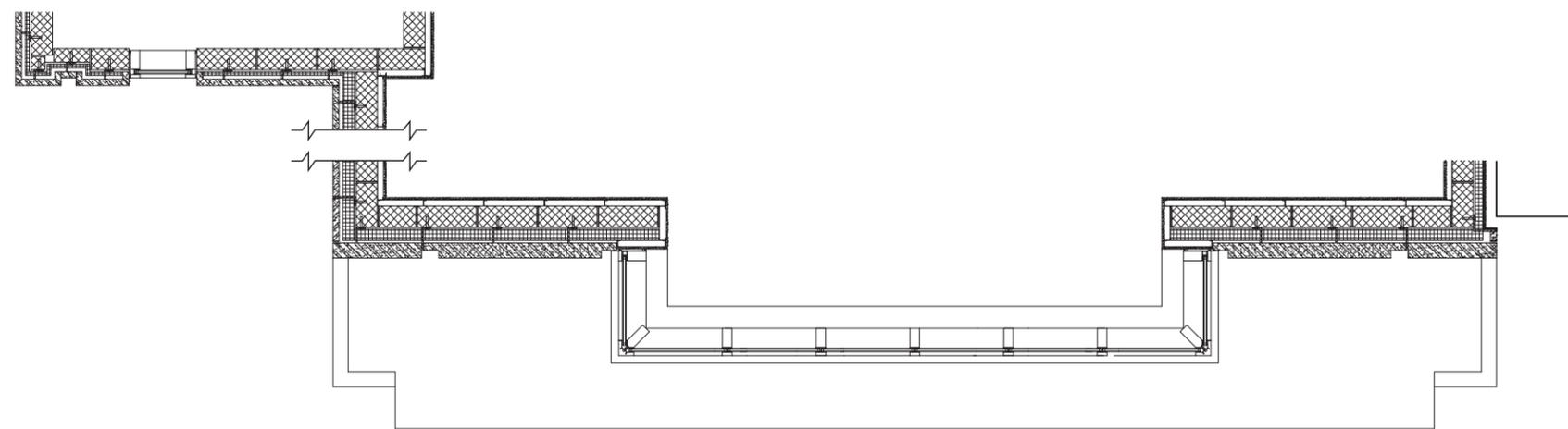
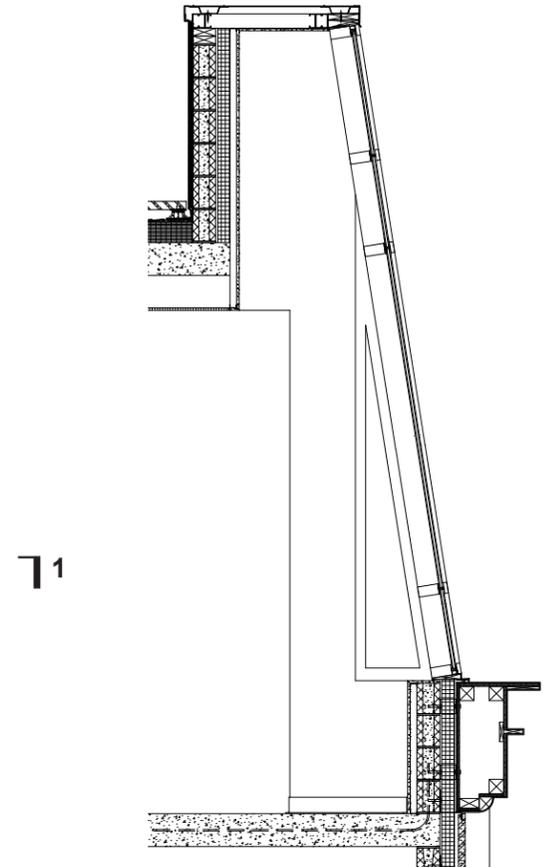
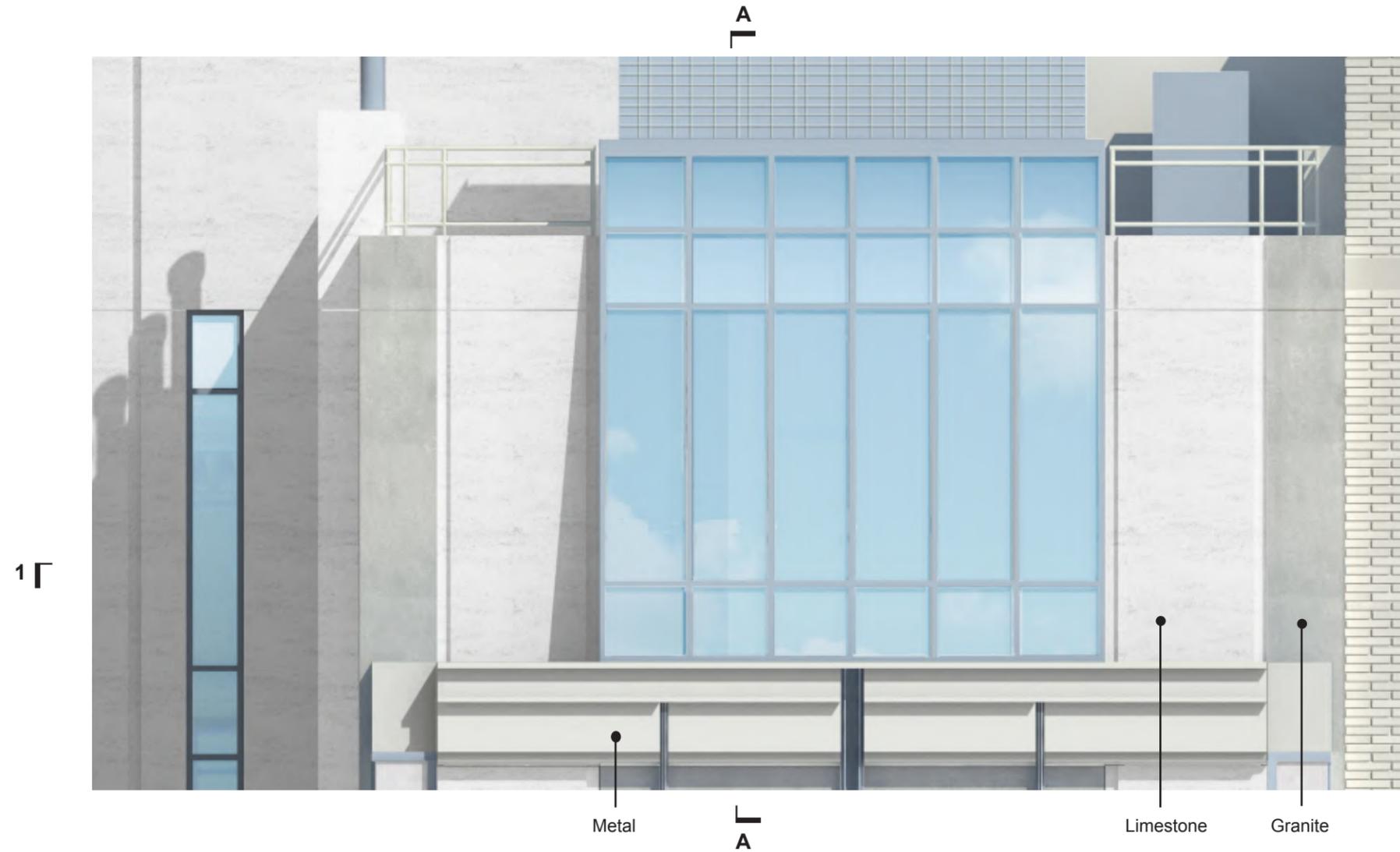
Typical Exterior Envelope at Living Room

807 Park Avenue - Landmarks Preservation Commission
March 24th, 2015



Typical Exterior Envelope at Bedroom

807 Park Avenue - Landmarks Preservation Commission
March 24th, 2015

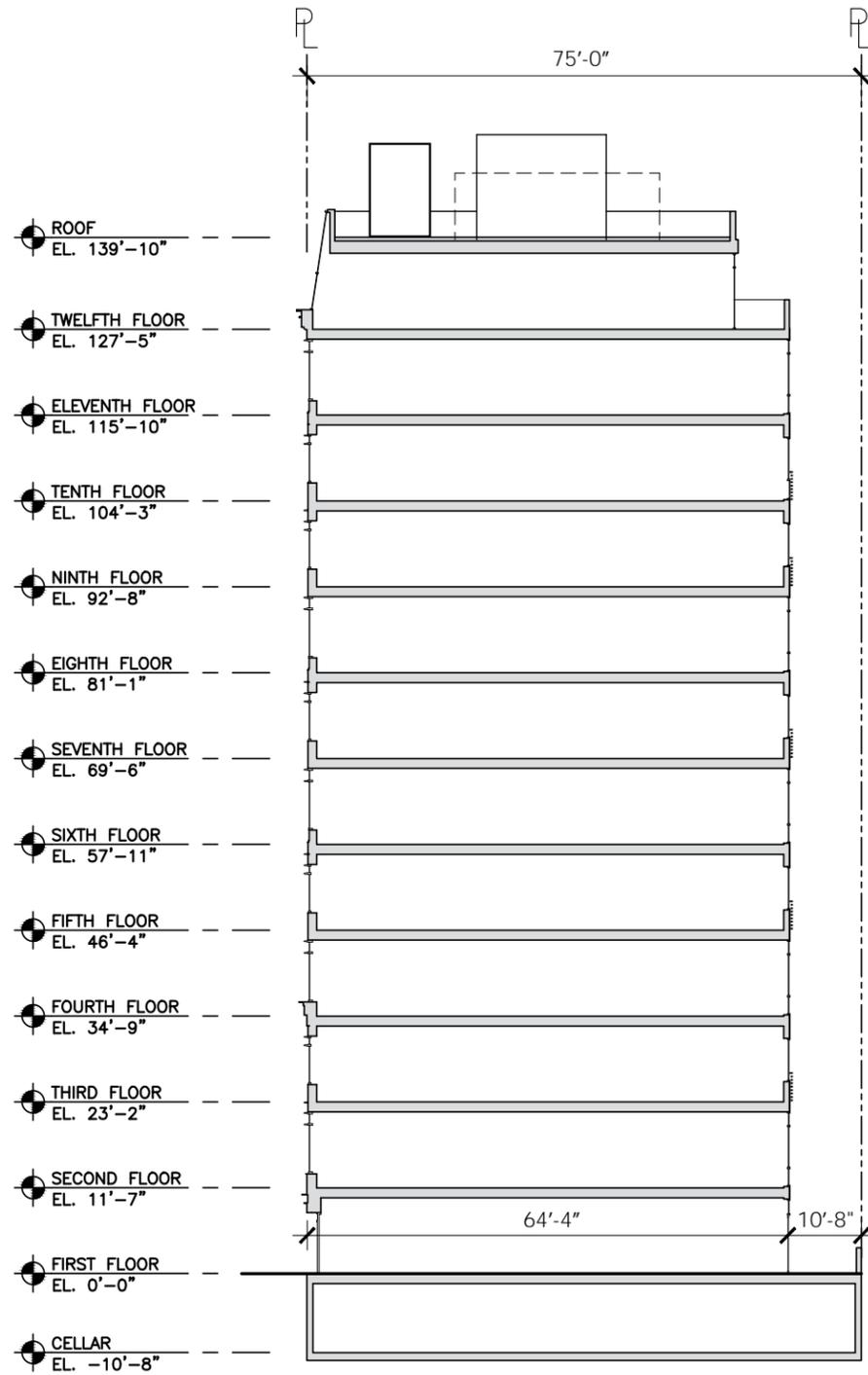


Section A-A

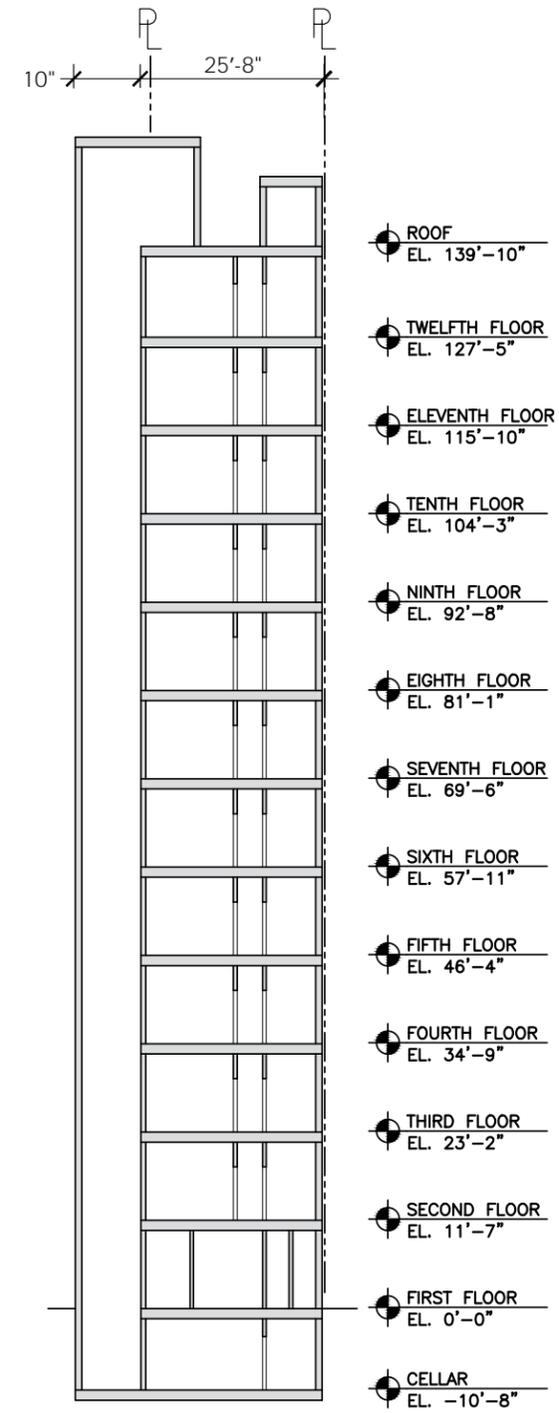
Section 1-1

Exterior Envelope at 12th Floor

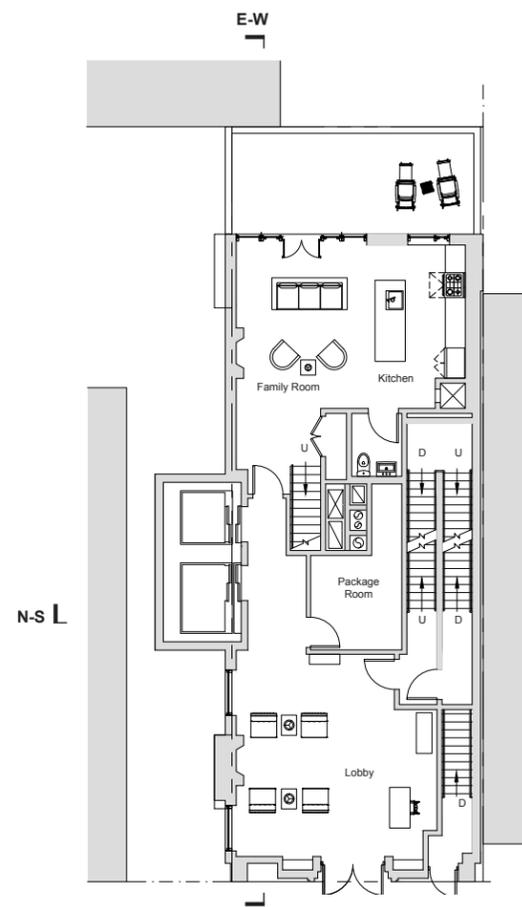
807 Park Avenue - Landmarks Preservation Commission
 March 24th, 2015



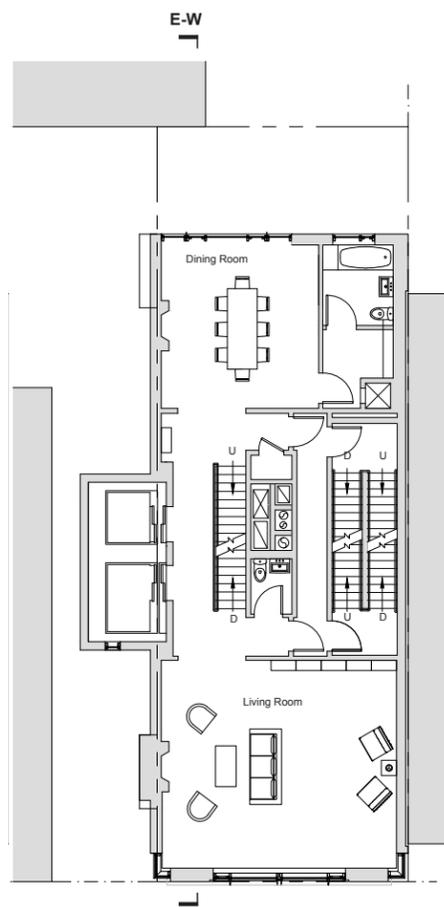
East-West Section



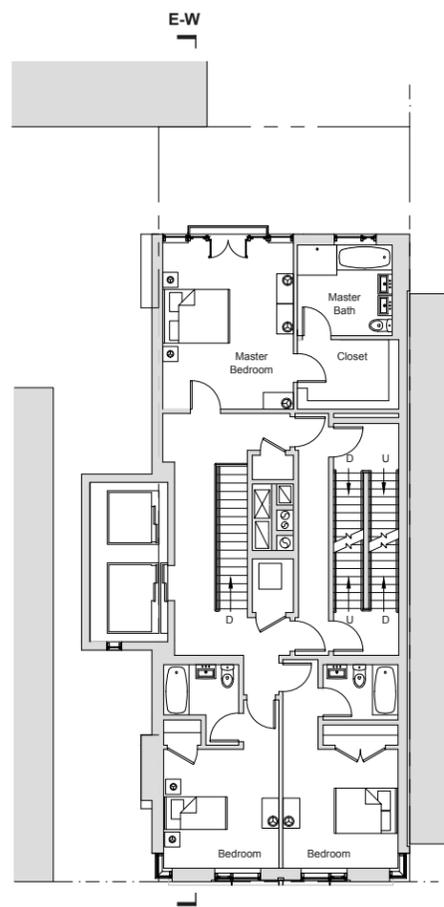
North-South Section



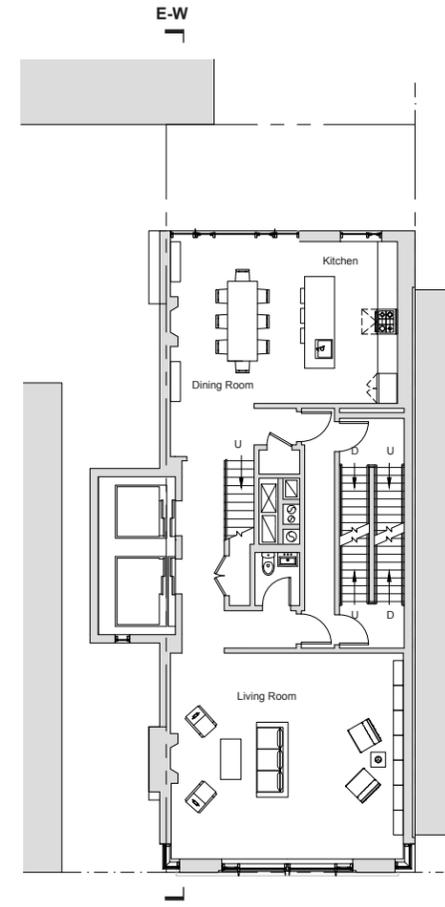
Lobby / Maisonette
1st Floor



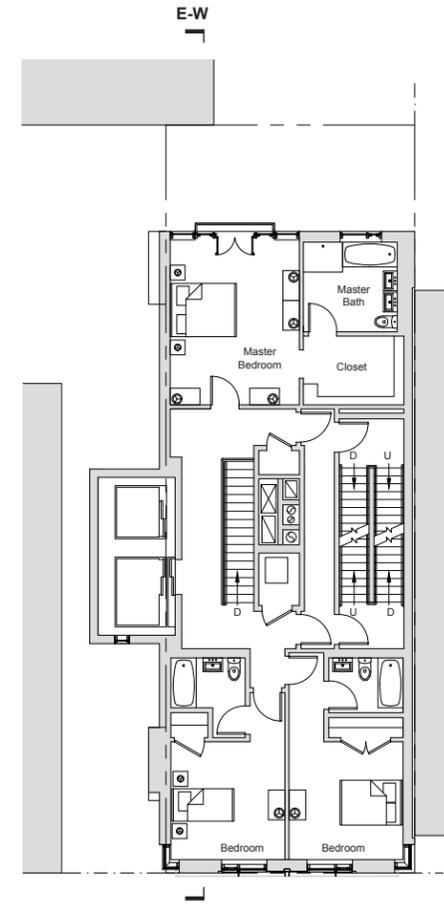
Maisonette
2nd Floor



Maisonette
3rd Floor



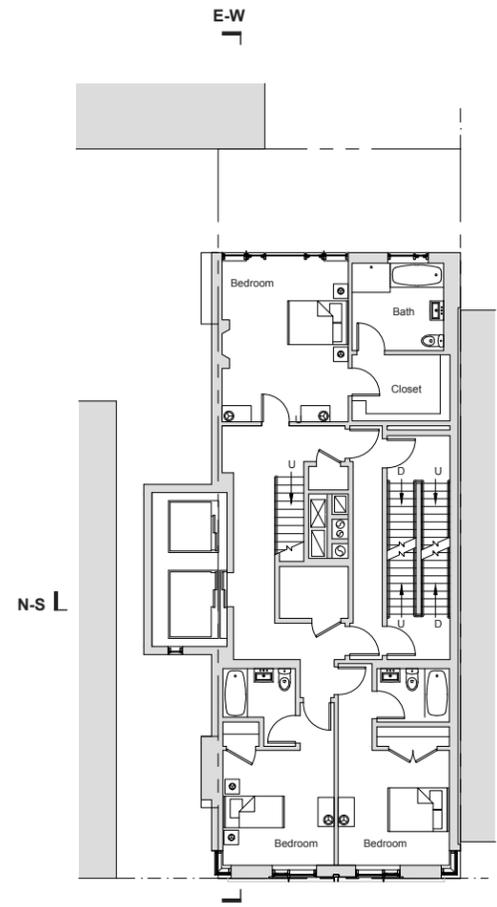
Typical Duplex - Lower Level
4th, 6th, 8th Floors



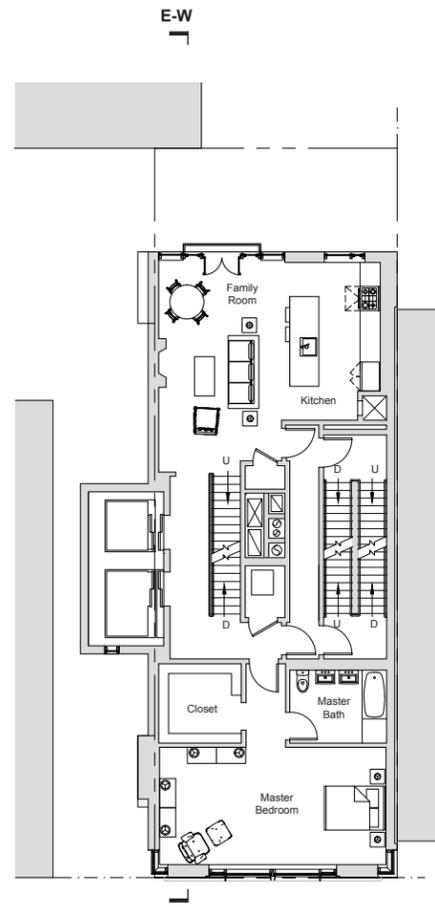
Typical Duplex - Upper Level
5th, 7th, 9th Floors



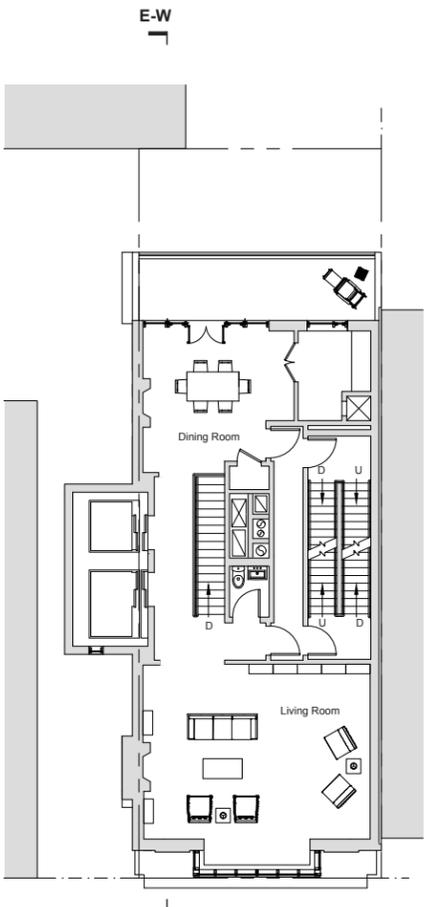
Floor Plans



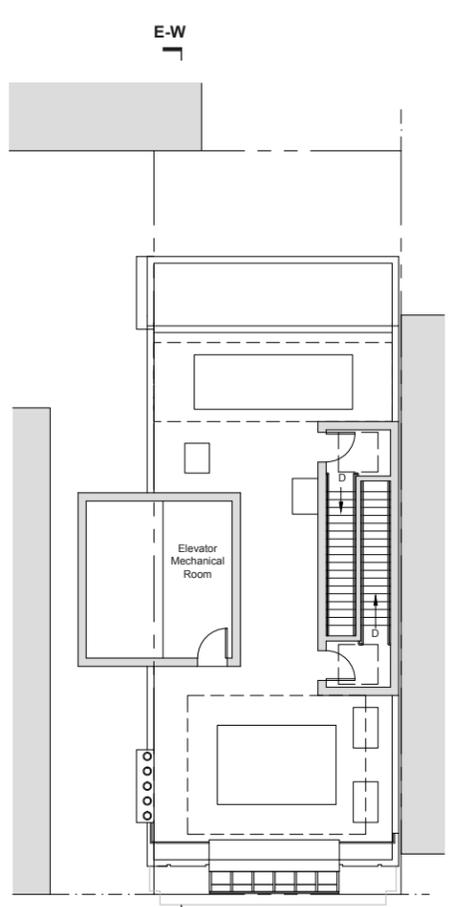
Penthouse
10th Floor



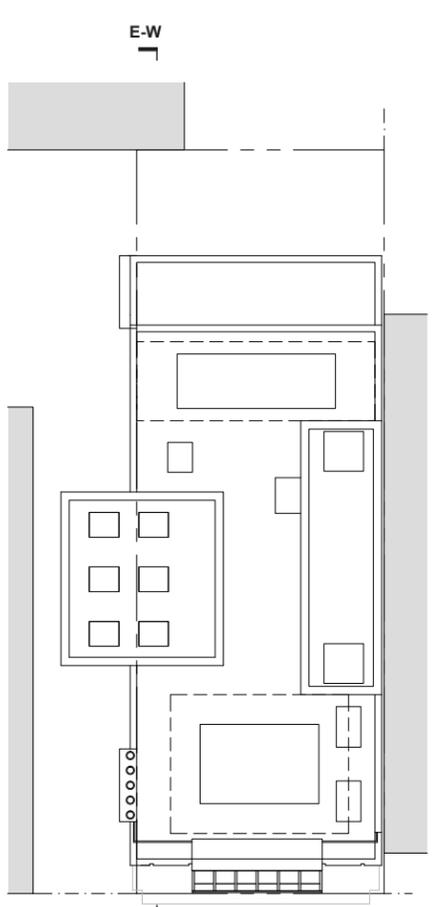
Penthouse
11th Floor



Penthouse
12th Floor



Roof Plan



Roof Plan



The following diagrams are attempts at illustrating the relationship of the retained and incorporated façade fragment with a new, Park Avenue type apartment building.

For convenience the proposed design, as presented to the Commission on December 2nd, 2014, has been used, without alteration, for imposition of the fragment.

If a successful arrangement were in fact possible, a new façade design, incorporating the fragment, would be required to properly express a satisfactory architectural design as well as the appropriate characteristics of the historic district.

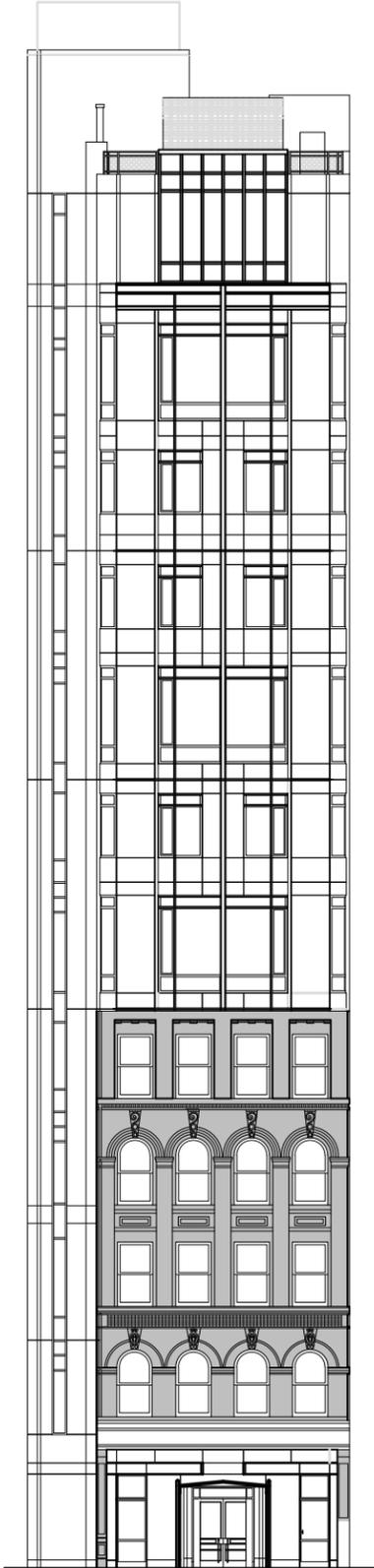


Figure 1 - Fragment Retained

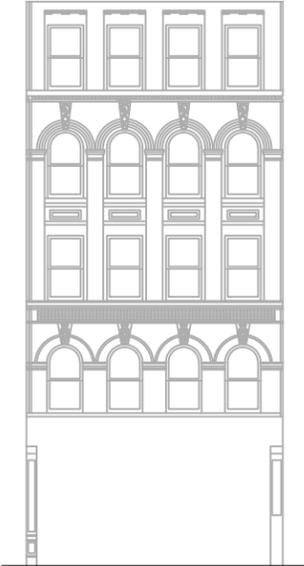


Figure 2 - Existing Fragment

These diagrams illustrate the extensive compositional similarities between the proposed design and the original, designated 5 story tenement.

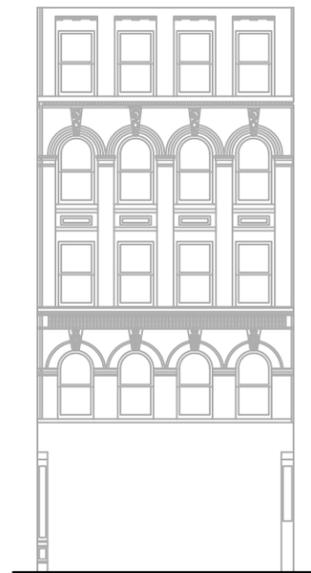


Figure 2 - Existing Fragment - Reiterated

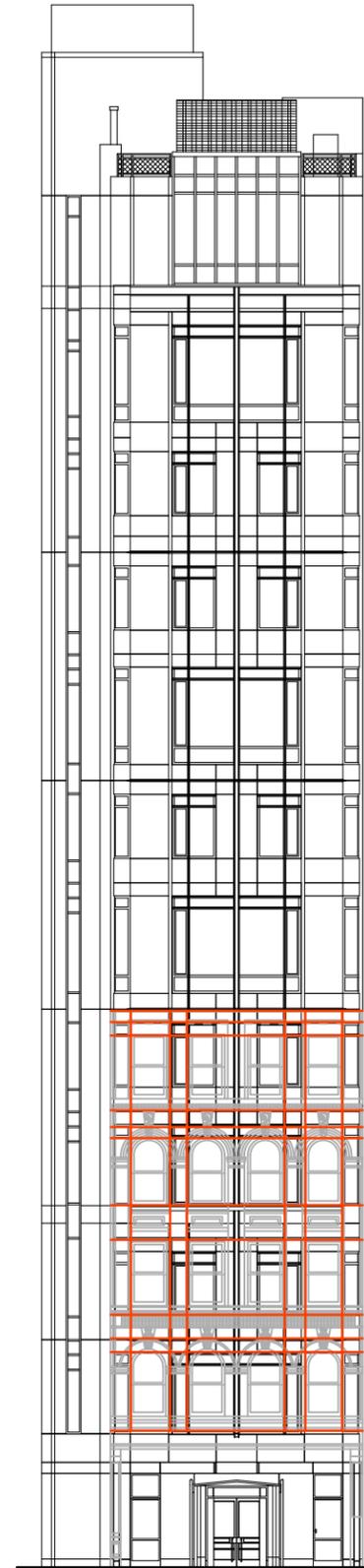


Figure 3 - 'Overlay' of Proposed on Fragment

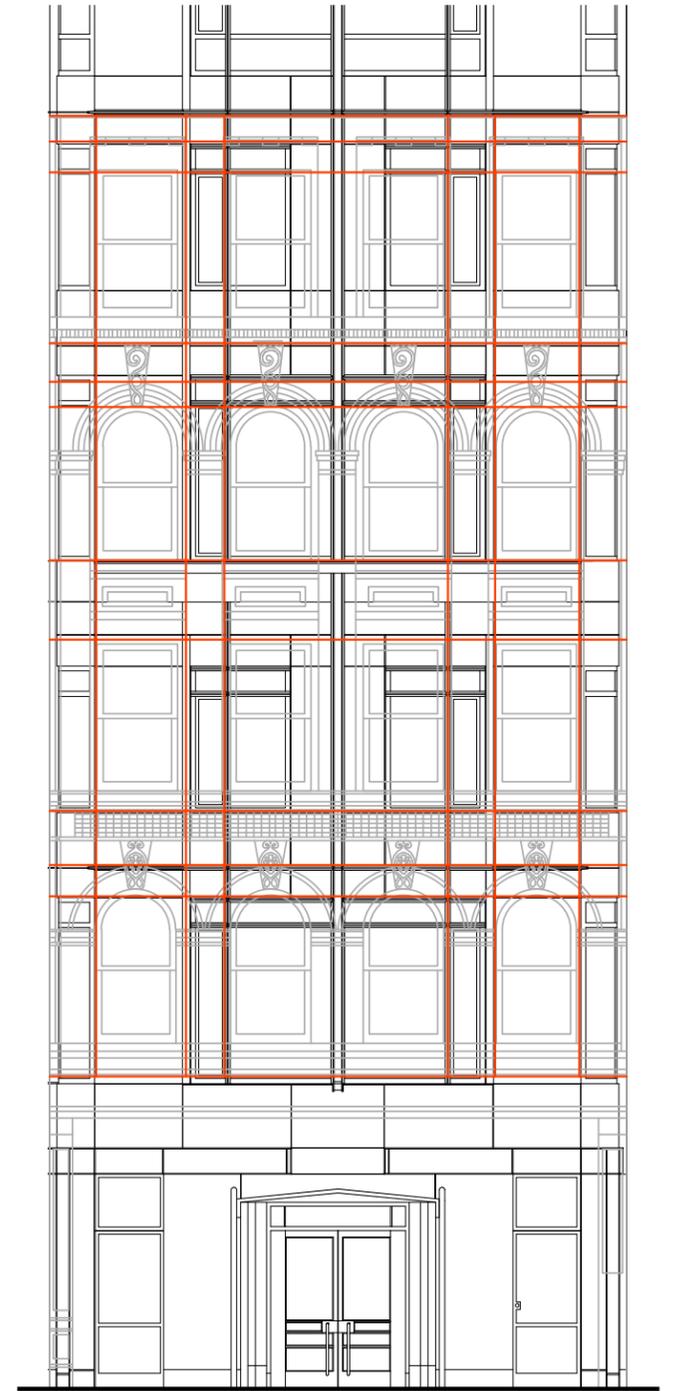


Figure 3 - 'Overlay' of Proposed on Fragment (Enlarged)

Illustration of design elements taken from and representative of the designated tenement incorporated in a possible new façade

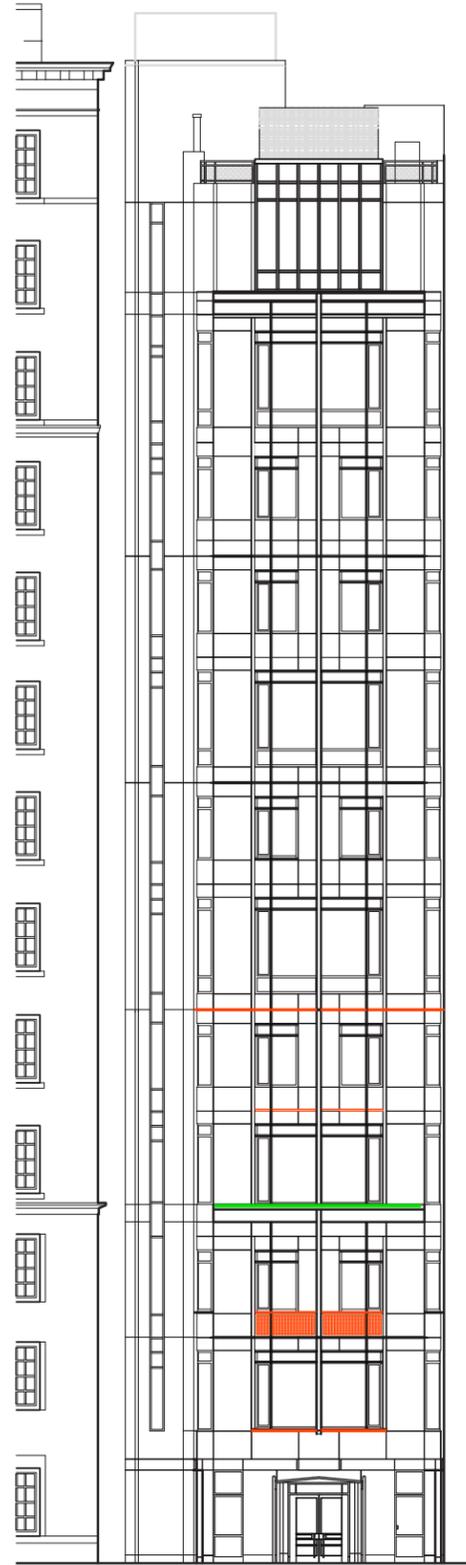


Figure 4 - Represented Fragment (Highlighted)

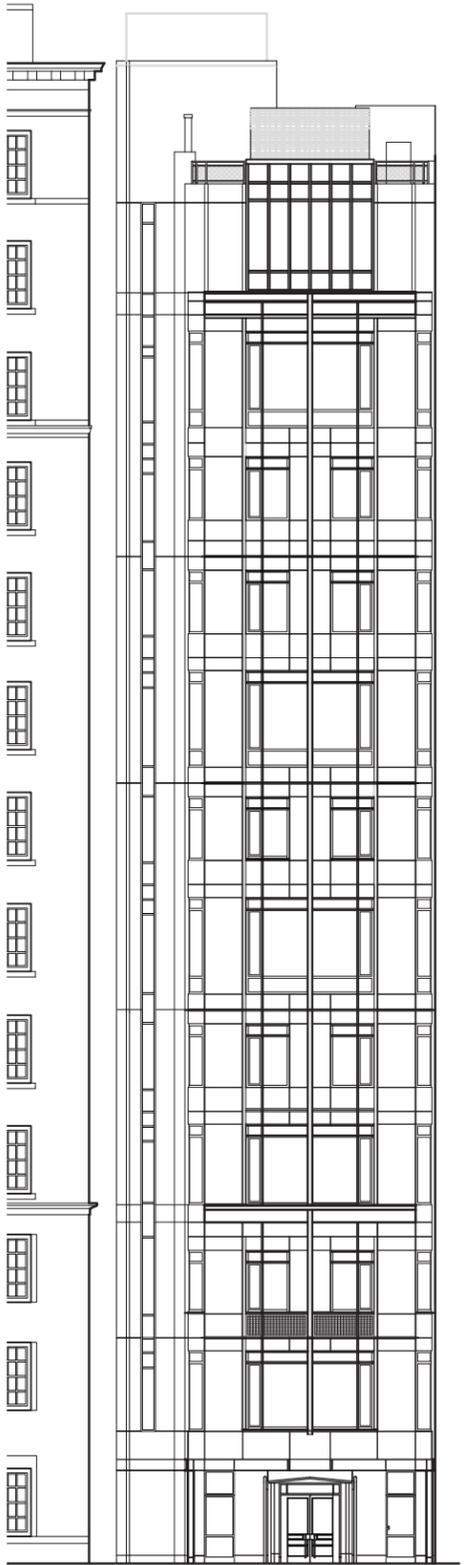


Figure 4b - Represented Fragment

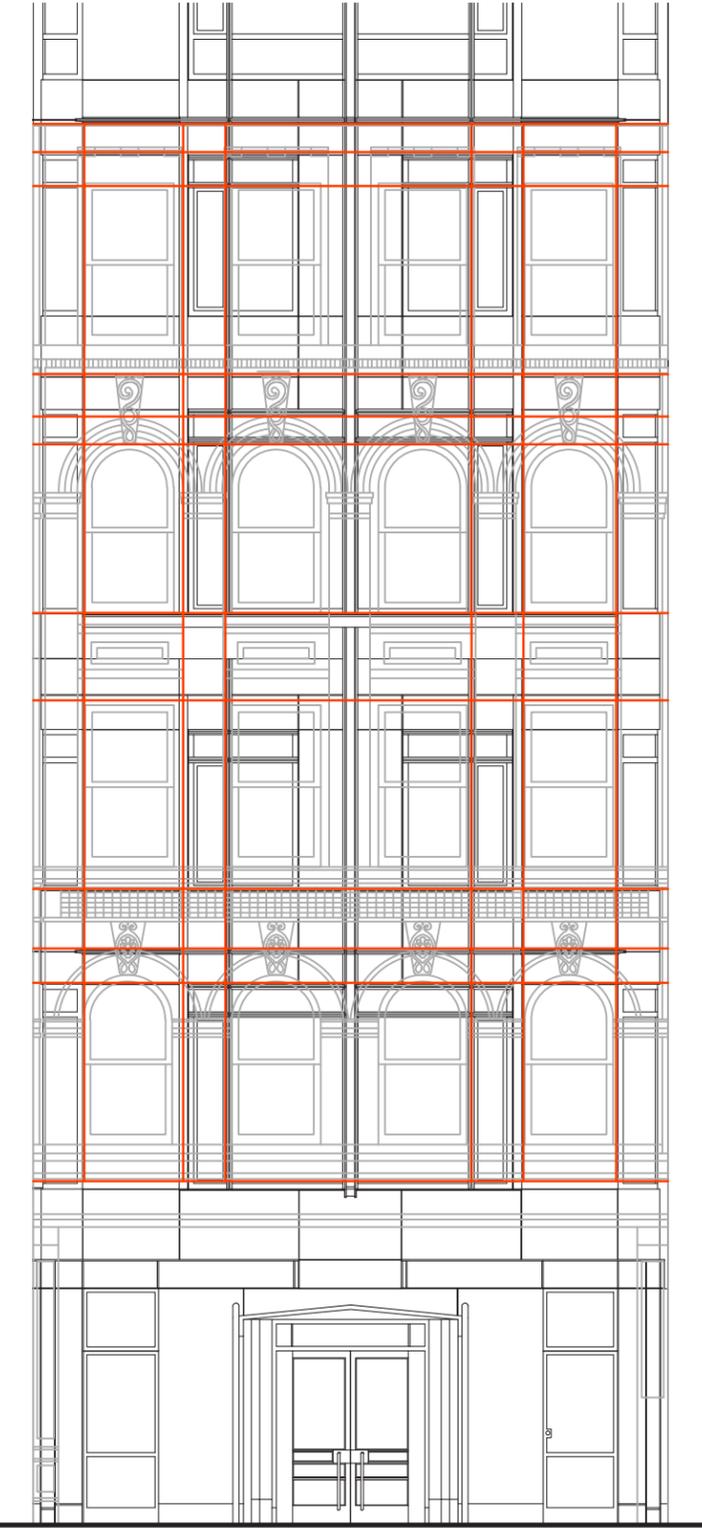


Figure 3 - 'Overlay' of Proposed on Fragment (Enlarged) - Reiterated



Figure 5 - Possible Represented Fragment

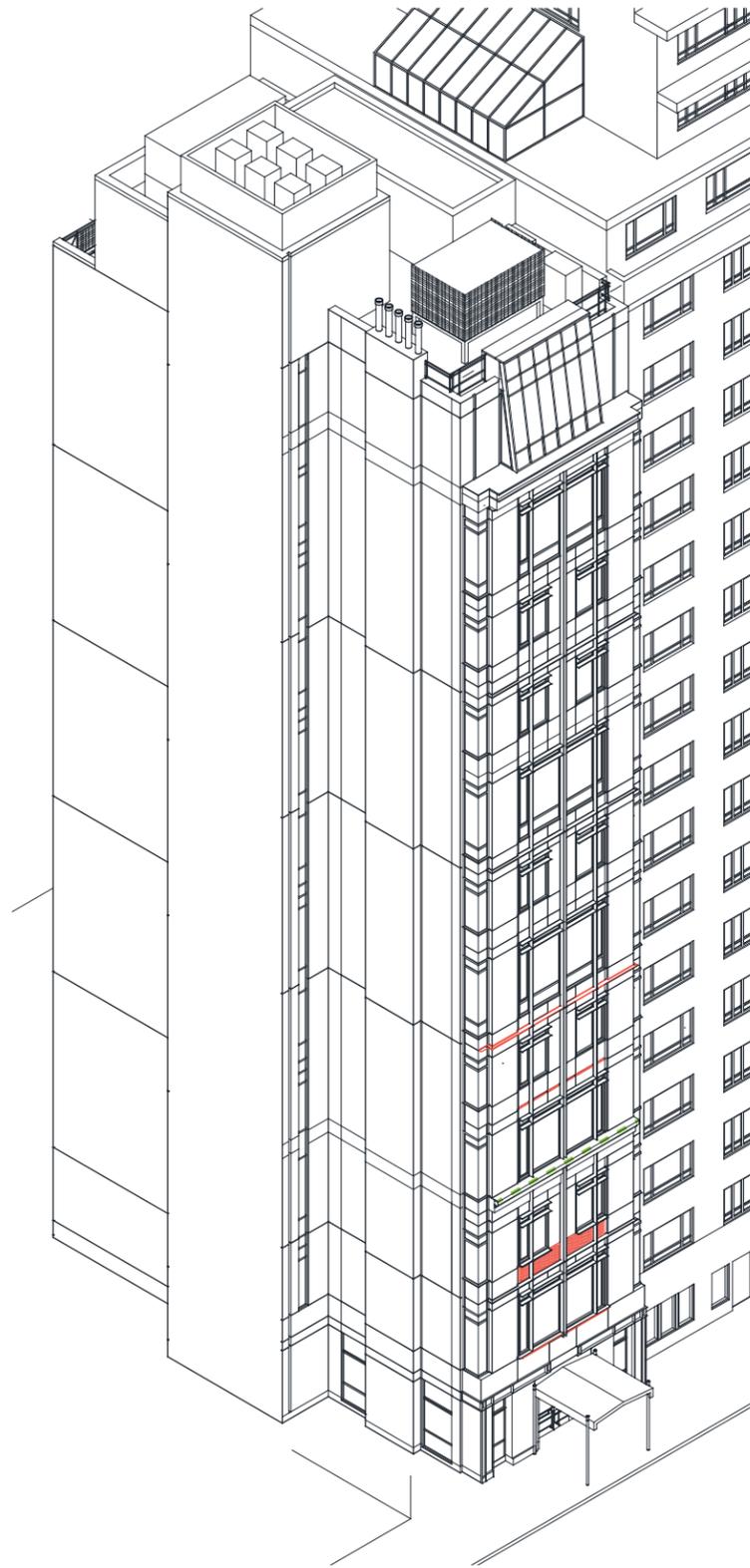


Figure 6 - Represented Fragment (Highlighted)

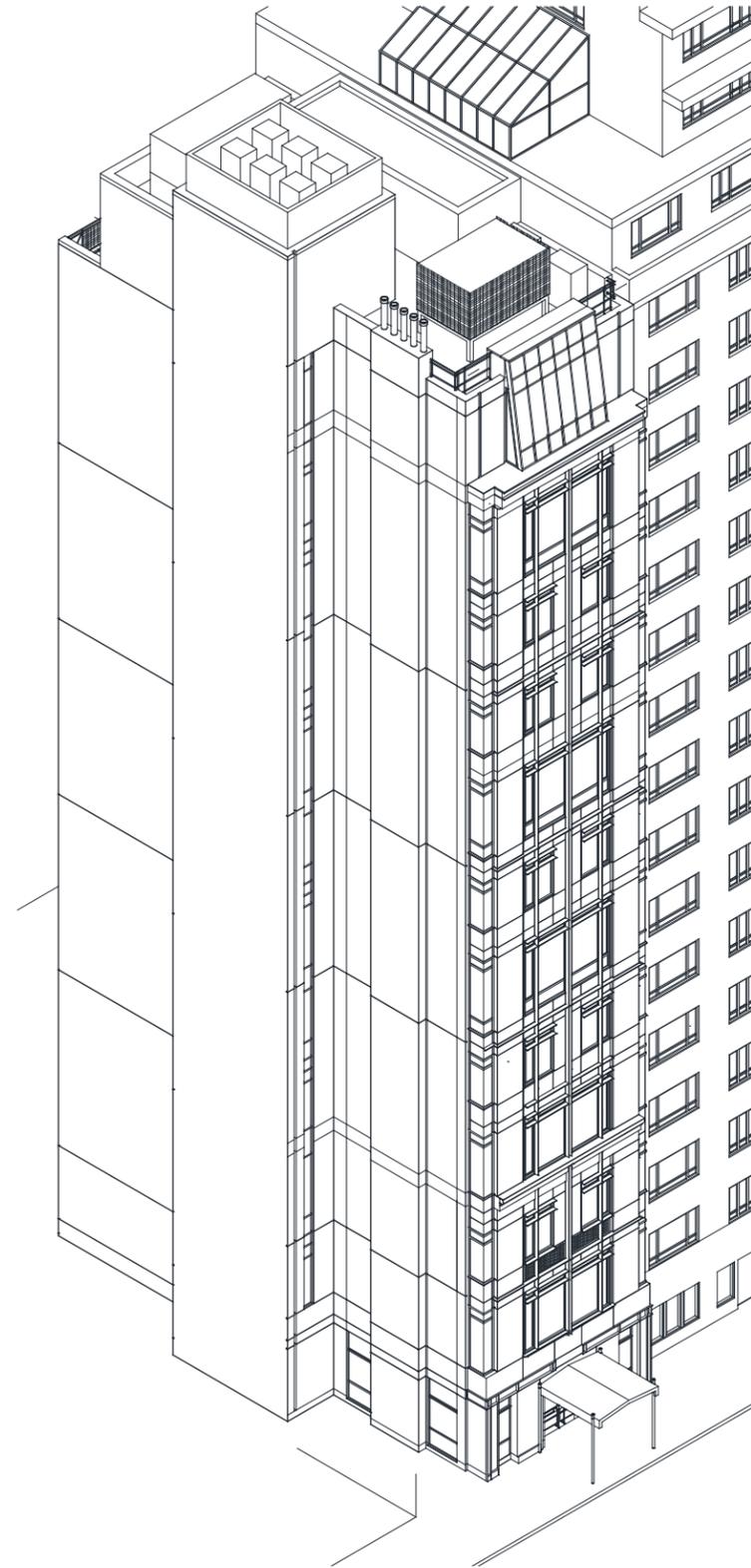


Figure 6b - Represented Fragment

Illustrations demonstrating past failed attempts at incorporating the existing fragment in a successful and appropriate building.

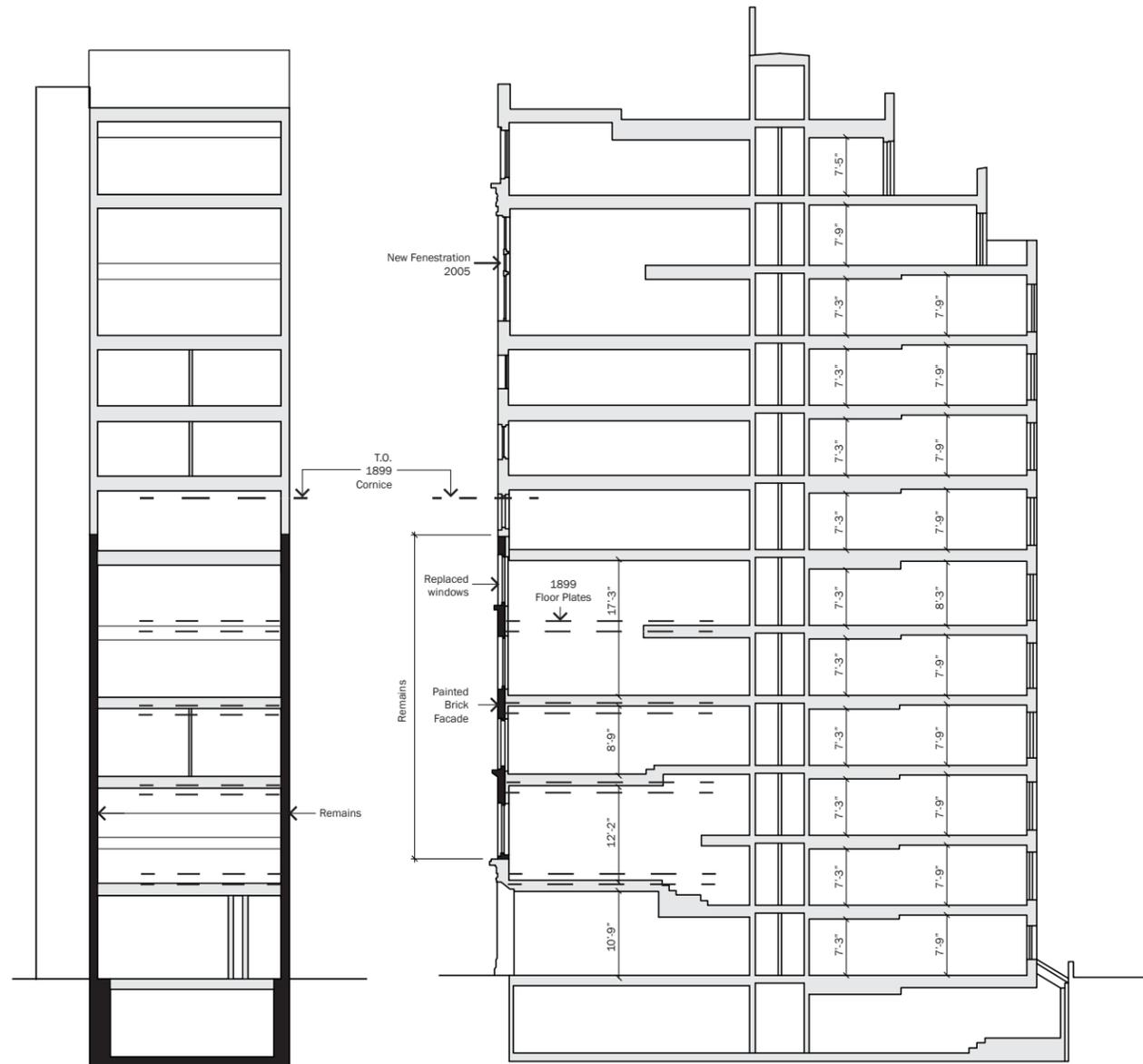


Figure 7
Existing Transverse Building Section

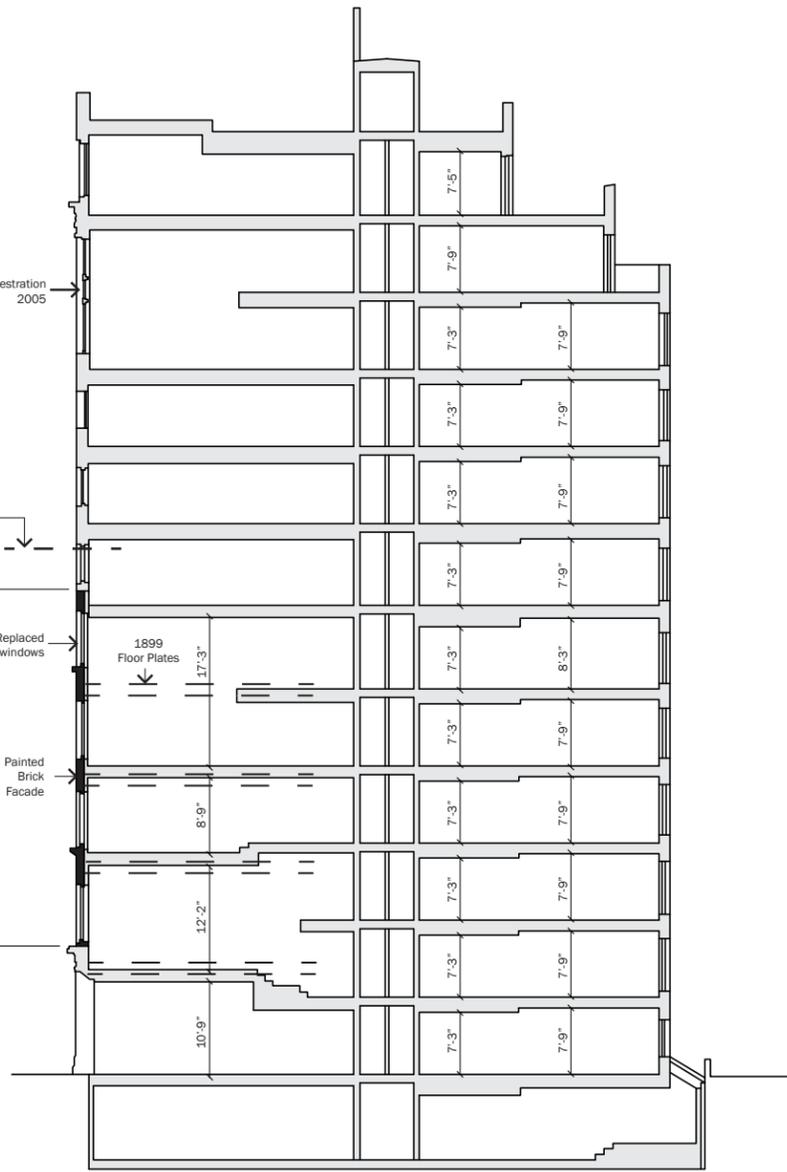


Figure 8
Existing Building Section
See Figure 18 for Facade detail

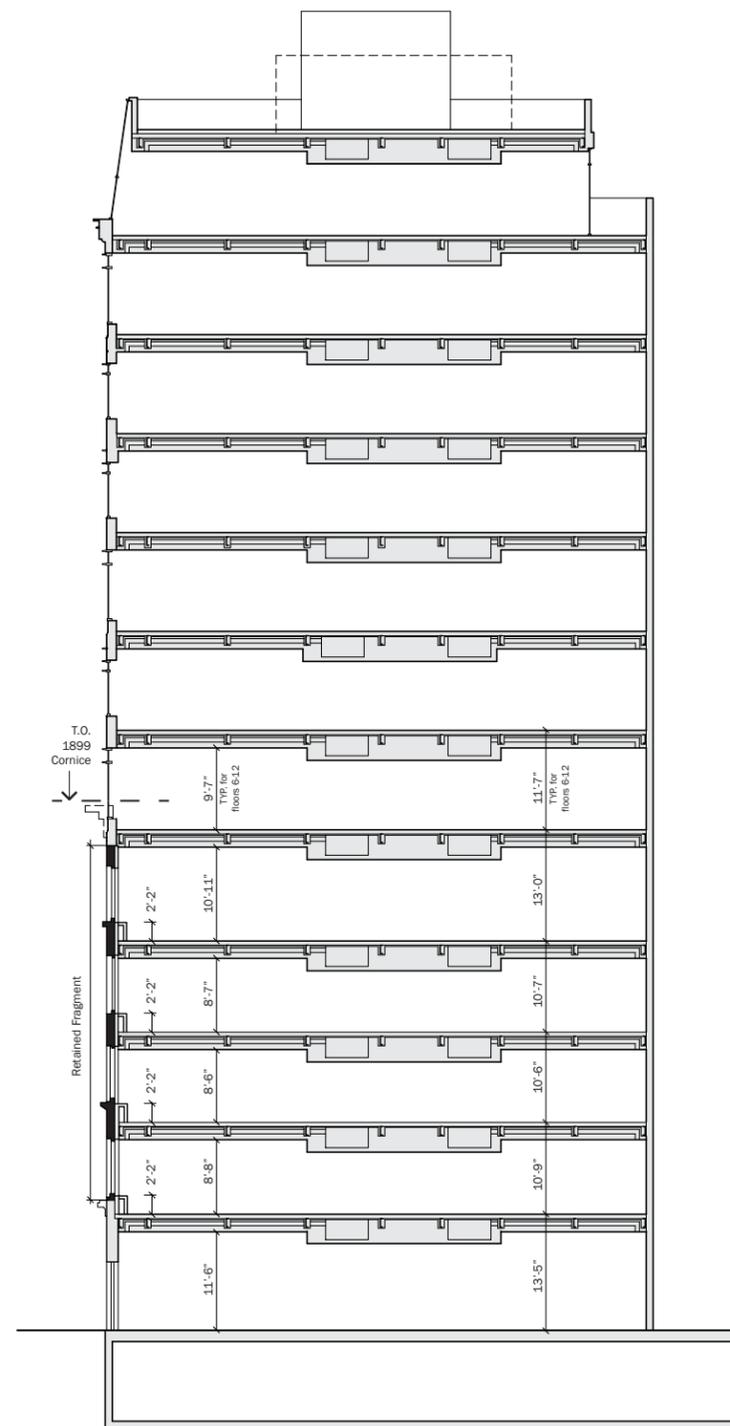


Figure 9
Proposed Section with Fragment Retained
See Figure 19 for Facade detail

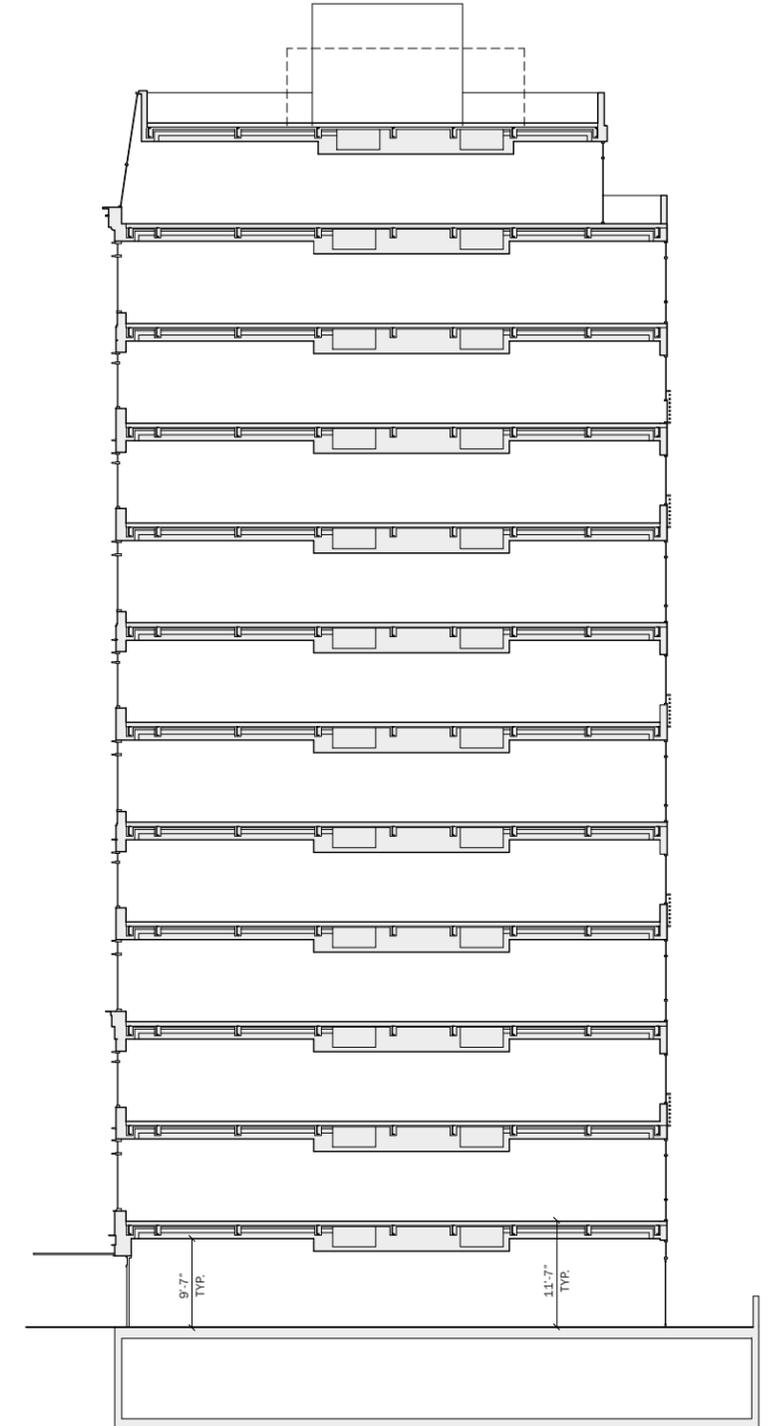


Figure 10
Proposed Section

In reality, the argument should not be about any particular dimensions (Figs. 11-17), the head or sill conditions, the ceiling heights, or even the proportions and room layouts.

Instead the argument should be that in a period of over 30 years and two major alterations, valued at millions of dollars, the superimposition of this 1899 tenement type façade on a Park Avenue Type apartment building simply hasn't worked. The test has been done, more than once, the attempts have already been made. And it is not a matter of cleverness or of willingness. The proof is before us, as a long list of unhappy owners can testify. It just hasn't worked.

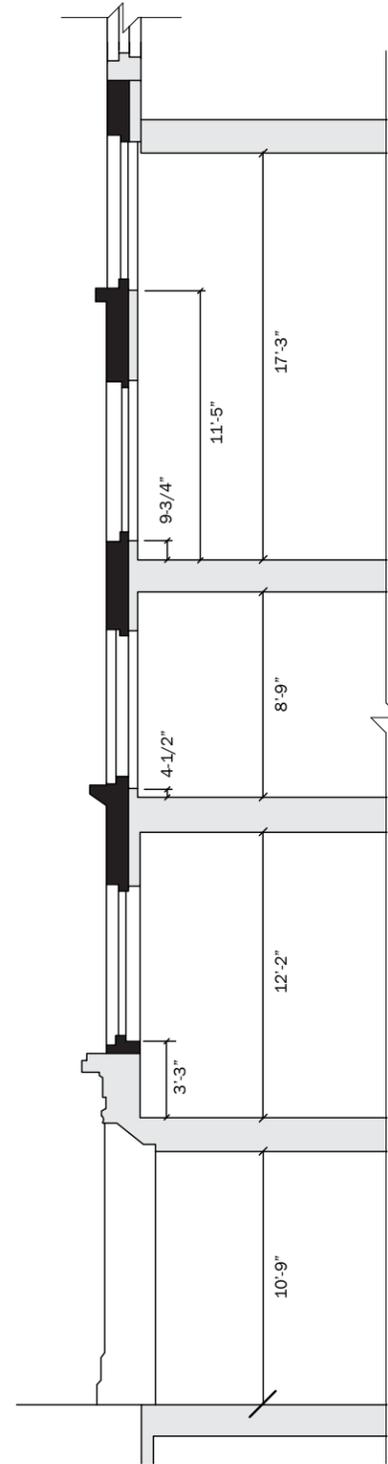


Figure 11
Existing Building Section
Fragment Detail

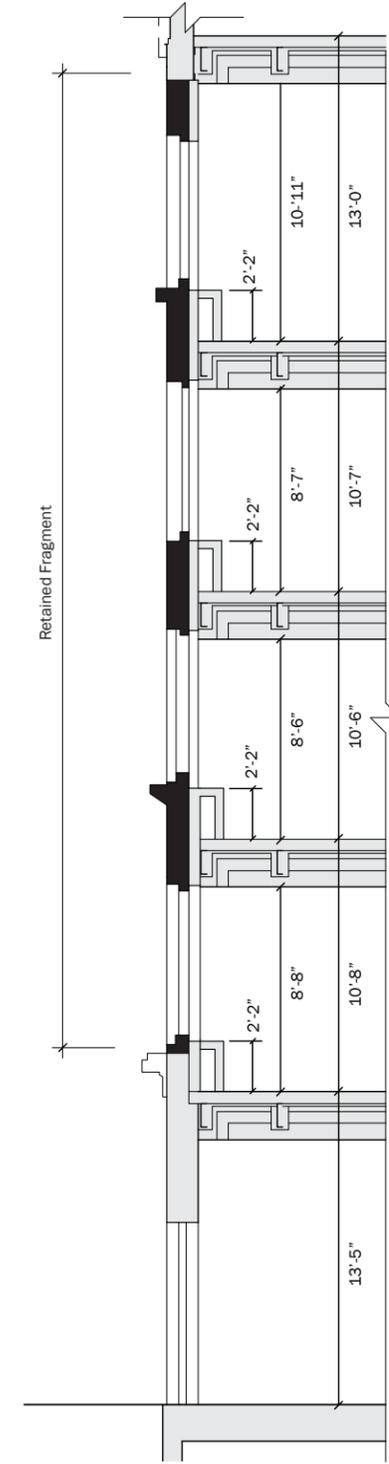


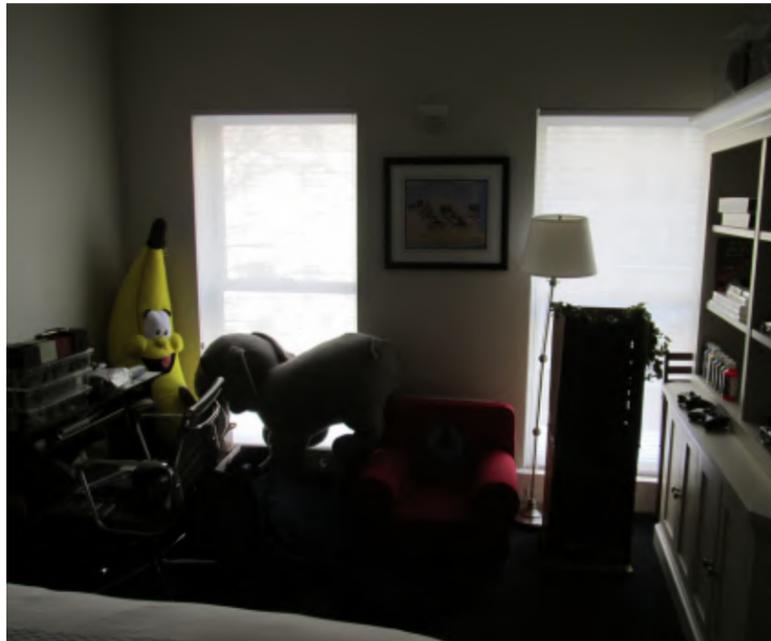
Figure 12
Proposed Building Section with Fragment Retained
Fragment Detail



Figure 13 - Existing 4th Floor high windows: showing window heads above ceiling and jammed into recess; difficult access to curtain assemblies and to double hung working windows and showing difficulties of maintenance and ordinary cleaning; southern (and northern) window's jamb too close to side wall (typical)



Existing 4th Floor high windows: similar to Fig. 13, showing awkward and uncomfortable placement of window openings



Existing 3rd Floor space (typical): showing cramped, low ceiling space with window openings set too low to floor



Existing 3rd Floor Window Sill and Heating Element: showing window sill recessed below heating element (typical)

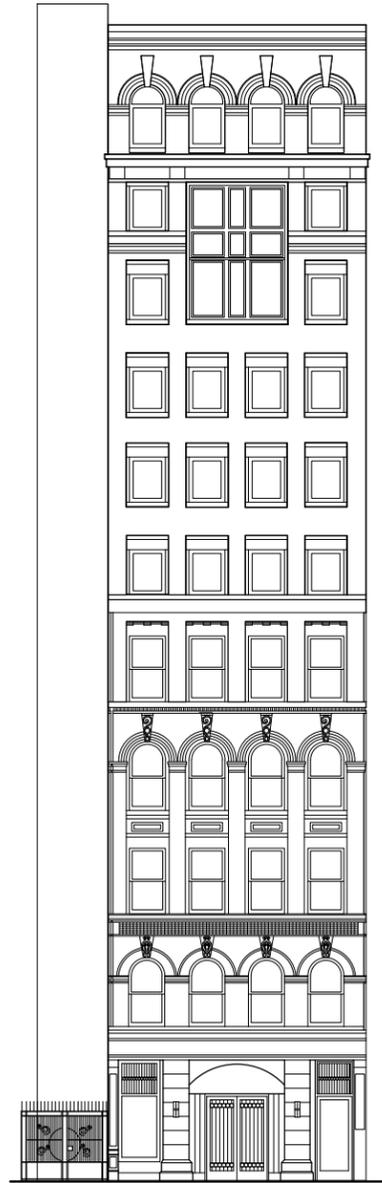


Figure 18 - Existing Elevation

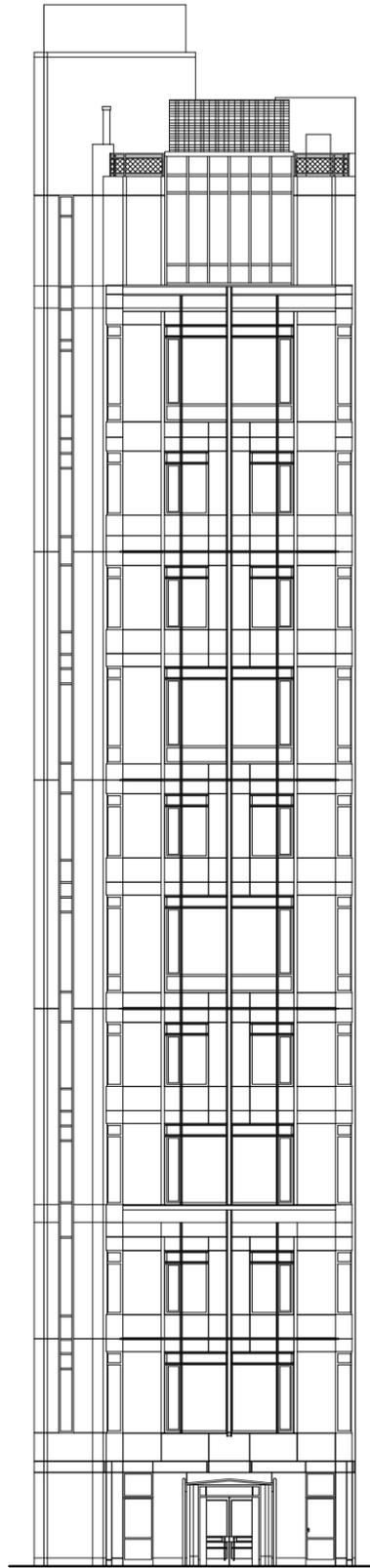


Figure 19 - Proposed Design

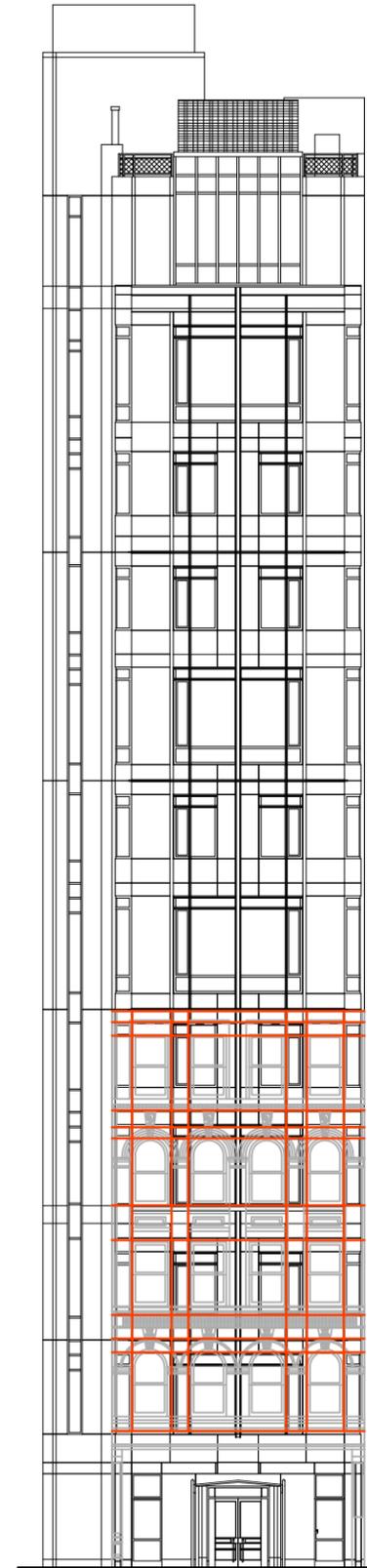


Figure 3 - 'Overlay' of Proposed on Fragment - Reiterated



Figure 20 - Proposed Design