

COURTYARD BASEMENT WINDOW REPLACEMENT

645 WEST END AVENUE NY, NY 10024

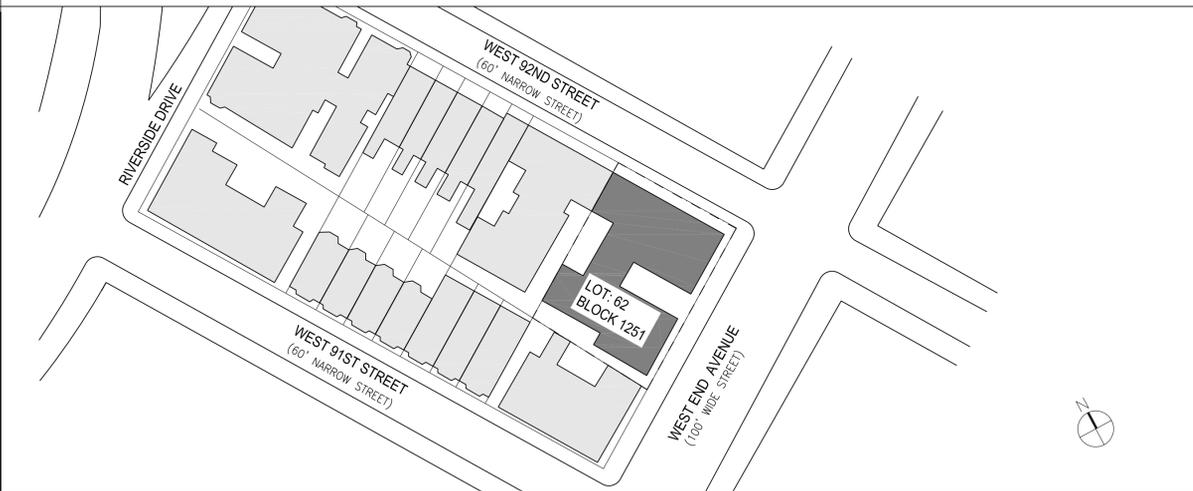
RENOVATION MULTI FAMILY RESIDENCE

NO. ISSUE/DESCRIPTION: DATE:
LPC FILING SET 06.04.2015

EXISTING WEST END AVENUE FACADE

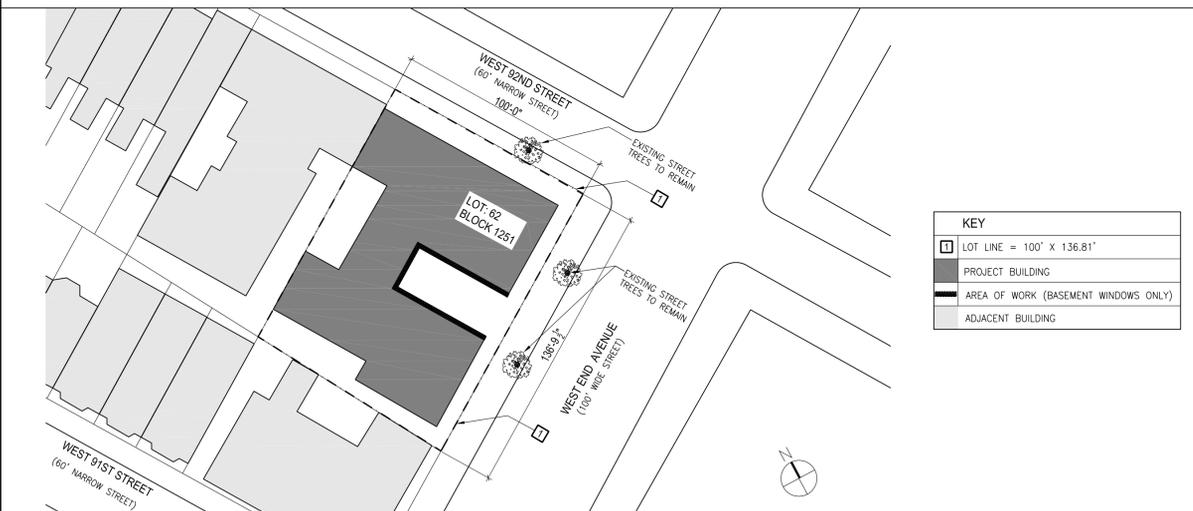


PLOT PLAN



SCALE: 1/64" = 1'-0"

SITE PLAN



SCALE: 1/32" = 1'-0"

COURTYARD BASEMENT WINDOW REPLACEMENT

645 WEST END AVENUE
NEW YORK, NY 10024

ARCHITECT:
ACHESON DOYLE PARTNERS ARCHITECTS, P.C.
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DRAWING TITLE:

TITLE SHEET, PLOT PLAN & NOTES

ARCHITECT'S PROJECT NUMBER: 51419.00

SCALE: AS NOTED DATE: 06.04.2015

DRAWN BY: MG CHECKED BY: DA

SEAL: DRAWING NUMBER:

T-001.00

DRAWING: 01 OF 06

GENERAL NOTES

- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL NEW YORK CITY BUILDING, ZONING, AND ELECTRICAL CODES.
- CONTRACTOR TO VISIT SITE AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. CONTRACTORS TO REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL MAINTAIN COMPLETE AND UP-TO-DATE DRAWINGS AT THE JOB SITE.
- THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND ALL OTHER ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT THEY HAVE VISITED THE SITE AND HAS FAMILIARIZED HIM/HERSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- THE ARCHITECT WILL HAVE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS.
- EACH CONTRACTOR SHALL PERFORM ALL REQUIRED CUTTING AND CHOPPING FOR HIS OWN TRADE, UNLESS OTHERWISE NOTED.
- DRAWINGS SHALL NOT BE SCALED TO OBTAIN DIMENSIONS.
- CONTRACTOR SHALL PROPERLY PROTECT AND MAKE SAFE WORK PREMISES.
- THE CONTRACTOR AT ALL TIMES SHALL KEEP PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS/HER OPERATIONS.
- ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES. MAINTAIN REQUIRED EMERGENCY EGRESS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT AND THEIR AGENTS AND EMPLOYEES, FROM AND AGAINST ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCES OF THE WORK.

- THE OWNER RESERVES THE RIGHT TO AWARD OTHER CONTRACTS IN CONNECTION WITH OTHER PORTIONS OF THE PROJECT. GENERAL CONTRACTOR IS TO COORDINATE HIS WORK WITH THE WORK OF OTHERS.
- THE CONTRACTOR SHALL PAY ALL FEES AND SECURE PERMITS FROM ALL AGENCIES HAVING JURISDICTION AND AT COMPLETION SHALL SEE THAT THE PROJECT IS SIGNED OFF IN THE DEPARTMENT OF BUILDINGS.
- WEATHER PROTECTION: THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST THE RAIN, WIND, STORM, FROST, OR HEAT SO AS TO MAINTAIN ALL WORK MATERIALS, APPARATUS AND FIXTURES FROM INJURY OR DAMAGE.
- THE CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE THE CONTRACT LIMITS AND RESTORE ALL SUCH PROPERTY TO ITS CONDITION PRIOR TO THE START OF THE WORK.
- DAMAGE: ALL WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTORS EXPENSE. THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP FROM THE DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSES TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING CAUSED BY REPAIR OF HIS WORK.
- THE CONTRACTOR SHALL RESTORE TO VALUE SPECIFIED IN APPLICABLE CODES THE INTEGRITY OF EXISTING RATED PARTITIONS AND THE FIRE PROTECTION OF STRUCTURAL MEMBERS THAT ARE DAMAGED DURING CONSTRUCTION.
- ALL NEW MATERIALS TO MATCH MATERIALS IN QUALITY AND COLOR AND TEXTURE, WHERE NEW MATERIALS ARE CONTIGUOUS WITH EXISTING.
- ALL FINISHES SHALL COMPLY WITHIN THE LIMITS FOR FIRE RESISTANCE/FLAMMABILITY AS SPECIFIED IN ARTICLE 5.
- THE GENERAL CONTRACTOR SHALL PERFORM ALL REQUIRED NECESSARY PATCHING, REFINISHES, ETC. ARISING FROM CONTRACTORS WORK ON SITE.
- THE CONTRACTOR SHALL REMOVE AND EXECUTE ALL UNSATISFACTORY WORK AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE ALL PERMITS AS REQUIRED BY NYC BUILDING CODE.

SAFETY NOTES

- GENERAL: ALL WORK TO BE DONE IN ACCORDANCE W/ THE NYC BUILDING CODE, ARTICLE 19, AND ALL OTHER REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
 - MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR THE BUILDING TO BE MAINTAINED CLEAR, AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS.
 - FIRE SAFETY: ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY OWNER AND OR GENERAL CONTRACTOR.
 - DUST CONTROL: DEBRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM AND BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA; AND BE CLEANED UP AND CLEARED FROM BUILDING PERIODICALLY TO AVOID ANY EXCESSIVE ACCUMULATION.
 - NOISE AFTER HOURS: CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS: 8AM TO 5PM MONDAY THROUGH FRIDAY, EXCEPT LEGAL HOLIDAYS.
 - CONSTRUCTION WORK WILL BE CONFINED TO THE PROPOSED CONSTRUCTION AREAS. CONTRACTOR WILL LIMIT TO A MINIMUM THE AMOUNT OF DUST, DIRT OR OTHER SUCH INCONVENIENCES CREATED TO ALL OTHER AREAS WITHIN THE BUILDING.
 - THERE WILL BE NO ONE OCCUPYING THE PROPOSED CONSTRUCTION AREA TO BE RENOVATED DURING THE COURSE OF CONSTRUCTION WORK.
 - ALL EXISTING FIRE EXTINGUISHERS, SMOKE DETECTORS, AND FIRE ALARM SYSTEMS TO BE MAINTAINED AT ALL TIMES.
- NYC FIRE CODE 2008
- EGRESS 1027.3, UNOBSTRUCTED AND UNIMPEDED EGRESS REQUIRED. ALL REQUIRED MEANS OF EGRESS, INCLUDING EACH EXIT, EXIT ACCESS AND EXIT DISCHARGE, SHALL BE CONTINUOUSLY MAINTAINED FREE FROM OBSTRUCTIONS AND IMPEDIMENTS TO IMMEDIATE USE IN THE EVENT OF FIRE OR OTHER EMERGENCY.
- WASTE DISPOSAL 1404.2, COMBUSTIBLE WASTE, INCLUDING RUBBISH AND CONSTRUCTION AND DEMOLITION MATERIAL, SHALL NOT BE ACCUMULATED WITHIN BUILDINGS AND SHALL BE REMOVED FROM BUILDINGS AT THE END OF EACH WORK SHIFT, BUT AT LEAST ONCE A DAY. COMBUSTIBLE WASTE, INCLUDING RUBBISH AND CONSTRUCTION AND DEMOLITION MATERIAL, SHALL BE REMOVED FROM THE PREMISES OR STORED IN NONCOMBUSTIBLE CONTAINERS.

LPC NOTES

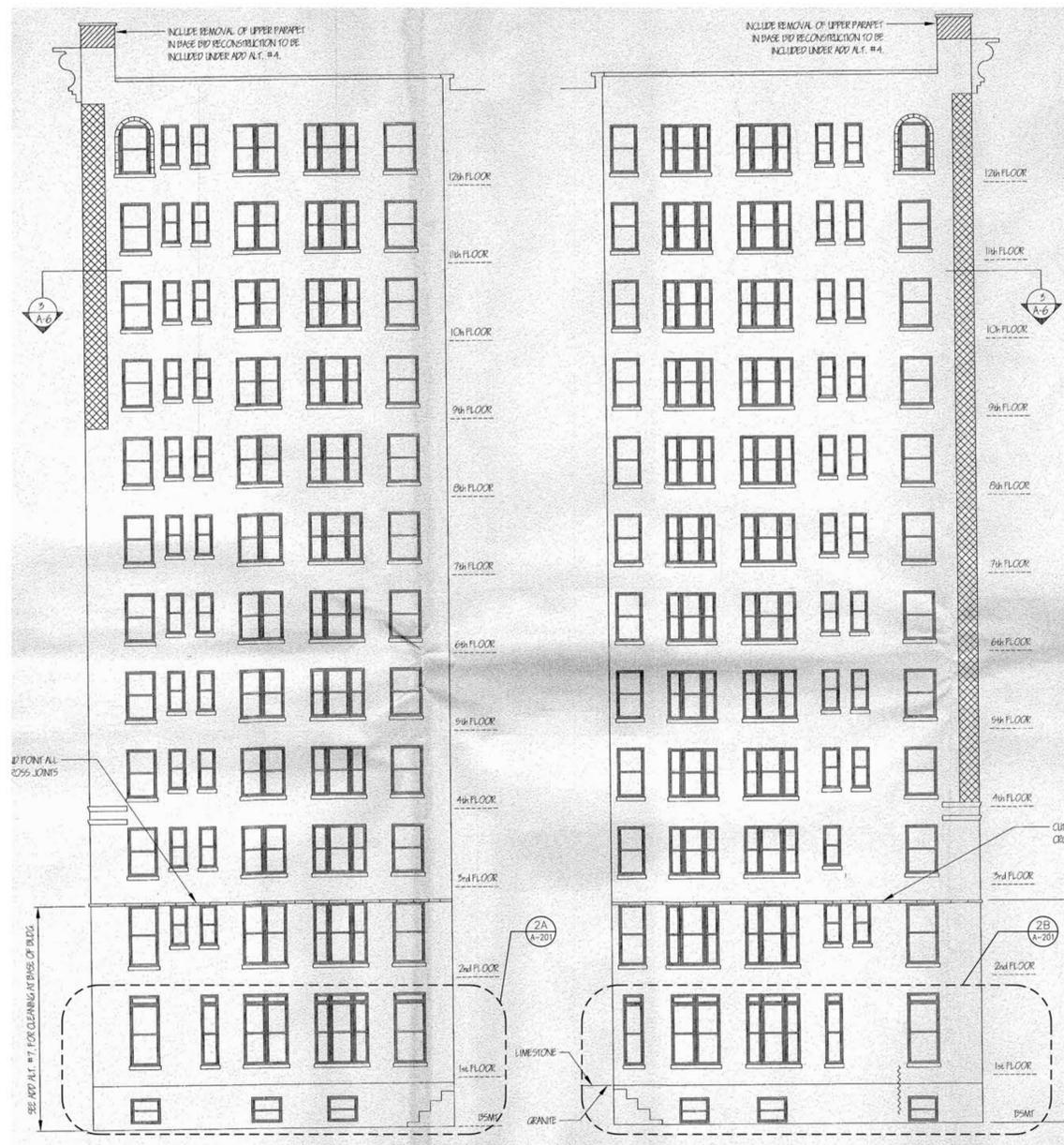
- EXISTING COURTYARD / ENTRY TO THE BUILDING ARE TO BE REPLACED TO MATCH EXISTING.

DRAWING LIST

T-001	TITLE SHEET, PLOT PLAN AND NOTES
A-201	NORTH AND SOUTH ELEVATIONS AT ENTRANCE COURTYARD
A-301	EXISTING WINDOWS PHOTOS
A-302	EXISTING WINDOWS PHOTOS
A-401	WINDOW TYPES AND SCHEDULE
A-402	EXISTING AND PROPOSED LEADED GLASS WINDOW PHOTOS AND DETAILS

SITE INFORMATION

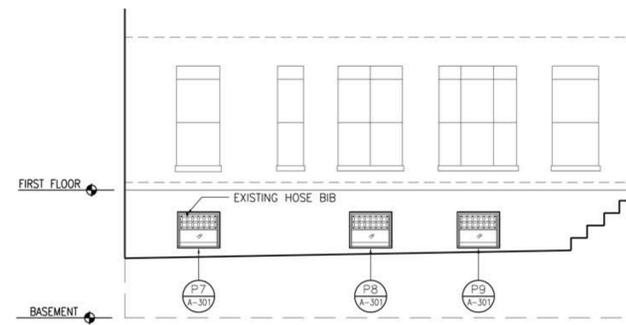
645 WEST END AVENUE NEW YORK, NY 10024	
BLOCK	1251
LOT	62
STORIES	12
ZONING MAP	5D
ZONING DISTRICT	R8
ZONING LOT SIZE	100' X 100.81'
ZONING USE	RESIDENTIAL
USE & OCCUPANCY CLASSIFICATION	OCCUPANCY GROUP R-2 MULTI FAMILY RESIDENTIAL



A
A201
EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"

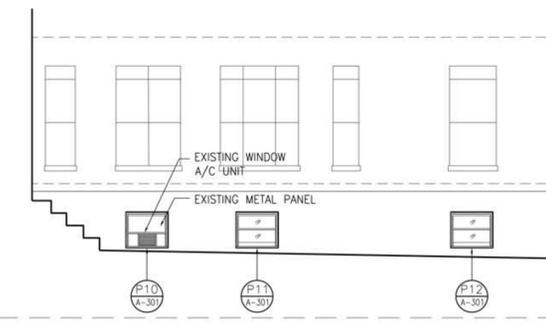
B
A201
EXISTING SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

1
A201
EXISTING NORTH AND SOUTH ELEVATION ENTRANCE COURTYARD
SCALE: 1/4" = 1'-0"

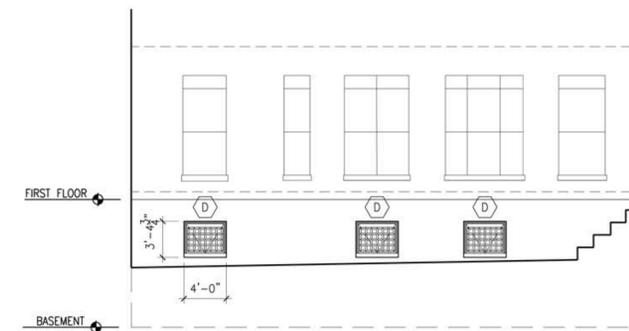


2A
A201
PART. EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"

2
A201
PART. EXISTING NORTH AND SOUTH ELEVATION ENTRANCE COURTYARD
SCALE: 1/8" = 1'-0"

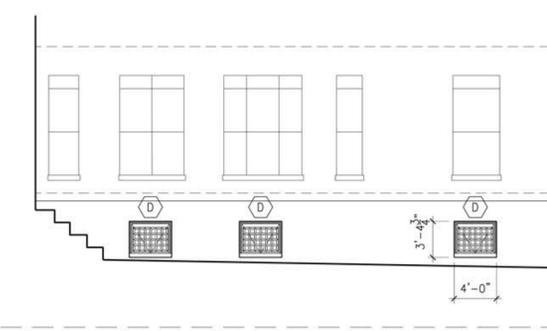


2B
A201
PART. EXISTING SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3A
A201
PART. PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"

3
A201
PROPOSED NORTH AND SOUTH ELEVATION AT ENTRANCE COURTYARD
SCALE: 1/4" = 1'-0"



3B
A201
PART. PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

PROJECT:

**COURTYARD
BASEMENT WINDOW
REPLACEMENT**

**645 WEST END AVENUE
NEW YORK, NY 10024**

DESIGNER:

ARCHITECT:
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DRAWING TITLE:

**NORTH & SOUTH
ELEVATIONS AT
ENTRANCE
COURTYARD**

ARCHITECT'S PROJECT NUMBER: 51419.00

SCALE: AS NOTED DATE: 06.04.2015

DRAWN BY: MG CHECKED BY: DA

SEAL: DRAWING NUMBER:

A-201.00

DRAWING: 02 OF 06



P-7
EXISTING WINDOW (P-7)
SCALE: NTS



P-8
EXISTING WINDOW (P-8)
SCALE: NTS



P-9
EXISTING WINDOW (P-9)
SCALE: NTS



P-10
EXISTING WINDOW (P-10)
SCALE: NTS



P-11
EXISTING WINDOW (P-11)
SCALE: NTS



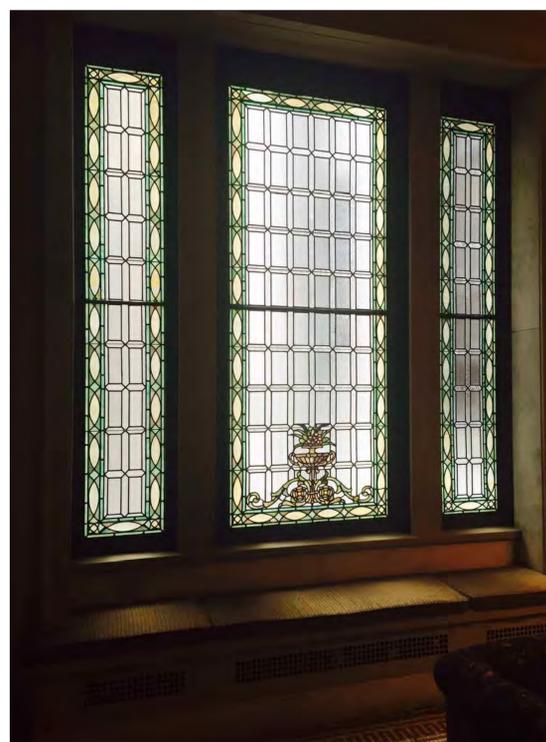
P-12
EXISTING WINDOW (P-12)
SCALE: NTS



P-13
EXISTING SIDELIGHT WINDOW AT
ENTRANCE LOOKING FROM OUTSIDE
SCALE: NTS



P-14
EXISTING SIDELIGHT WINDOW AT
ENTRANCE LOOKING FROM INSIDE
SCALE: NTS



P-15
EXISTING LOBBY WINDOW
LOOKING WEST TO REAR YARD
SCALE: NTS



P-16
EXISTING LOBBY WINDOW
LOOKING WEST TO REAR YARD
SCALE: NTS

PROJECT:

**COURTYARD
BASEMENT WINDOW
REPLACEMENT**

**645 WEST END AVENUE
NEW YORK, NY 10024**

DESIGNER:

ARCHITECT:

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DRAWING TITLE:

**EXISTING WINDOWS
PHOTOS**

ARCHITECT'S PROJECT NUMBER: 51419.00

SCALE: AS NOTED DATE: 06.04.2015

DRAWN BY: MG CHECKED BY: DA

SEAL: DRAWING NUMBER:

A-301.00

DRAWING: 03 OF 06



1 WEST END AVENUE VIEW
A302 SCALE: NTS

PROJECT:

**COURTYARD
BASEMENT WINDOW
REPLACEMENT**

645 WEST END AVENUE
NEW YORK, NY 10024

DESIGNER:



2 ENTRANCE COURTYARD VIEW
A302 SCALE: NTS

ARCHITECT:
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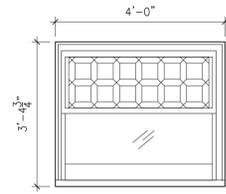
DRAWING TITLE:

**EXISTING WINDOWS
PHOTOS**

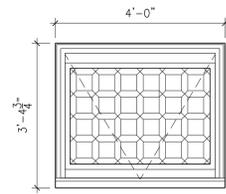
ARCHITECT'S PROJECT NUMBER:	51419.00
SCALE:	AS NOTED
DATE:	06.04.2015
DRAWN BY:	MG
CHECKED BY:	DA

SEAL: DRAWING NUMBER:

A-302.00



1 EXISTING WINDOW TYPE ELEVATION
SCALE: 1/2" = 1'-0"



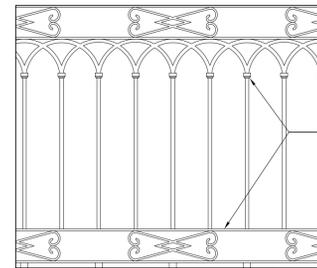
2 NEW WINDOW TYPE ELEVATION
SCALE: 1/2" = 1'-0"

WINDOW SCHEDULE											
MARK & TYPE	QUANTITY	MODEL #	MANUFAC	DIMENSIONS		MATERIAL	FINISH	DETAIL			NOTES
				WIDTH	HEIGHT			HEAD	JAMB	SILL	
D	6	TBD	TBD	4'-0"	5'-0 1/2"	ALUM	PT	--	--	--	--

D



3 EXIST'G DBL HUNG LEADED GLASS WINDOW
SCALE: 1/2" = 1'-0"



5 EXIST'G STEEL WINDOW GUARD
SCALE: 1" = 1'-0"



4 PROPOSED SINGLE SASH LEADED WINDOW
SCALE: 1/2" = 1'-0"

PROJECT:

**COURTYARD
BASEMENT WINDOW
REPLACEMENT**

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DESIGNER:

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DRAWING TITLE:

**WINDOW TYPES AND
SCHEDULE**

ARCHITECT'S PROJECT NUMBER:	51419.00
SCALE:	AS NOTED
DATE:	06.04.2015
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CHECKED BY:	DA

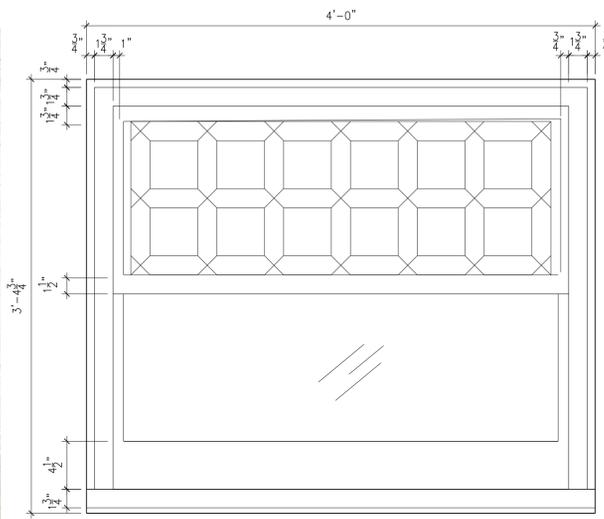
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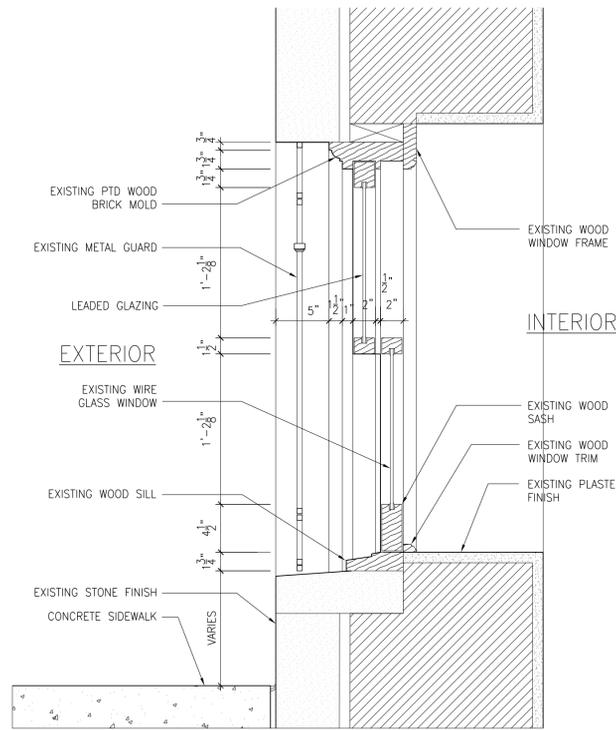
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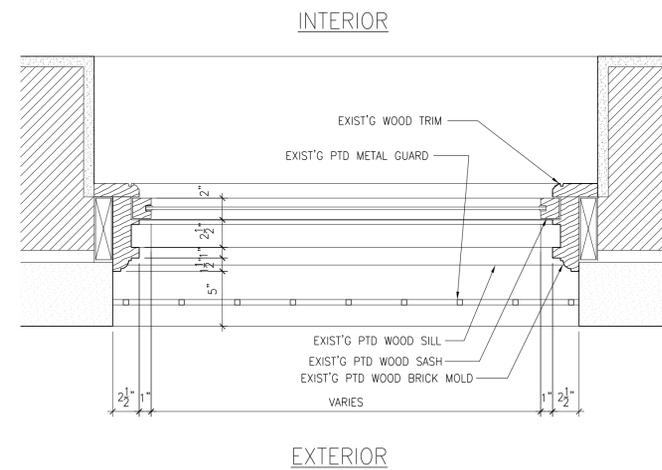
g courtyard windows



1 EXISTING DOUBLE HUNG BASEMENT WINDOW AT EAST SIDE
SCALE: 1 1/2" = 1'-0"



2 EXISTING DBL HUNG BASEMENT WINDOW SECTION
SCALE: 1 1/2" = 1'-0"



3 EXISTING DBL HUNG BASEMENT WINDOW PLAN
SCALE: 1 1/2" = 1'-0"

**COURTYARD
BASEMENT WINDOW
REPLACEMENT**

645 WEST END AVENUE
NEW YORK, NY 10024

DESIGNER:

ARCHITECT:
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ARCHITECTS, P.C.**
44 WEST 18th STREET NEW YORK, NY 10011
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**EXISTING & PROPOSED
LEADED GLASS
WINDOW PHOTOS, AND
DETAILS**

ARCHITECT'S PROJECT NUMBER: 51419.00

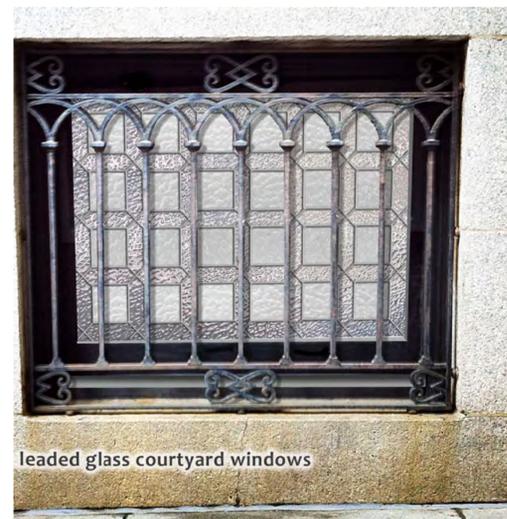
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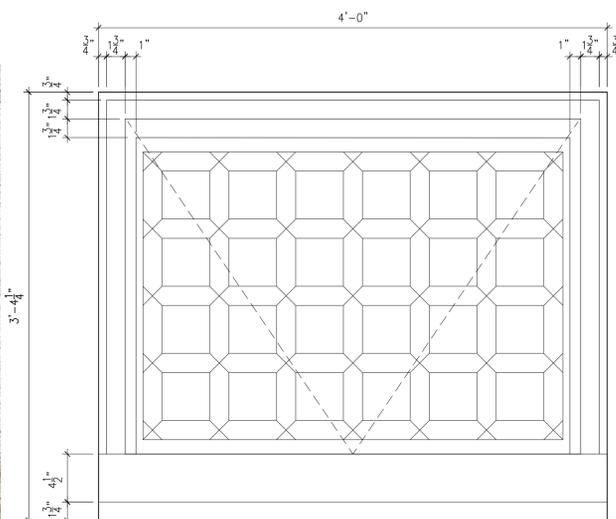
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A-402.00

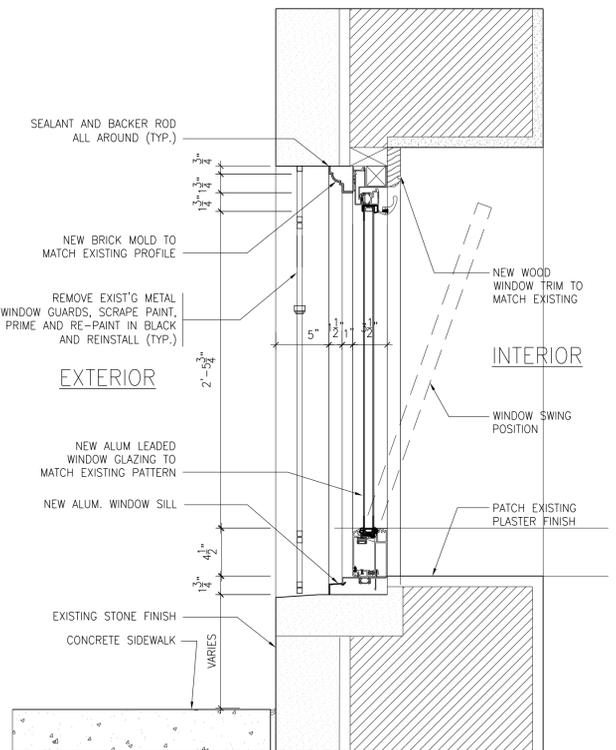
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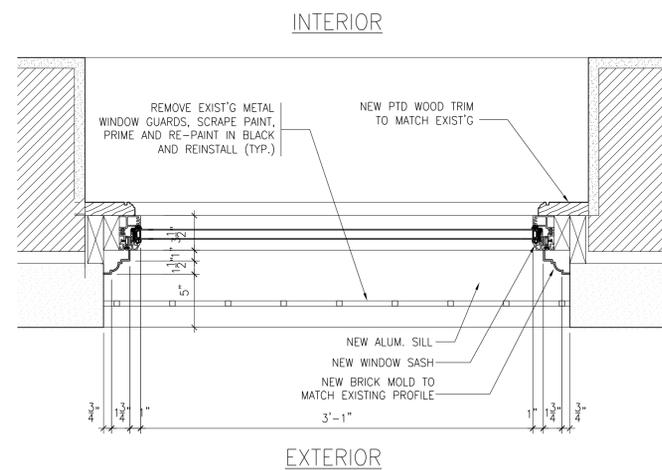
leaded glass courtyard windows



4 PROPOSED BASEMENT HOPPER WINDOW AT EAST SIDE
SCALE: 1 1/2" = 1'-0"



5 PROPOSED BASEMENT HOPPER WINDOW SECTION
SCALE: 1 1/2" = 1'-0"



6 PROPOSED BASEMENT HOPPER WINDOW PLAN
SCALE: 1 1/2" = 1'-0"