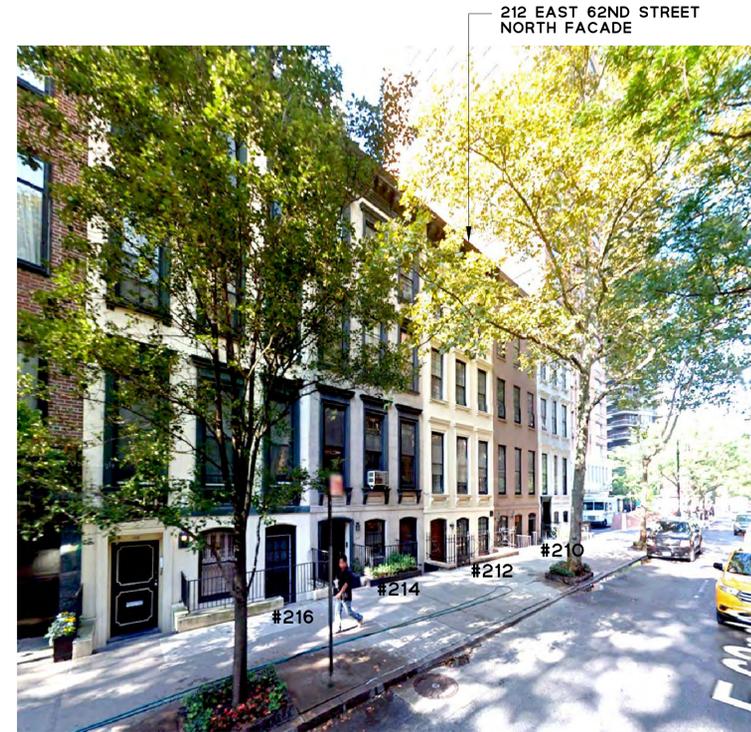




1 EAST 62ND STREET
LOOKING SOUTH



2 EAST 62ND STREET
LOOKING SOUTHEAST



3 EAST 62ND STREET
LOOKING SOUTHWEST

NOTE:
INTERIOR RENOVATION IS FILED
UNDER A SEPARATE APPLICATION

PROJECT:

**EXTERIOR
RENOVATION**

212 EAST 62ND STREET
NEW YORK, NY 10065

ARCHITECT:

**ACHESON DOYLE PARTNERS
ARCHITECTS, P.C.**

44 WEST 18th STREET NEW YORK, NY 10011
212 414-4500 FAX: 212 229-3819
info@adparchitects.com

DRAWING TITLE:

**CONTEXT
PHOTOGRAPHS**

ARCHITECT'S PROJECT NUMBER: 51405.00

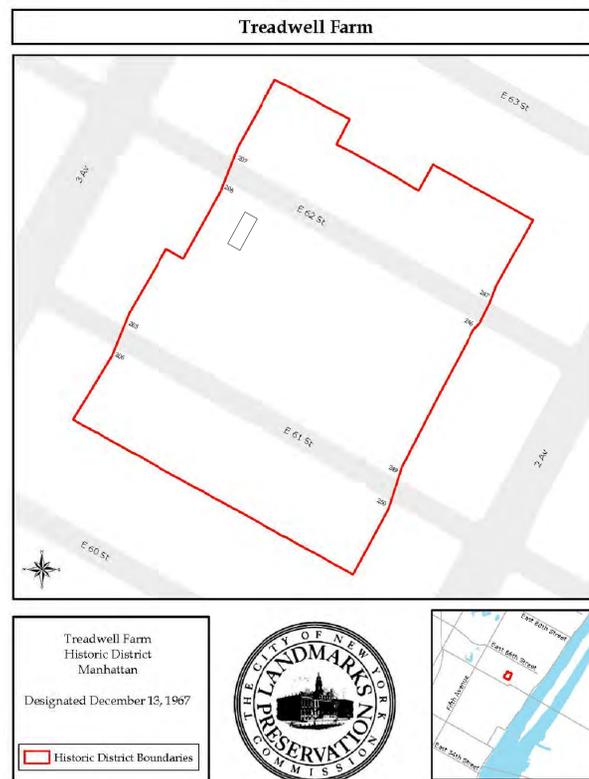
SCALE: AS NOTED DATE: 09.23.2014

DRAWN BY: BTS/LP/MG CHECKED BY: DA

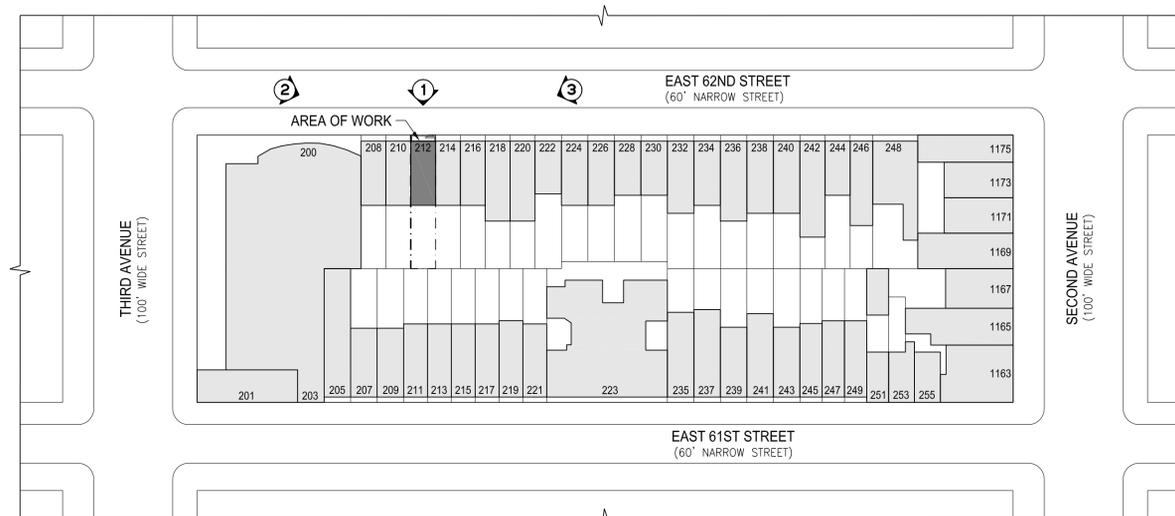
SEAL: DRAWING NUMBER:

A-002.00

DRAWING: 02 OF 21



TREADWELL FARMS HISTORIC DISTRICT MAP

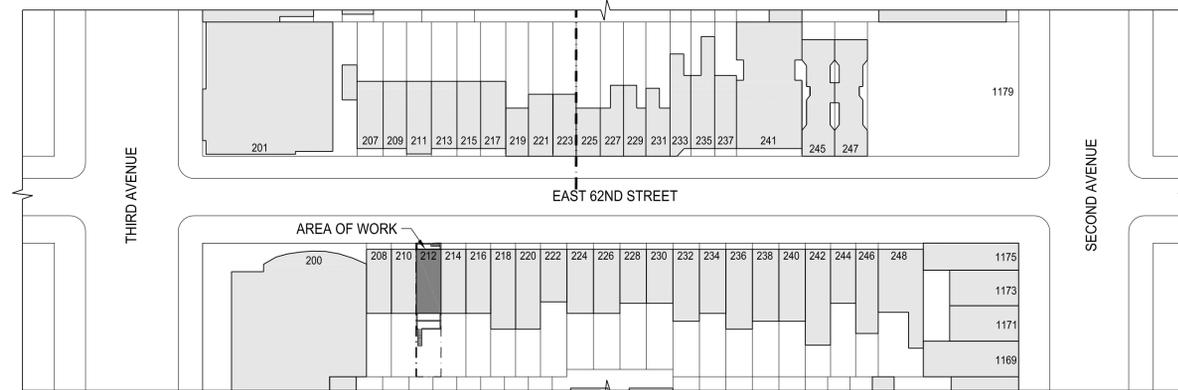


FULL BLOCK PLOT PLAN

SCALE: 1/64" = 1'-0"



BLOCK PHOTOGRAPHS - EAST 62ND STREET LOOKING NORTH



EAST 62ND STREET PLOT PLAN

SCALE: 1/64" = 1'-0"



NO. ISSUE/DESCRIPTION: DATE:
LANDMARKS 03.08.2016

NOTE:
INTERIOR RENOVATION IS FILED
UNDER A SEPARATE APPLICATION

PROJECT:

**EXTERIOR
RENOVATION**

212 EAST 62ND STREET
NEW YORK, NY 10065

ARCHITECT:

**ACHESON DOYLE PARTNERS
ARCHITECTS, P.C.**

44 WEST 18th STREET NEW YORK, NY 10011
212 414-4500 FAX: 212 229-3819
info@adparchitects.com

DRAWING TITLE:



BLOCK PHOTOGRAPHS - EAST 62ND STREET LOOKING NORTH (WEST HALF)



BLOCK PHOTOGRAPHS - EAST 62ND STREET LOOKING NORTH (EAST HALF)

**CONTEXT
PHOTOGRAPHS**

ARCHITECT'S PROJECT NUMBER: 51405.00

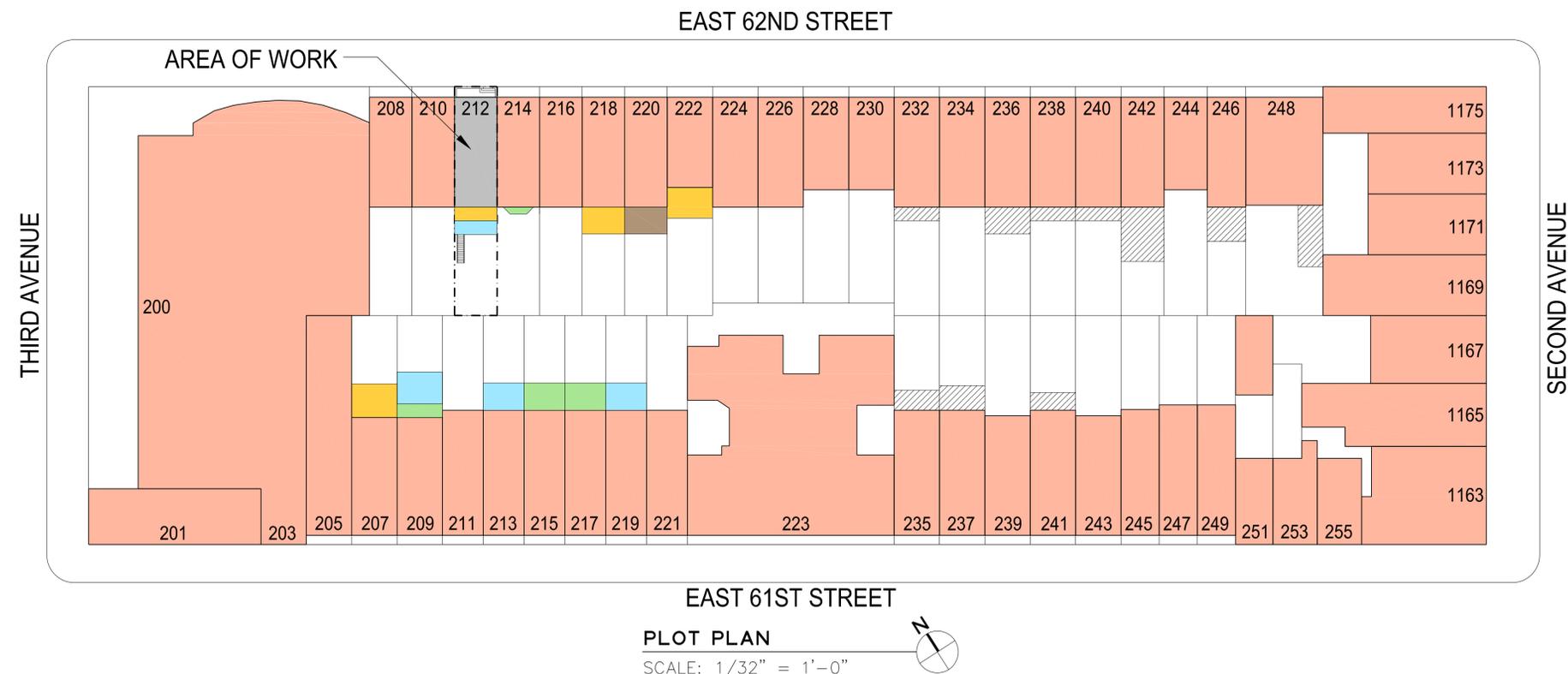
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DRAWN BY: BTS/LP/MG CHECKED BY: DA

SEAL: DRAWING NUMBER:

A-004.00

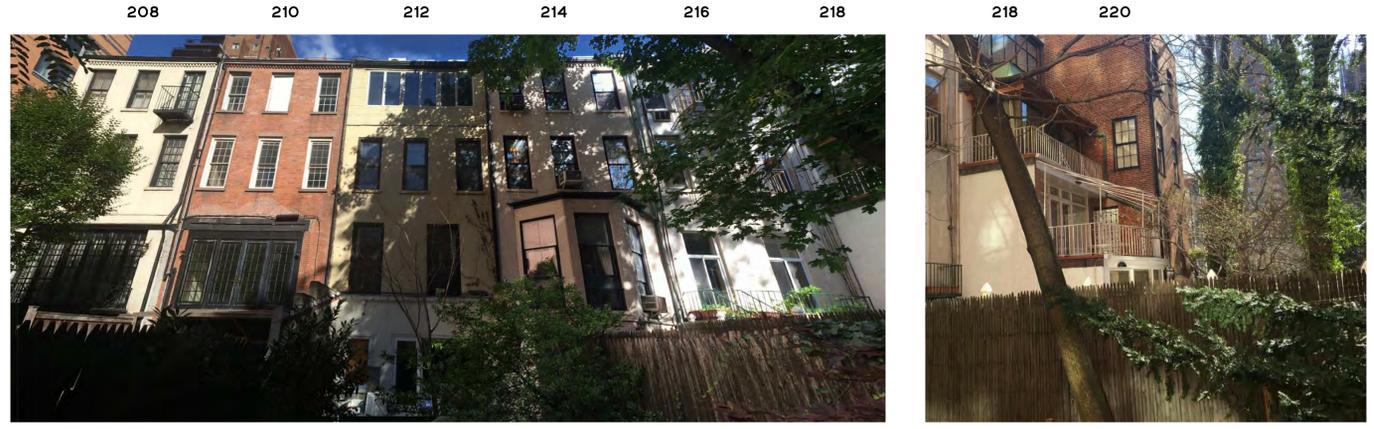
DRAWING: 04 OF 21



EXTERIOR RENOVATION

212 EAST 62ND STREET
NEW YORK, NY 10065

ARCHITECT:
ACHESON DOYLE PARTNERS ARCHITECTS, P.C.
44 WEST 18th STREET NEW YORK, NY 10011
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1 EAST 62ND STREET SOUTH SIDE – REAR BUILDING FACADES
LOOKING NORTH



2 EAST 61ST STREET NORTH SIDE – REAR BUILDING FACADES
LOOKING SOUTH

REAR YARD EXTENSION ANALYSIS

ARCHITECT'S PROJECT NUMBER:	51405.00
SCALE:	AS NOTED
DATE:	09.23.2014
DRAWN BY:	BTS/LP/MG
CHECKED BY:	DA

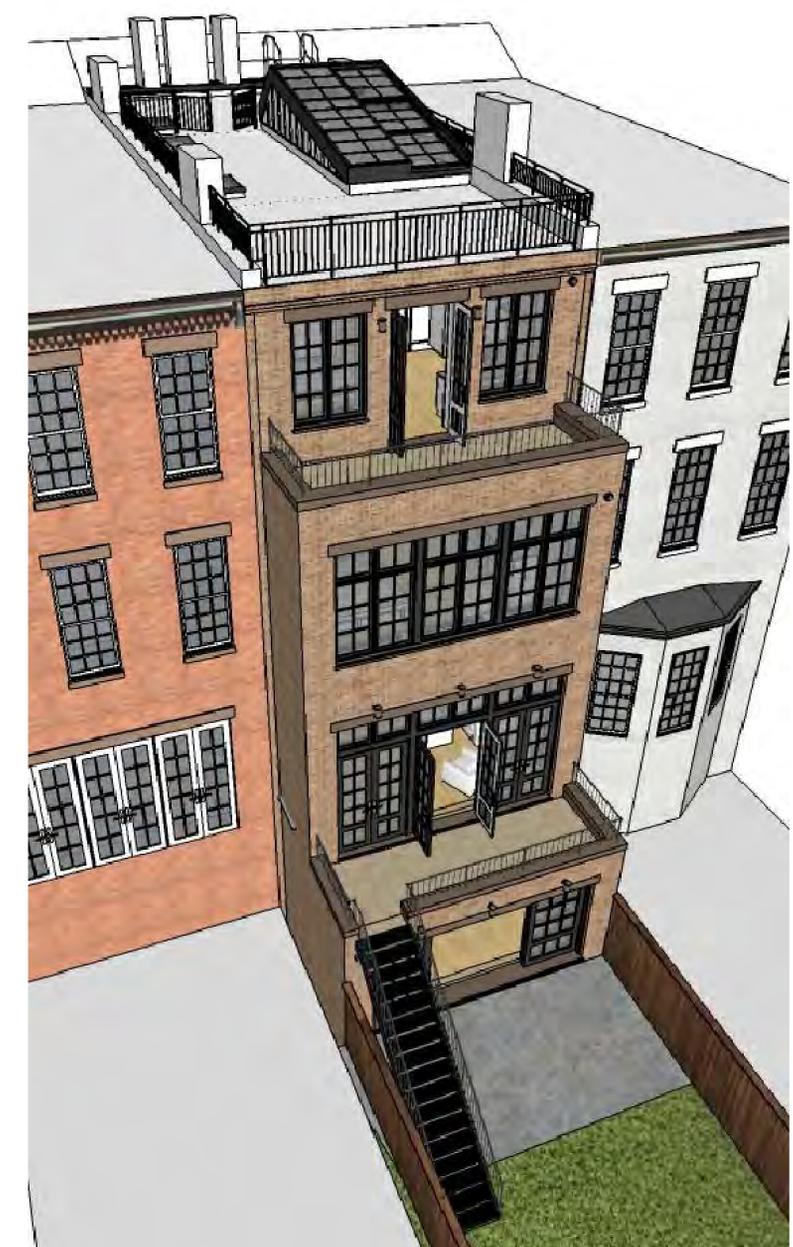
A-005.00



EYE HEIGHT VIEW OF FRONT FACADE
LOOKING SOUTH



EYE HEIGHT VIEW OF REAR FACADE
LOOKING NORTH



OBLIQUE VIEW OF REAR FACADE
LOOKING NORTH

NOTE:
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UNDER A SEPARATE APPLICATION

PROJECT:

**EXTERIOR
RENOVATION**

212 EAST 62ND STREET
NEW YORK, NY 10065

ARCHITECT:

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DRAWING TITLE:

RENDER VIEWS

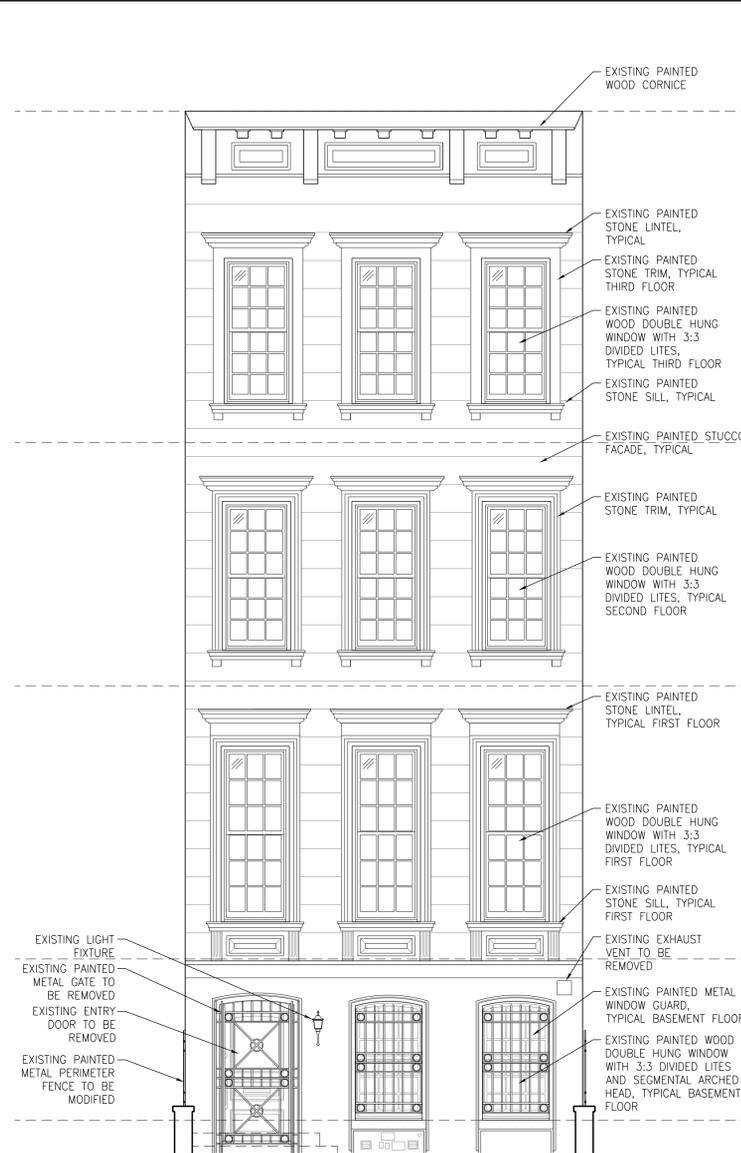
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SCALE:	AS NOTED
DATE:	09.23.2014
DRAWN BY:	BTS/LP/MG
CHECKED BY:	DA

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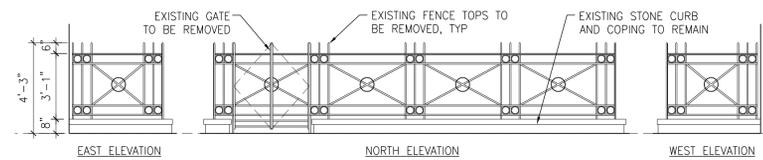
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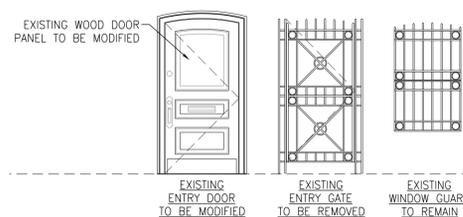
1940 TAX PHOTO OF STREET FACADE
LOOKING SOUTH



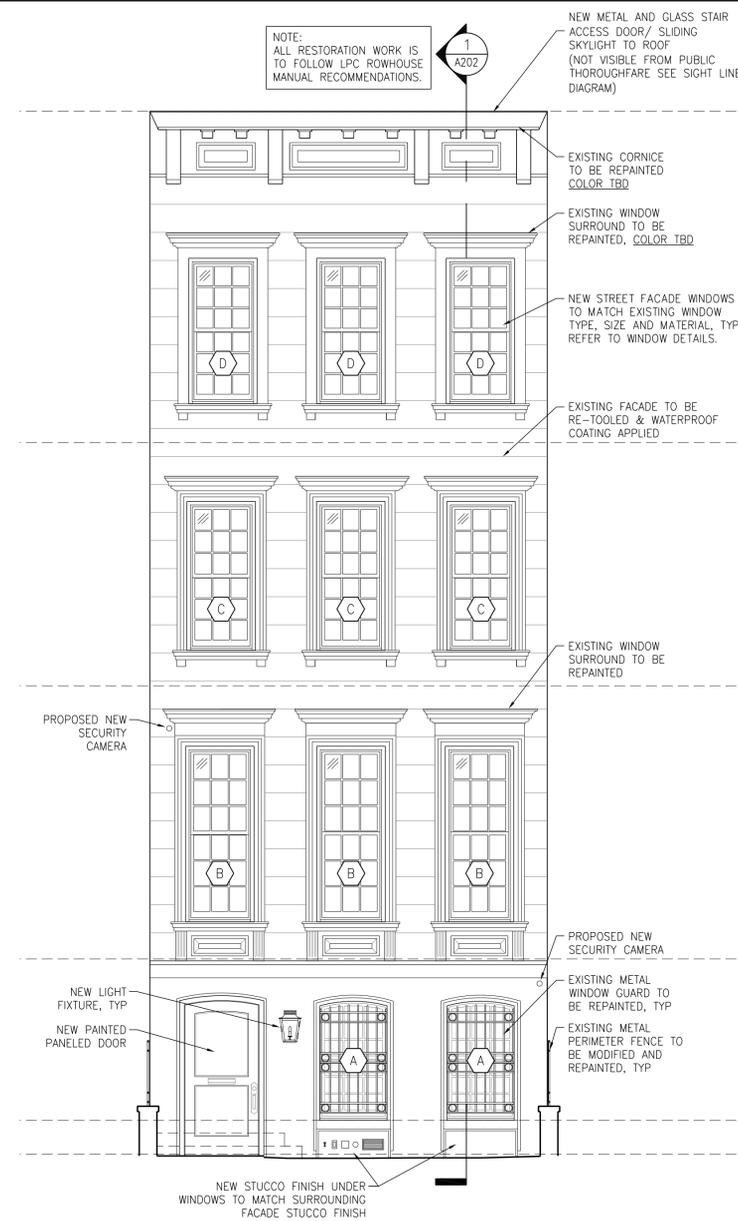
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A101 EXISTING NORTH ELEVATION AT STREET
SCALE: 1/4" = 1'-0"



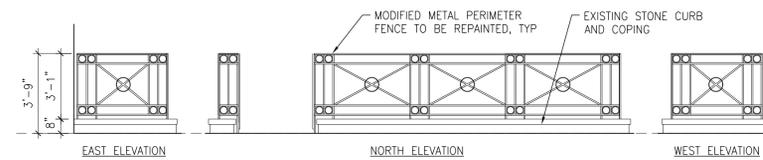
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A101 EXISTING PERIMETER FENCE ELEVATIONS
SCALE: 1/4" = 1'-0"



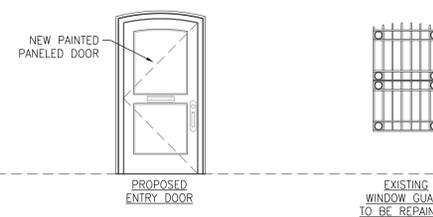
3
A101 EXISTING ENTRY DOOR & GATE
SCALE: 1/4" = 1'-0"



4
A101 PROPOSED NORTH ELEVATION AT STREET
SCALE: 1/4" = 1'-0"



5
A101 PROPOSED PERIMETER FENCE ELEVATIONS
SCALE: 1/4" = 1'-0"



6
A101 PROPOSED ENTRY DOOR & WINDOW GUARD
SCALE: 1/4" = 1'-0"

NOTE:
ALL RESTORATION WORK IS
TO FOLLOW LPC ROWHOUSE
MANUAL RECOMMENDATIONS.



NO.	ISSUE/DESCRIPTION:	DATE:
	LANDMARKS	03.08.2016

NOTE:
INTERIOR RENOVATION IS FILED
UNDER A SEPARATE APPLICATION

PROJECT:

**EXTERIOR
RENOVATION**

212 EAST 62ND STREET
NEW YORK, NY 10065

ARCHITECT:
**ACHESON DOYLE PARTNERS
ARCHITECTS, P.C.**
44 WEST 18th STREET NEW YORK, NY 10011
212 414-4500 FAX: 212 229-3819
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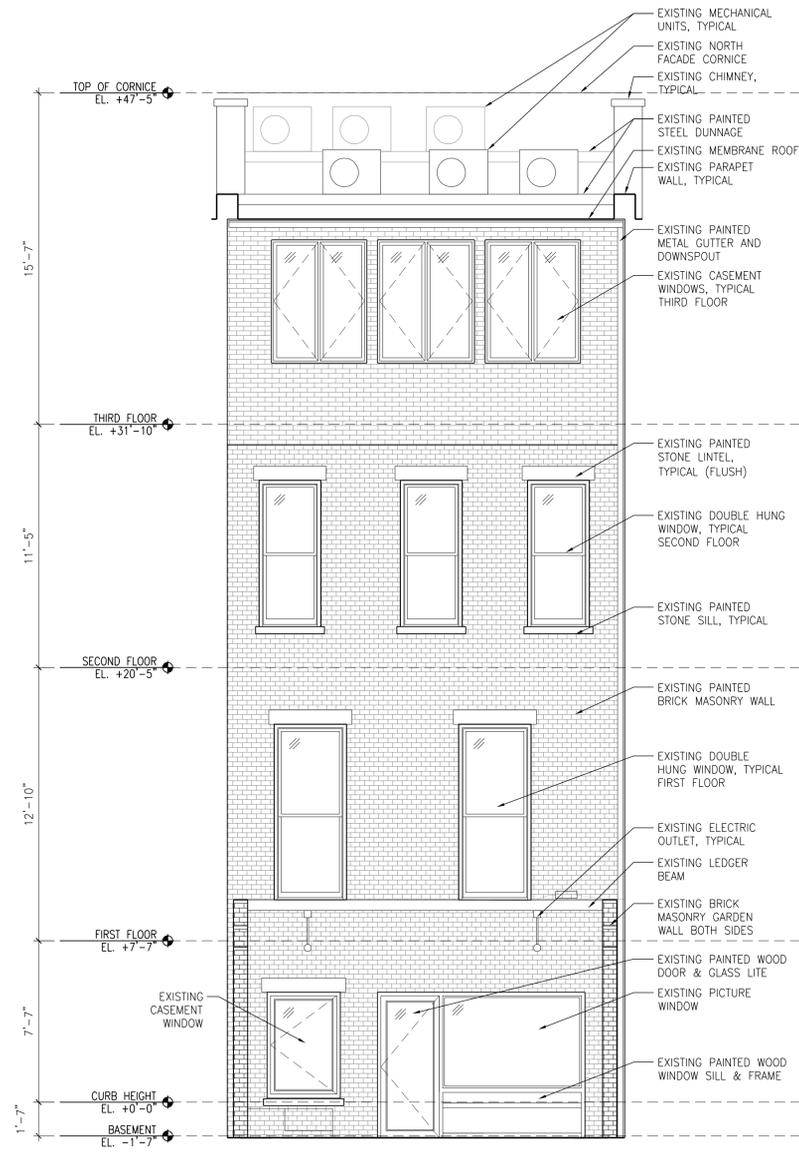
DRAWING TITLE:
**EXISTING AND PROPOSED
EXTERIOR ELEVATIONS
AT STREET**

ARCHITECT'S PROJECT NUMBER:	51405.00
SCALE:	AS NOTED
DATE:	09.23.2014
DRAWN BY:	BTS/LP/MG
CHECKED BY:	DA
SEAL:	

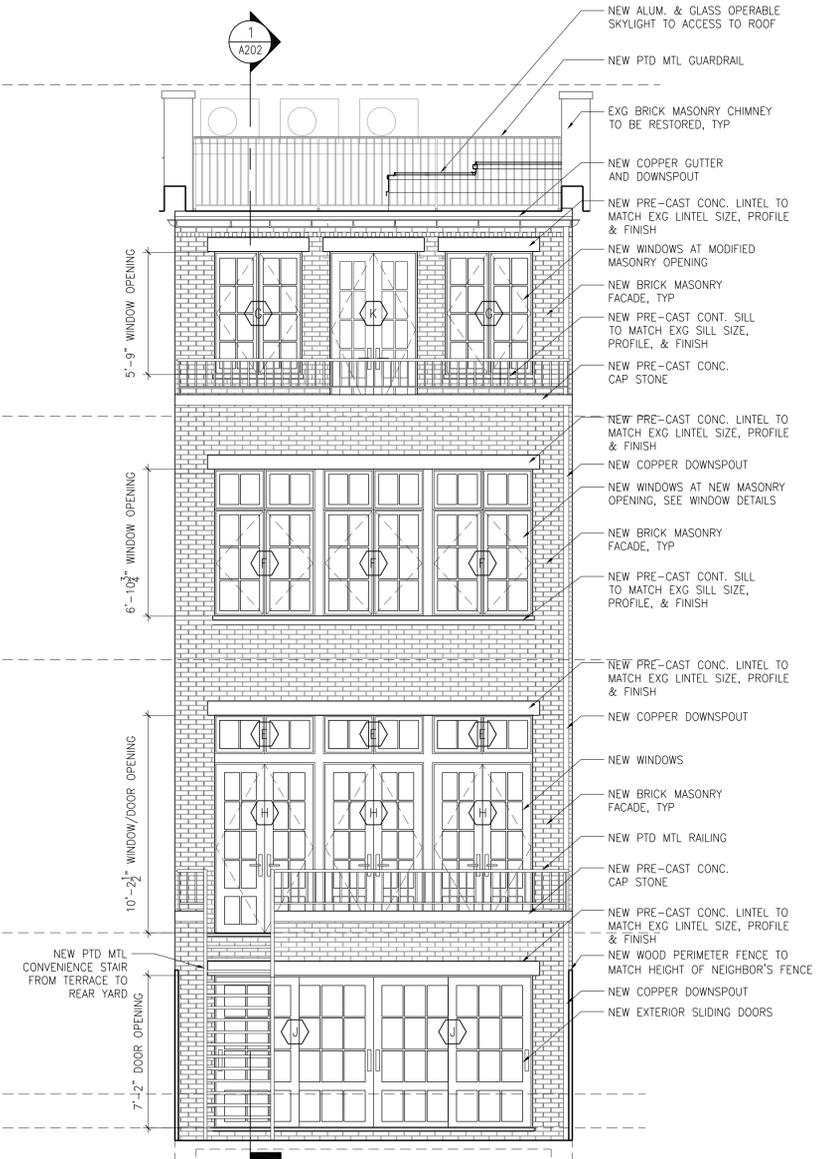
DRAWING NUMBER:
A-101.00



1
A102
EXISTING SOUTH ELEVATION AT REAR YARD
N.T.S.



2
A102
EXISTING SOUTH ELEVATION AT REAR YARD
SCALE: 1/4" = 1'-0"



3
A102
PROPOSED SOUTH ELEVATION AT REAR YARD
SCALE: 1/4" = 1'-0"

NOTE:
INTERIOR RENOVATION IS FILED
UNDER A SEPARATE APPLICATION

PROJECT:
**EXTERIOR
RENOVATION**
212 EAST 62ND STREET
NEW YORK, NY 10065

ARCHITECT:
**ACHESON DOYLE PARTNERS
ARCHITECTS, P.C.**
44 WEST 18th STREET NEW YORK, NY 10011
212 414-4500 FAX: 212 229-3819
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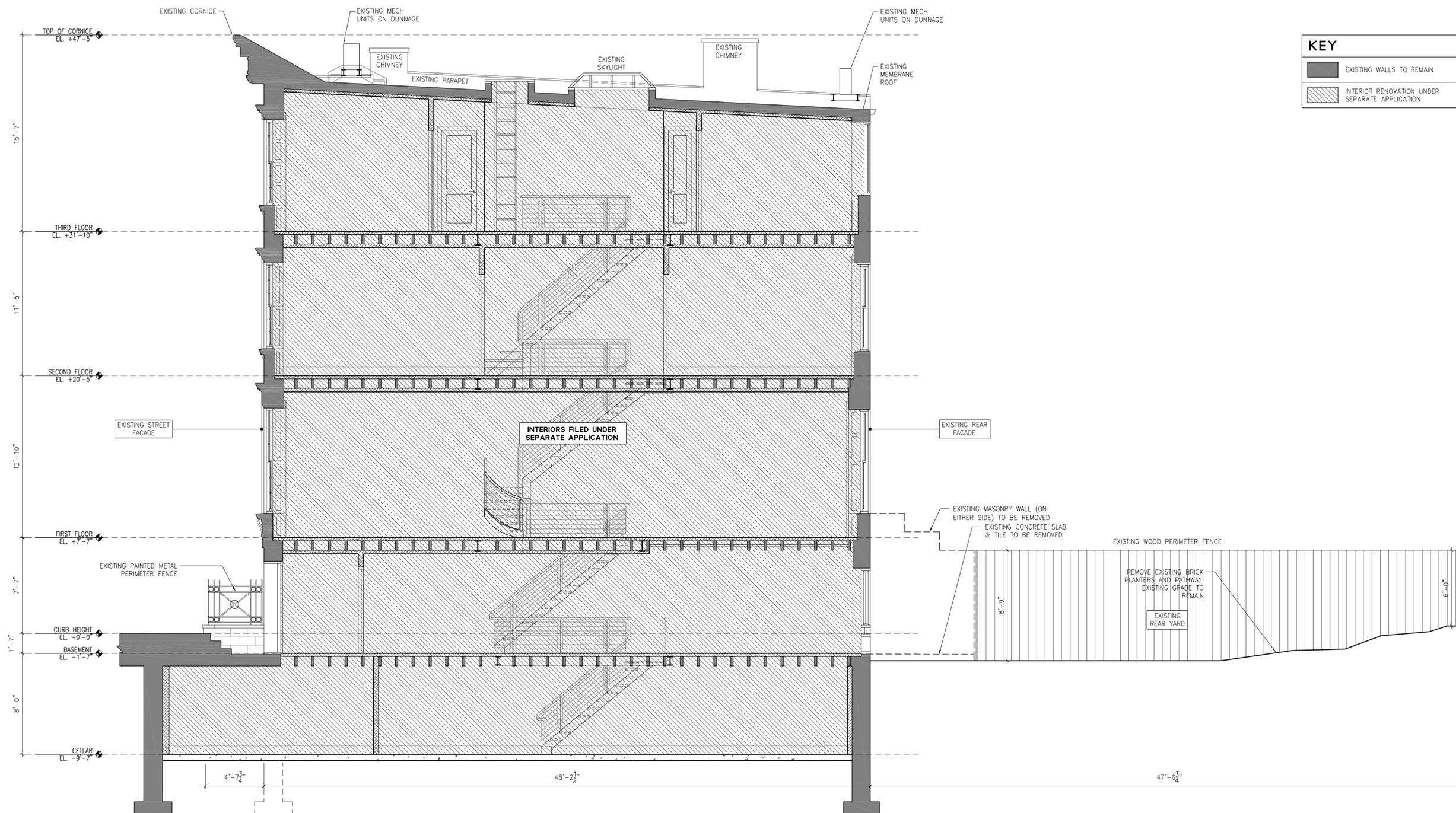
DRAWING TITLE:

**EXISTING & PROPOSED
EXTERIOR ELEVATIONS
AT REAR YARD**

ARCHITECT'S PROJECT NUMBER:	51405.00
SCALE:	AS NOTED
DATE:	09.23.2014
DRAWN BY:	BTS/LP/MG
CHECKED BY:	DA
SEAL:	

A-102.00

DRAWING: 08 OF 21



KEY	
	EXISTING WALLS TO REMAIN
	INTERIOR RENOVATION UNDER SEPARATE APPLICATION

NOTE:
INTERIOR RENOVATION IS FILED
UNDER A SEPARATE APPLICATION

PROJECT:

EXTERIOR RENOVATION

212 EAST 62ND STREET
NEW YORK, NY 10065

ARCHITECT:

**ACHESON DOYLE PARTNERS
ARCHITECTS, P.C.**

44 WEST 18th STREET NEW YORK, NY 10011
212 414-4500 FAX: 212 229-3819
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DRAWING TITLE:

EXISTING BUILDING SECTION LOOKING EAST

1
A201 EXISTING BUILDING SECTION LOOKING EAST
SCALE: 1/4" = 1'-0"

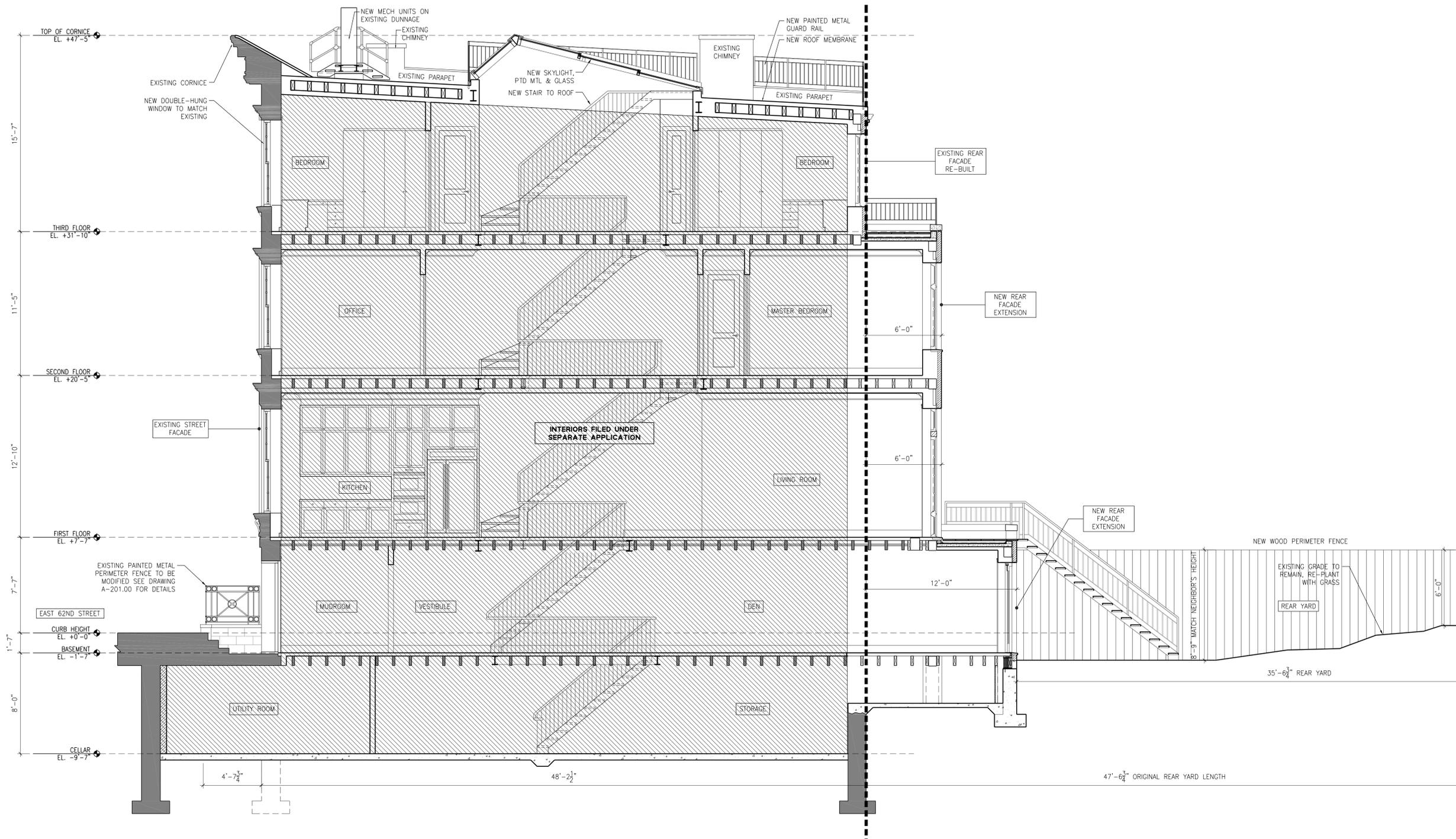
ARCHITECT'S PROJECT NUMBER: 51405.00

SCALE: AS NOTED DATE: 09.23.2014

DRAWN BY: BTS/LP/MG CHECKED BY: DA

SEAL: DRAWING NUMBER:

A-201.00



1
A202 PROPOSED BUILDING SECTION LOOKING EAST
SCALE: 1/4" = 1'-0"

KEY	
	EXISTING WALLS TO REMAIN
	INTERIOR RENOVATION UNDER SEPARATE APPLICATION

NOTE:
INTERIOR RENOVATION IS FILED
UNDER A SEPARATE APPLICATION

PROJECT:

EXTERIOR RENOVATION

212 EAST 62ND STREET
NEW YORK, NY 10065

ARCHITECT:

ACHESON DOYLE PARTNERS
ARCHITECTS, P.C.

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212 414-4500 FAX: 212 229-3819
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DRAWING TITLE:

PROPOSED BUILDING
SECTION LOOKING EAST

ARCHITECT'S PROJECT NUMBER: 51405.00

SCALE: AS NOTED DATE: 09.23.2014

DRAWN BY: BTS/LP/MG CHECKED BY: DA

SEAL: DRAWING NUMBER:

A-202.00

DRAWING: 10 OF 21

DEMOLITION NOTES

1 REMOVE EXISTING ROOF HATCH & LADDER	9 REMOVE EXISTING REAR YARD METAL DUCT	17 REMOVE EXISTING MECHANICAL UNITS. EXISTING DUNNAGE TO REMAIN.
2 REMOVE EXISTING SKYLIGHTS & ALL ASSOCIATED CURBING	10 REMOVE EXISTING ELECTRIC ON SOUTH FACADE AND CAP FOR RE-USE	18 REMOVE EXISTING PLANTS AND KEEP THE SOIL FOR REUSE.
3 REMOVE EXISTING WINDOWS AND ALL ASSOCIATED COMPONENTS. PROTECT OPENING FOR RE-USE	11 REMOVE EXISTING FRAMING LEDGE ON SOUTH FACADE	19 REMOVE EXISTING WINDOWS AND DOORS AND ALL ASSOCIATED COMPONENTS ON SOUTH FACADE
4 REMOVE EXISTING DOORS AND ALL ASSOCIATED COMPONENTS. PROTECT OPENING FOR RE-USE	12 RELOCATE EXISTING CABLES ON SOUTH FACADE, COORDINATE WITH NEW CONSTRUCTION	20 REMOVE EXISTING ROOF STRUCTURE AT ENTIRE ROOF. SEE STRUCT'L DWGS FOR INFO.
5 REMOVE EXISTING BRICK WALL AT EACH END TO THE LOT LINE. REFER TO DWG 1/A609 FOR EXTENT OF WORK	13 REMOVE EXISTING GUTTER AND DOWNSPOUT ON SOUTH FACADE	21 REMOVE EXISTING COPING STONE AND FLASHING AT PARAPET.
6 REMOVE EXISTING MASONRY FACADE, PROVIDE SHORING PER STRUCTURAL DRAWINGS	14 REMOVE ENTIRE ROOFING ASSEMBLY IN IT'S ENTIRETY PLUS THE SUBSTRATE TO STRUCTURE	22 EXISTING AREA DRAINS TO REMAIN
7 REMOVE EXISTING REAR YARD MASONRY GARDEN WALLS INCLUDING FOUNDATION AND ALL ASSOCIATED COMPONENTS	15 REMOVE EXISTING ROOF VENTILATION DUCTS AND VENT STACKS	23 EXISTING FRONT ENTRY FENCE TO BE MODIFIED . REFER TO SHEET A-201 FOR DETAILS
8 REMOVE EXISTING REAR YARD PAVING MATERIAL	16 REMOVE EXISTING STEEL ROOF DUNNAGE AND MECHANICAL UNITS	

EXTERIOR CONSTRUCTION NOTES

A NEW DOOR, FRAME & HARDWARE, SEE DOOR SCHEDULE	L EXISTING STEEL DUNNAGE- SCRAPE, RUST PROOF AND PAINT
B MODIFY EXISTING METAL GATE, PAINT GATE AND GUARD AT SIDEWALK. REFER TO DWG A-201 FOR SCOPE OF RAILING	M NEW MECHANICAL UNITS- REFER TO MECHANICAL DRAWINGS
C NEW STREET FACADE WINDOWS TO MATCH EXISTING WINDOW TYPE, SIZE AND MATERIAL. REFER TO WINDOW DETAILS.	N NEW PAINTED METAL ACCESS STEPS AT EXISTING STL DUNNAGE
D NEW REAR FACADE DOORS & WINDOWS AT NEW MASONRY OPENINGS. REFER TO WINDOW DETAILS SHEET A/603.00.	P NEW PAINTED METAL STAIR, STRINGER & BALUSTERS FROM 1ST FLOOR TO GRADE AT REAR YARD
E NEW ALUM. & GLASS OPERABLE SKYLIGHT FOR ROOF ACCESS	Q NEW LANDSCAPING PAVERS AT REAR YARD
F NEW ALUM. & GLASS FIXED SKYLIGHT	S EXISTING FLOOR DRAINS AT FRONT ENTRY TO REMAIN.
G NEW ROOF MEMBRANE INCLUDING NEW SUBSTRATE AND FLASHING-SEE DWG A-306	T NEW WOOD PERIMETER FENCE
J NEW PAINTED METAL GUARD RAIL AND GATE AT ROOF AREA REFER TO DETAILS	U NEW COPPER GUTTER AND LEADER

KEY

	EXISTING WALLS TO REMAIN	
	EXISTING ITEMS TO BE REMOVED AS INDICATED (DEMO PLAN ONLY)	
	NO WORK AREA	
	WINDOW REFERENCE TAG	

NO.	ISSUE/DESCRIPTION:	DATE:
	LANDMARKS	03.08.2016

NOTE:
INTERIOR RENOVATION IS FILED UNDER A SEPARATE APPLICATION

PROJECT:

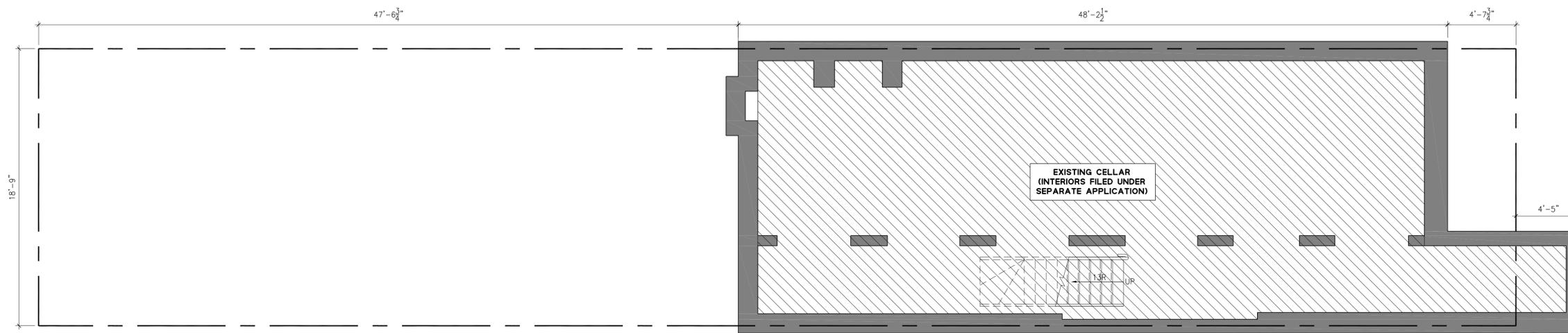
EXTERIOR RENOVATION

212 EAST 62ND STREET
NEW YORK, NY 10065

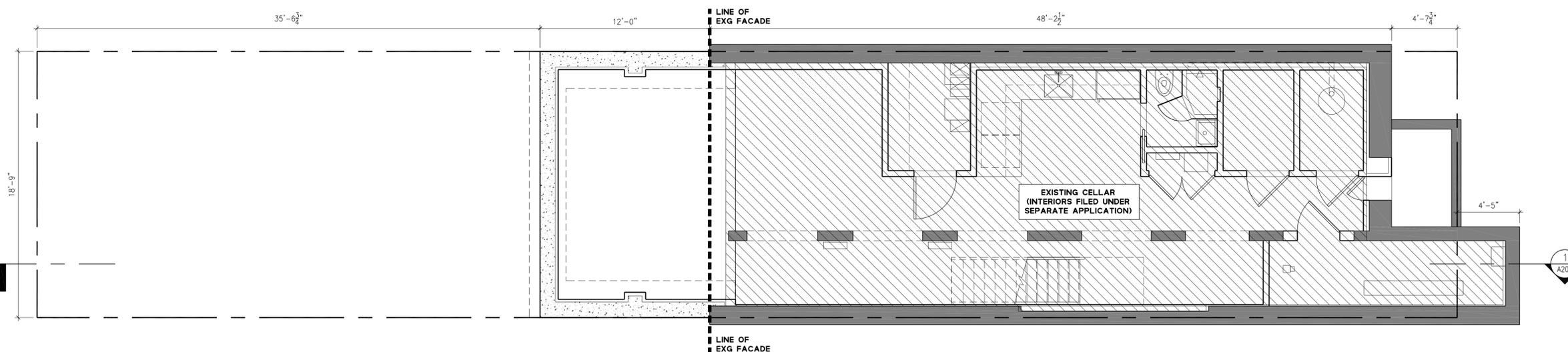
ARCHITECT:

**ACHESON DOYLE PARTNERS
ARCHITECTS, P.C.**

44 WEST 18th STREET NEW YORK, NY 10011
212 414-4500 FAX: 212 229-3819
info@adparchitects.com



1
A301 CELLAR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2
A301 CELLAR CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

DRAWING TITLE:

**CELLAR DEMOLITION
& CONSTRUCTION
PLANS**

ARCHITECT'S PROJECT NUMBER: 51405.00

SCALE: AS NOTED DATE: 09.23.2014

DRAWN BY: BTS/LP/MG CHECKED BY: DA

SEAL: DRAWING NUMBER:

A-301.00

DEMOLITION NOTES

1 REMOVE EXISTING ROOF HATCH & LADDER	9 REMOVE EXISTING REAR YARD METAL DUCT	17 REMOVE EXISTING MECHANICAL UNITS. EXISTING DUNNAGE TO REMAIN.
2 REMOVE EXISTING SKYLIGHTS & ALL ASSOCIATED CURBING	10 REMOVE EXISTING ELECTRIC ON SOUTH FACADE AND CAP FOR RE-USE	18 REMOVE EXISTING PLANTS AND KEEP THE SOIL FOR REUSE.
3 REMOVE EXISTING WINDOWS AND ALL ASSOCIATED COMPONENTS. PROTECT OPENING FOR RE-USE	11 REMOVE EXISTING FRAMING LEDGE ON SOUTH FACADE	19 REMOVE EXISTING WINDOWS AND DOORS AND ALL ASSOCIATED COMPONENTS ON SOUTH FACADE
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6 REMOVE EXISTING MASONRY FACADE, PROVIDE SHORING PER STRUCTURAL DRAWINGS	14 REMOVE ENTIRE ROOFING ASSEMBLY IN IT'S ENTIRETY PLUS THE SUBSTRATE TO STRUCTURE	22 EXISTING AREA DRAINS TO REMAIN
7 REMOVE EXISTING REAR YARD MASONRY GARDEN WALLS INCLUDING FOUNDATION AND ALL ASSOCIATED COMPONENTS	15 REMOVE EXISTING ROOF VENTILATION DUCTS AND VENT STACKS	23 EXISTING FRONT ENTRY FENCE TO BE MODIFIED . REFER TO SHEET A-201 FOR DETAILS
8 REMOVE EXISTING REAR YARD PAVING MATERIAL	16 REMOVE EXISTING STEEL ROOF DUNNAGE AND MECHANICAL UNITS	

EXTERIOR CONSTRUCTION NOTES

A NEW DOOR, FRAME & HARDWARE, SEE DOOR SCHEDULE	L EXISTING STEEL DUNNAGE- SCRAPE, RUST PROOF AND PAINT
B MODIFY EXISTING METAL GATE, PAINT GATE AND GUARD AT SIDEWALK. REFER TO DWG A-201 FOR SCOPE OF RAILING	M NEW MECHANICAL UNITS- REFER TO MECHANICAL DRAWINGS
C NEW STREET FACADE WINDOWS TO MATCH EXISTING WINDOW TYPE, SIZE AND MATERIAL. REFER TO WINDOW DETAILS.	N NEW PAINTED METAL ACCESS STEPS AT EXISTING STL DUNNAGE
D NEW REAR FACADE DOORS & WINDOWS AT NEW MASONRY OPENINGS. REFER TO WINDOW DETAILS SHEET A/603.00.	P NEW PAINTED METAL STAIR, STRINGER & BALUSTERS FROM 1ST FLOOR TO GRADE AT REAR YARD
E NEW ALUM. & GLASS OPERABLE SKYLIGHT FOR ROOF ACCESS	Q NEW LANDSCAPING PAVERS AT REAR YARD
F NEW ALUM. & GLASS FIXED SKYLIGHT	S EXISTING FLOOR DRAINS AT FRONT ENTRY TO REMAIN.
G NEW ROOF MEMBRANE INCLUDING NEW SUBSTRATE AND FLASHING-SEE DWG A-306	T NEW WOOD PERIMETER FENCE
J NEW PAINTED METAL GUARD RAIL AND GATE AT ROOF AREA REFER TO DETAILS	U NEW COPPER GUTTER AND LEADER

KEY

	EXISTING WALLS TO REMAIN	
	EXISTING ITEMS TO BE REMOVED AS INDICATED (DEMO PLAN ONLY)	
	NO WORK AREA	
	WINDOW REFERENCE TAG	

NO.	ISSUE/DESCRIPTION:	DATE:
	LANDMARKS	03.08.2016

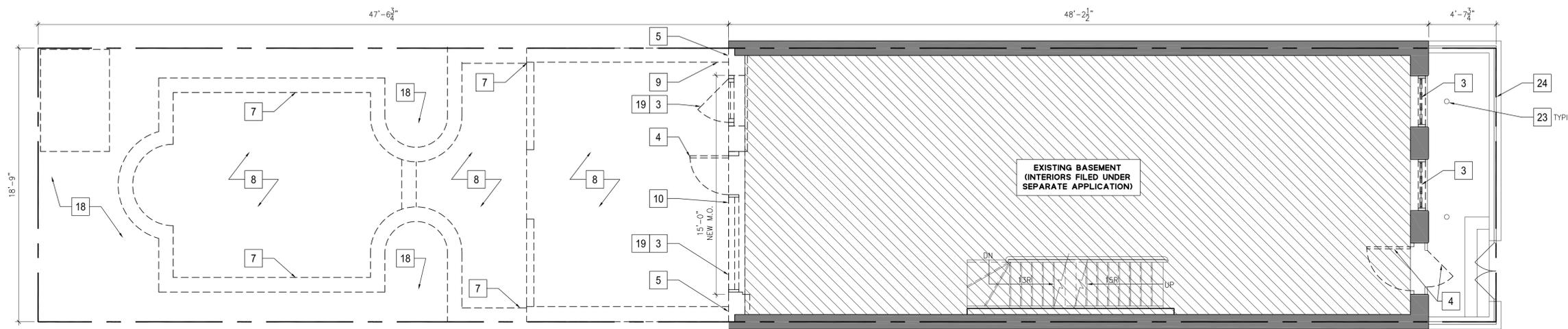
NOTE:
INTERIOR RENOVATION IS FILED UNDER A SEPARATE APPLICATION

PROJECT:

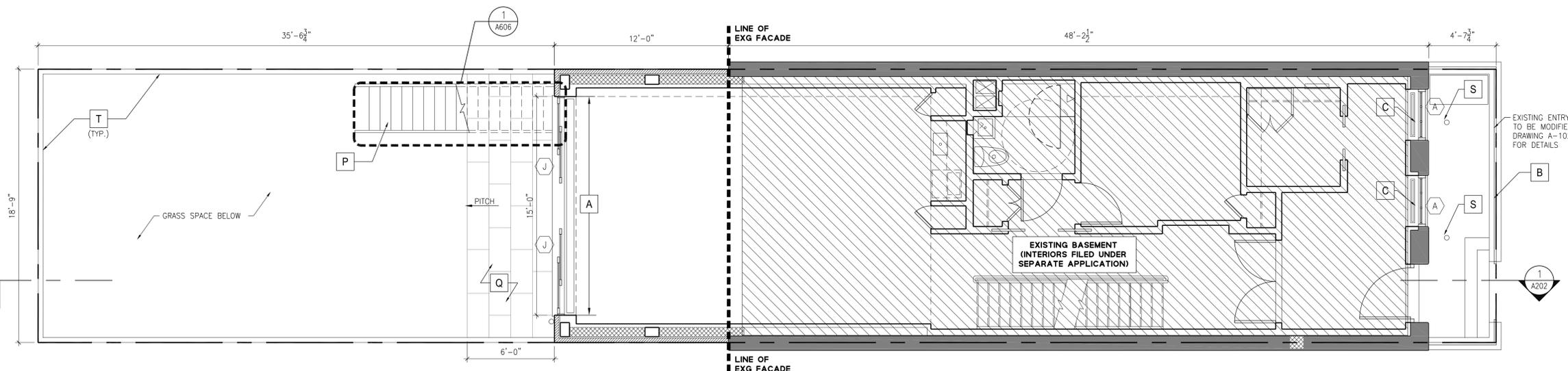
EXTERIOR RENOVATION

212 EAST 62ND STREET
NEW YORK, NY 10065

ARCHITECT:
ACHESON DOYLE PARTNERS ARCHITECTS, P.C.
44 WEST 18th STREET NEW YORK, NY 10011
212 414-4500 FAX: 212 229-3819
info@adpartners.com



1 BASEMENT DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 BASEMENT CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

BASEMENT DEMOLITION & CONSTRUCTION PLANS

ARCHITECT'S PROJECT NUMBER:	51405.00
SCALE:	AS NOTED
DATE:	09.23.2014
DRAWN BY:	BTS/LP/MG
CHECKED BY:	DA
SEAL:	
DRAWING NUMBER:	

A-302.00

DEMOLITION NOTES

1 REMOVE EXISTING ROOF HATCH & LADDER	9 REMOVE EXISTING REAR YARD METAL DUCT	17 REMOVE EXISTING MECHANICAL UNITS. EXISTING DUNNAGE TO REMAIN.
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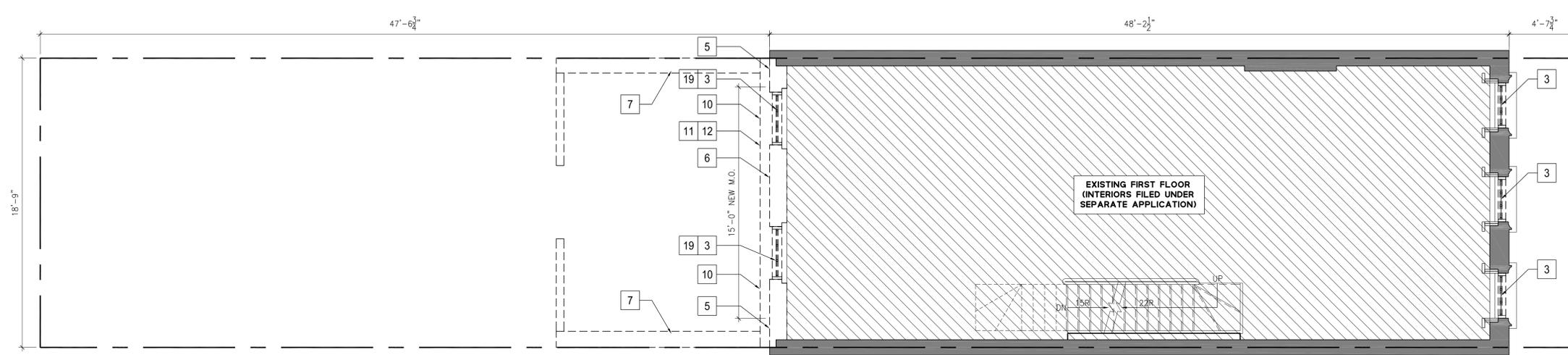
EXTERIOR CONSTRUCTION NOTES

A NEW DOOR, FRAME & HARDWARE, SEE DOOR SCHEDULE	L EXISTING STEEL DUNNAGE- SCRAPE, RUST PROOF AND PAINT
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F NEW ALUM. & GLASS FIXED SKYLIGHT	S EXISTING FLOOR DRAINS AT FRONT ENTRY TO REMAIN.
G NEW ROOF MEMBRANE INCLUDING NEW SUBSTRATE AND FLASHING-SEE DWG A-306	T NEW WOOD PERIMETER FENCE
J NEW PAINTED METAL GUARD RAIL AND GATE AT ROOF AREA REFER TO DETAILS	U NEW COPPER GUTTER AND LEADER

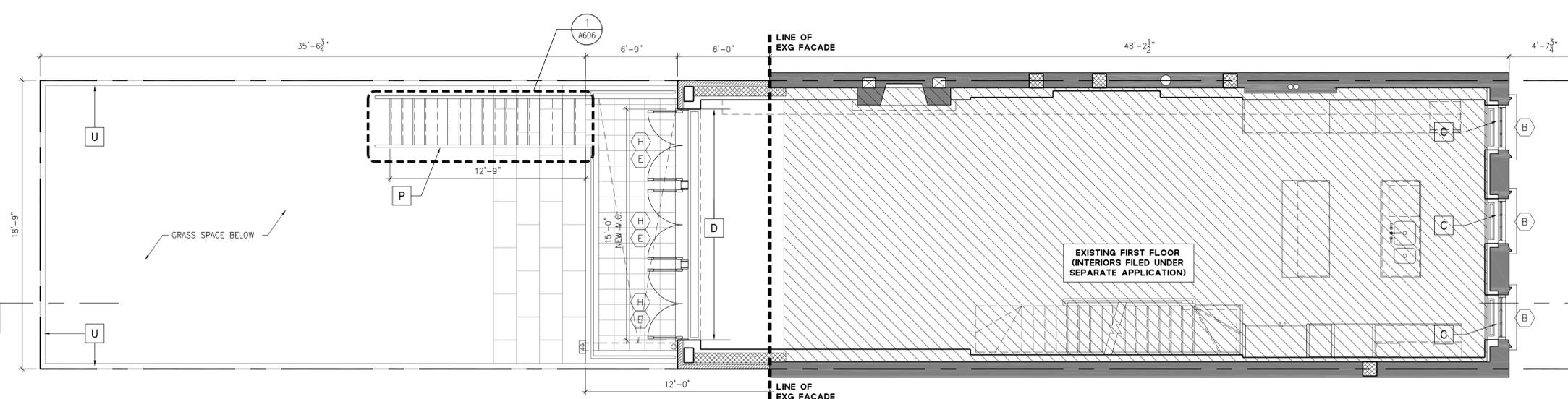
KEY

	EXISTING WALLS TO REMAIN	
	EXISTING ITEMS TO BE REMOVED AS INDICATED (DEMO PLAN ONLY)	
	NO WORK AREA	
	WINDOW REFERENCE TAG	

NOTE:
INTERIOR RENOVATION IS FILED UNDER A SEPARATE APPLICATION



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

EXTERIOR RENOVATION
212 EAST 62ND STREET
NEW YORK, NY 10065

ARCHITECT:
ACHESON DOYLE PARTNERS ARCHITECTS, P.C.
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212 414-4500 FAX: 212 229-3819
info@adpartners.com

FIRST FLOOR DEMOLITION & CONSTRUCTION PLANS

ARCHITECT'S PROJECT NUMBER: 51405.00
SCALE: AS NOTED DATE: 09.23.2014
DRAWN BY: BTS/LP/MG CHECKED BY: DA
SEAL: DRAWING NUMBER:

A-303.00

DEMOLITION NOTES

1 REMOVE EXISTING ROOF HATCH & LADDER	9 REMOVE EXISTING REAR YARD METAL DUCT	17 REMOVE EXISTING MECHANICAL UNITS. EXISTING DUNNAGE TO REMAIN.
2 REMOVE EXISTING SKYLIGHTS & ALL ASSOCIATED CURBING	10 REMOVE EXISTING ELECTRIC ON SOUTH FACADE AND CAP FOR RE-USE	18 REMOVE EXISTING PLANTS AND KEEP THE SOIL FOR REUSE.
3 REMOVE EXISTING WINDOWS AND ALL ASSOCIATED COMPONENTS. PROTECT OPENING FOR RE-USE	11 REMOVE EXISTING FRAMING LEDGE ON SOUTH FACADE	19 REMOVE EXISTING WINDOWS AND DOORS AND ALL ASSOCIATED COMPONENTS ON SOUTH FACADE
4 REMOVE EXISTING DOORS AND ALL ASSOCIATED COMPONENTS. PROTECT OPENING FOR RE-USE	12 RELOCATE EXISTING CABLES ON SOUTH FACADE, COORDINATE WITH NEW CONSTRUCTION	20 REMOVE EXISTING ROOF STRUCTURE AT ENTIRE ROOF. SEE STRUCT'L DWGS FOR INFO.
5 REMOVE EXISTING BRICK WALL AT EACH END TO THE LOT LINE. REFER TO DWG 1/A609 FOR EXTENT OF WORK	13 REMOVE EXISTING GUTTER AND DOWNSPOUT ON SOUTH FACADE	21 REMOVE EXISTING COPING STONE AND FLASHING AT PARAPET.
6 REMOVE EXISTING MASONRY FACADE, PROVIDE SHORING PER STRUCTURAL DRAWINGS	14 REMOVE ENTIRE ROOFING ASSEMBLY IN IT'S ENTIRETY PLUS THE SUBSTRATE TO STRUCTURE	22 EXISTING AREA DRAINS TO REMAIN
7 REMOVE EXISTING REAR YARD MASONRY GARDEN WALLS INCLUDING FOUNDATION AND ALL ASSOCIATED COMPONENTS	15 REMOVE EXISTING ROOF VENTILATION DUCTS AND VENT STACKS	23 EXISTING FRONT ENTRY FENCE TO BE MODIFIED . REFER TO SHEET A-201 FOR DETAILS
8 REMOVE EXISTING REAR YARD PAVING MATERIAL	16 REMOVE EXISTING STEEL ROOF DUNNAGE AND MECHANICAL UNITS	

EXTERIOR CONSTRUCTION NOTES

A NEW DOOR, FRAME & HARDWARE, SEE DOOR SCHEDULE	L EXISTING STEEL DUNNAGE- SCRAPE, RUST PROOF AND PAINT
B MODIFY EXISTING METAL GATE, PAINT GATE AND GUARD AT SIDEWALK. REFER TO DWG A-201 FOR SCOPE OF RAILING	M NEW MECHANICAL UNITS- REFER TO MECHANICAL DRAWINGS
C NEW STREET FACADE WINDOWS TO MATCH EXISTING WINDOW TYPE, SIZE AND MATERIAL. REFER TO WINDOW DETAILS.	N NEW PAINTED METAL ACCESS STEPS AT EXISTING STL DUNNAGE
D NEW REAR FACADE DOORS & WINDOWS AT NEW MASONRY OPENINGS. REFER TO WINDOW DETAILS SHEET A/603.00.	P NEW PAINTED METAL STAIR, STRINGER & BALUSTERS FROM 1ST FLOOR TO GRADE AT REAR YARD
E NEW ALUM. & GLASS OPERABLE SKYLIGHT FOR ROOF ACCESS	Q NEW LANDSCAPING PAVERS AT REAR YARD
F NEW ALUM. & GLASS FIXED SKYLIGHT	S EXISTING FLOOR DRAINS AT FRONT ENTRY TO REMAIN.
G NEW ROOF MEMBRANE INCLUDING NEW SUBSTRATE AND FLASHING-SEE DWG A-306	T NEW WOOD PERIMETER FENCE
J NEW PAINTED METAL GUARD RAIL AND GATE AT ROOF AREA REFER TO DETAILS	U NEW COPPER GUTTER AND LEADER

KEY

	EXISTING WALLS TO REMAIN	
	EXISTING ITEMS TO BE REMOVED AS INDICATED (DEMO PLAN ONLY)	
	NO WORK AREA	
	WINDOW REFERENCE TAG	

NO.	ISSUE/DESCRIPTION:	DATE:
	LANDMARKS	03.08.2016

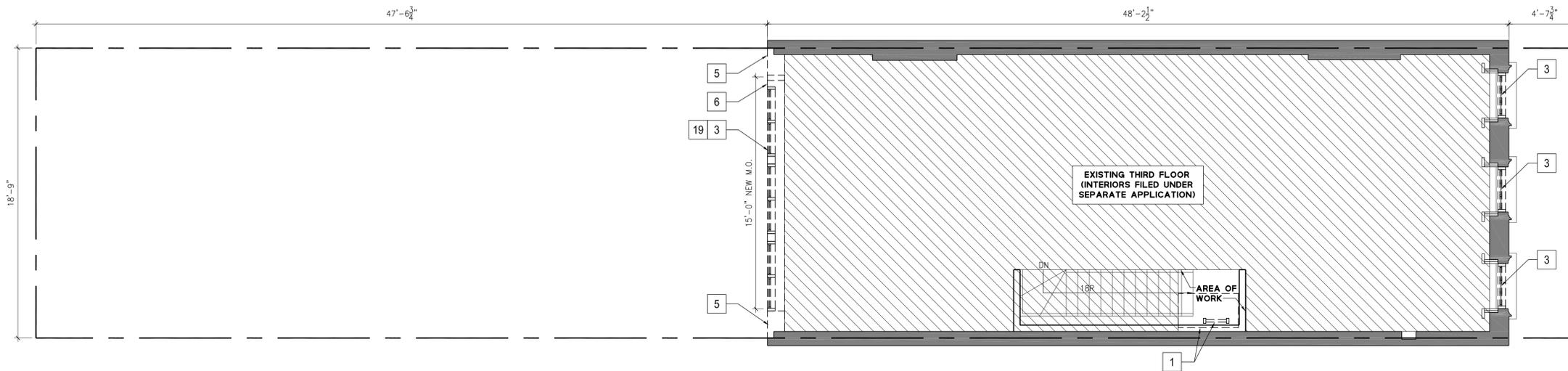
NOTE:
INTERIOR RENOVATION IS FILED UNDER A SEPARATE APPLICATION

PROJECT:

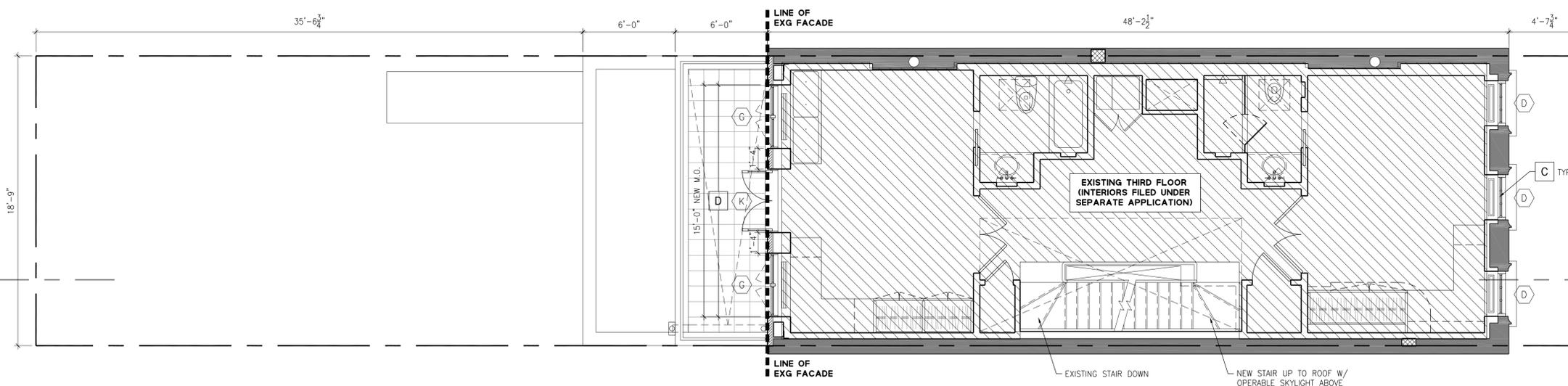
EXTERIOR RENOVATION

212 EAST 62ND STREET
NEW YORK, NY 10065

ARCHITECT:
ACHESON DOYLE PARTNERS ARCHITECTS, P.C.
44 WEST 18th STREET NEW YORK, NY 10011
212 414-4500 FAX: 212 229-3819
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1 THIRD FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 THIRD FLOOR CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

THIRD FLOOR DEMOLITION & CONSTRUCTION PLANS

ARCHITECT'S PROJECT NUMBER:	51405.00
SCALE:	AS NOTED
DATE:	09.23.2014
DRAWN BY:	BTS/LP/MG
CHECKED BY:	DA

SEAL:	DRAWING NUMBER: A-305.00
	DRAWING: 16 OF 21

DEMOLITION NOTES

1 REMOVE EXISTING ROOF HATCH & LADDER	9 REMOVE EXISTING REAR YARD METAL DUCT	17 REMOVE EXISTING MECHANICAL UNITS. EXISTING DUNNAGE TO REMAIN.
2 REMOVE EXISTING SKYLIGHTS & ALL ASSOCIATED CURBING	10 REMOVE EXISTING ELECTRIC ON SOUTH FACADE AND CAP FOR RE-USE	18 REMOVE EXISTING PLANTS AND KEEP THE SOIL FOR REUSE.
3 REMOVE EXISTING WINDOWS AND ALL ASSOCIATED COMPONENTS. PROTECT OPENING FOR RE-USE	11 REMOVE EXISTING FRAMING LEDGE ON SOUTH FACADE	19 REMOVE EXISTING WINDOWS AND DOORS AND ALL ASSOCIATED COMPONENTS ON SOUTH FACADE
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6 REMOVE EXISTING MASONRY FACADE, PROVIDE SHORING PER STRUCTURAL DRAWINGS	14 REMOVE ENTIRE ROOFING ASSEMBLY IN IT'S ENTIRETY PLUS THE SUBSTRATE TO STRUCTURE	22 EXISTING AREA DRAINS TO REMAIN
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EXTERIOR CONSTRUCTION NOTES

A NEW DOOR, FRAME & HARDWARE, SEE DOOR SCHEDULE	L EXISTING STEEL DUNNAGE- SCRAPE, RUST PROOF AND PAINT
B MODIFY EXISTING METAL GATE, PAINT GATE AND GUARD AT SIDEWALK. REFER TO DWG A-201 FOR SCOPE OF RAILING	M NEW MECHANICAL UNITS- REFER TO MECHANICAL DRAWINGS
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D NEW REAR FACADE DOORS & WINDOWS AT NEW MASONRY OPENINGS. REFER TO WINDOW DETAILS SHEET A/603.00.	P NEW PAINTED METAL STAIR, STRINGER & BALUSTERS FROM 1ST FLOOR TO GRADE AT REAR YARD
E NEW ALUM. & GLASS OPERABLE SKYLIGHT FOR ROOF ACCESS	Q NEW LANDSCAPING PAVERS AT REAR YARD
F NEW ALUM. & GLASS FIXED SKYLIGHT	S EXISTING FLOOR DRAINS AT FRONT ENTRY TO REMAIN.
G NEW ROOF MEMBRANE INCLUDING NEW SUBSTRATE AND FLASHING-SEE DWG A-306	T NEW WOOD PERIMETER FENCE
J NEW PAINTED METAL GUARD RAIL AND GATE AT ROOF AREA REFER TO DETAILS	U NEW COPPER GUTTER AND LEADER

KEY

	EXISTING WALLS TO REMAIN	
	EXISTING ITEMS TO BE REMOVED AS INDICATED (DEMO PLAN ONLY)	
	NO WORK AREA	
	WINDOW REFERENCE TAG	

NOTE:
INTERIOR RENOVATION IS FILED UNDER A SEPARATE APPLICATION

PROJECT:

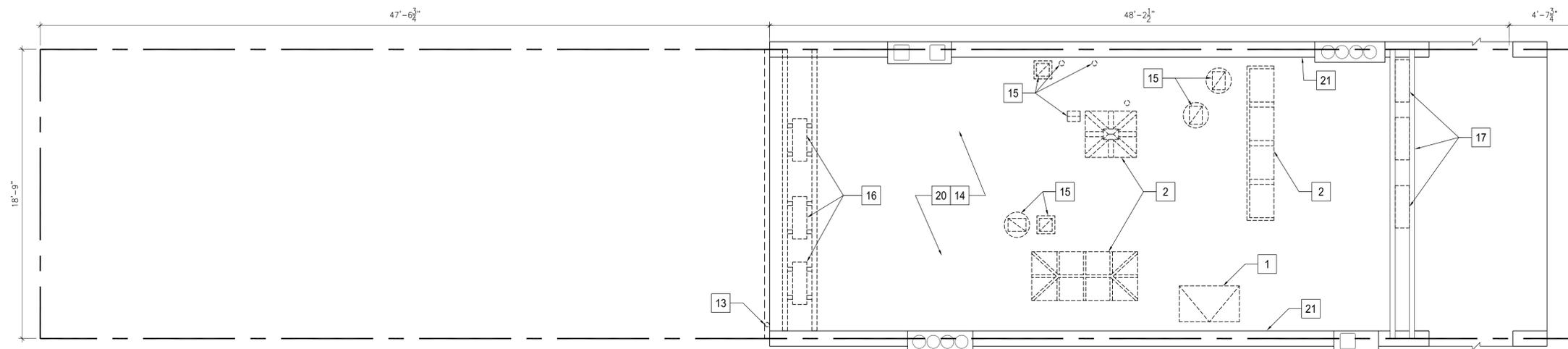
EXTERIOR RENOVATION

212 EAST 62ND STREET
NEW YORK, NY 10065

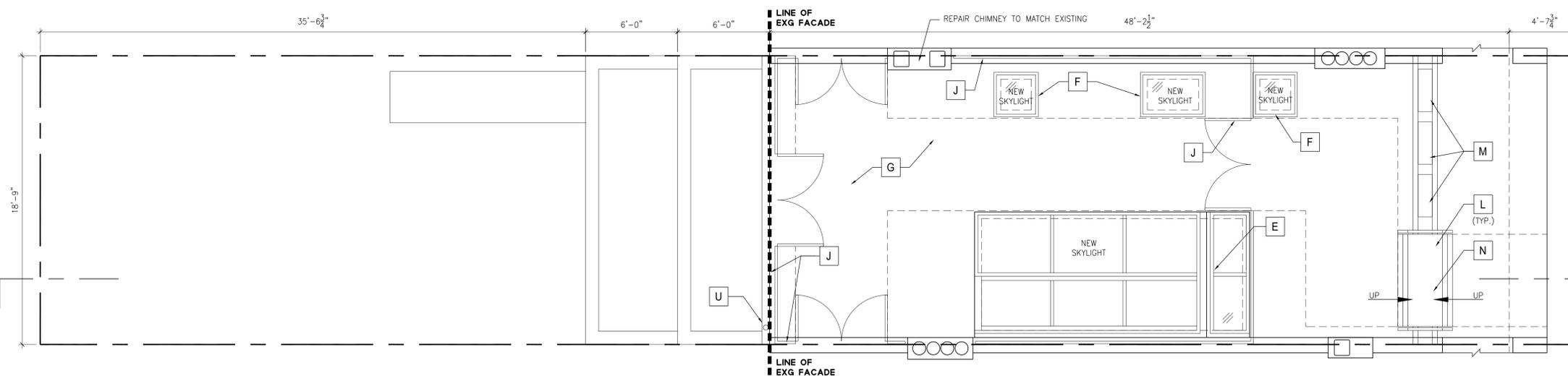
ARCHITECT:

**ACHESON DOYLE PARTNERS
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44 WEST 18th STREET NEW YORK, NY 10011
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info@adparchitects.com



1 ROOF DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 ROOF CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

DRAWING TITLE:

ROOF DEMOLITION & CONSTRUCTION PLANS

ARCHITECT'S PROJECT NUMBER: 51405.00

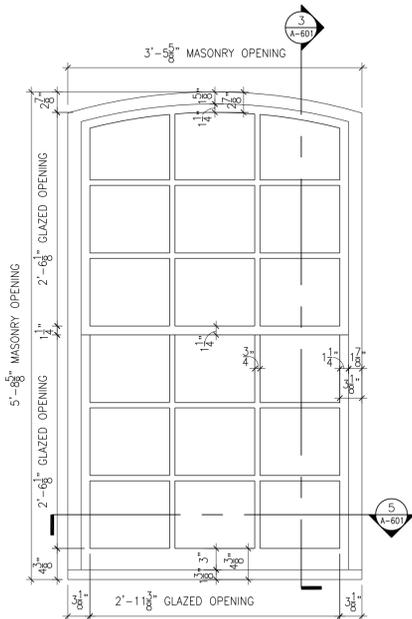
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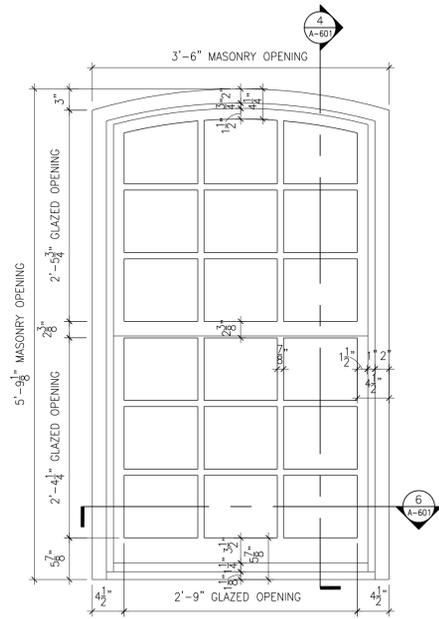
A-306.00

EXISTING WINDOW	PROPOSED WINDOW TYPE A
MASONRY OPENING 19.85 SF	MASONRY OPENING 19.85 SF
FRAME 06.54 SF	FRAME 08.42 SF
GLAZING 13.31 SF	GLAZING 11.43 SF
	11.43/13.31 = .86 14% LESS GLAZING



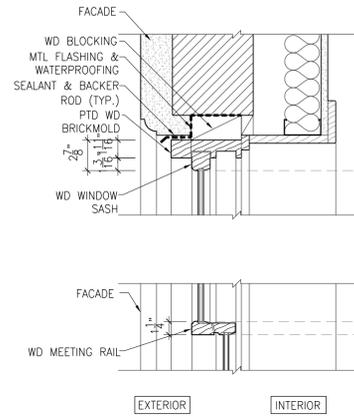
EXISTING BASEMENT WINDOW AT NORTH FACADE

1
A-601
SCALE: 1" = 1'-0"



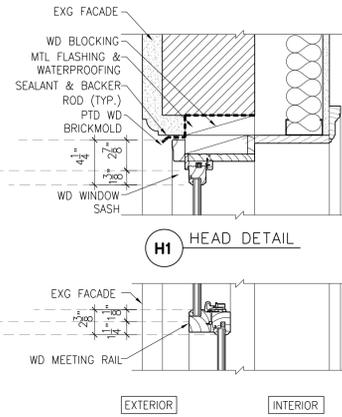
PROPOSED BASEMENT WINDOW AT NORTH FACADE

2
A-601
SCALE: 1" = 1'-0" TYPE 'A'



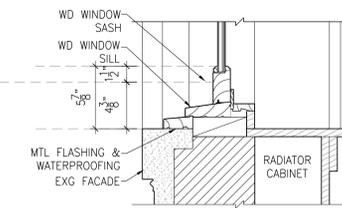
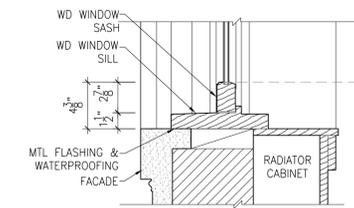
EXISTING BASEMENT WINDOW SECTION

3
A-601
SCALE: 1-1/2" = 1'-0"

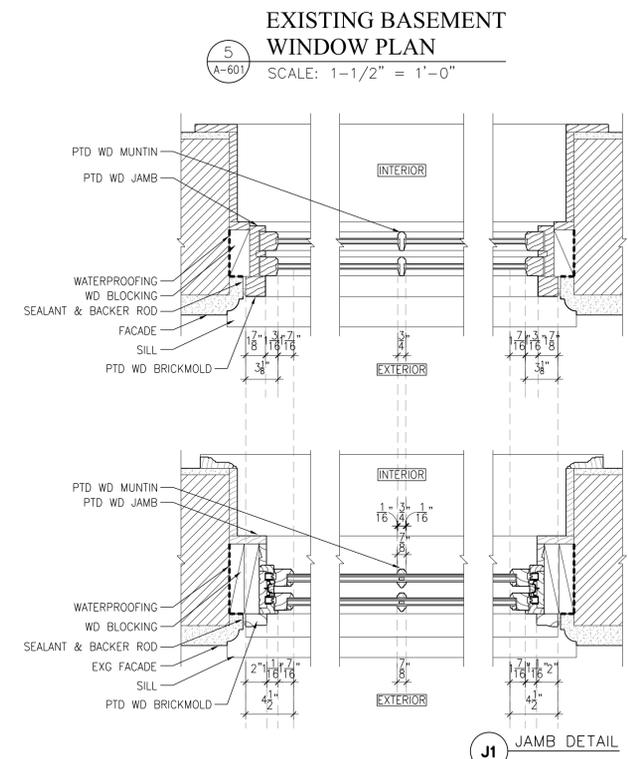


PROPOSED BASEMENT WINDOW SECTION

4
A-601
SCALE: 1-1/2" = 1'-0" TYPE 'A'



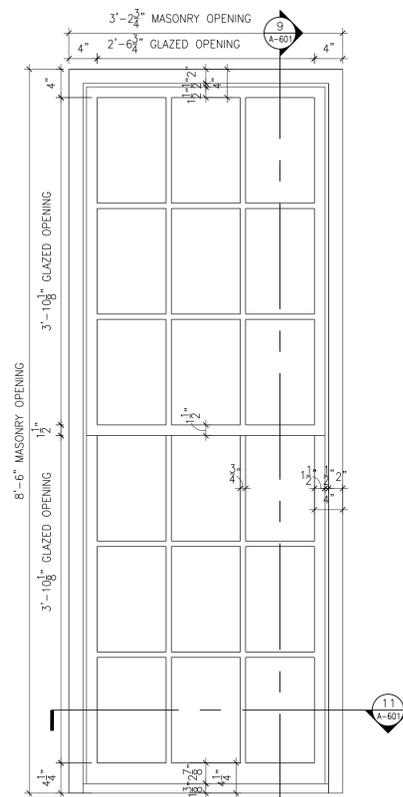
S1 SILL DETAIL



PROPOSED BASEMENT WINDOW PLAN

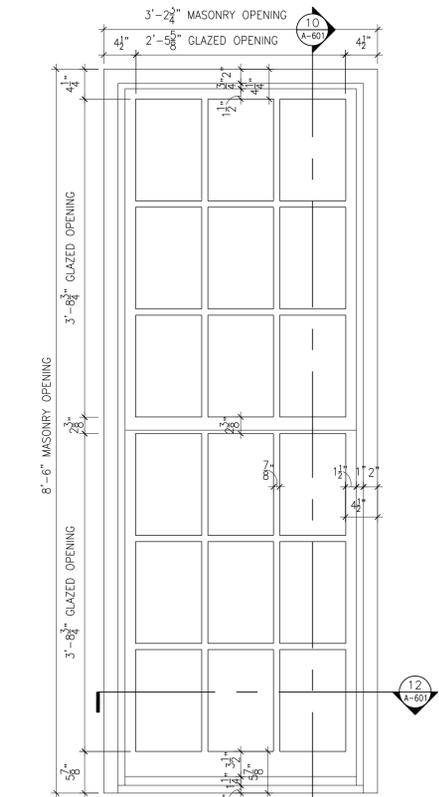
6
A-601
SCALE: 1-1/2" = 1'-0" TYPE 'A'

EXISTING WINDOW	PROPOSED WINDOW TYPE B
MASONRY OPENING 27.45 SF	MASONRY OPENING 27.45 SF
FRAME 09.27 SF	FRAME 10.71 SF
GLAZING 18.18 SF	GLAZING 16.74 SF
	16.74/18.18 = .92 8% LESS GLAZING



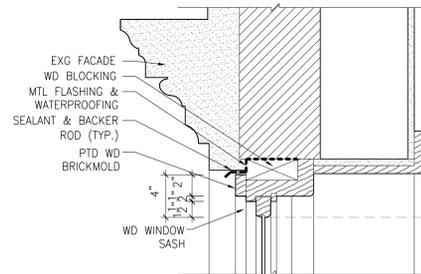
EXISTING FIRST FLOOR WINDOW AT NORTH FACADE

7
A-601
SCALE: 1" = 1'-0"



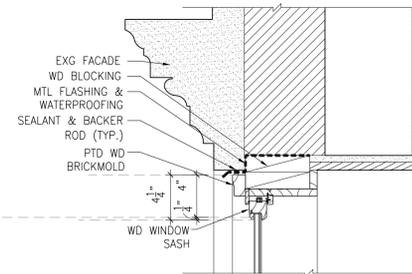
PROPOSED FIRST FLOOR WINDOW AT NORTH FACADE

8
A-601
SCALE: 1" = 1'-0" TYPE 'B'



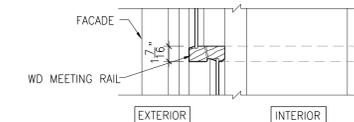
EXISTING FIRST FLOOR WINDOW SECTION

9
A-601
SCALE: 1-1/2" = 1'-0"

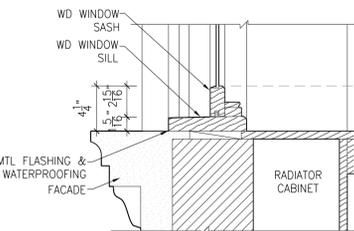


PROPOSED FIRST FLOOR WINDOW SECTION

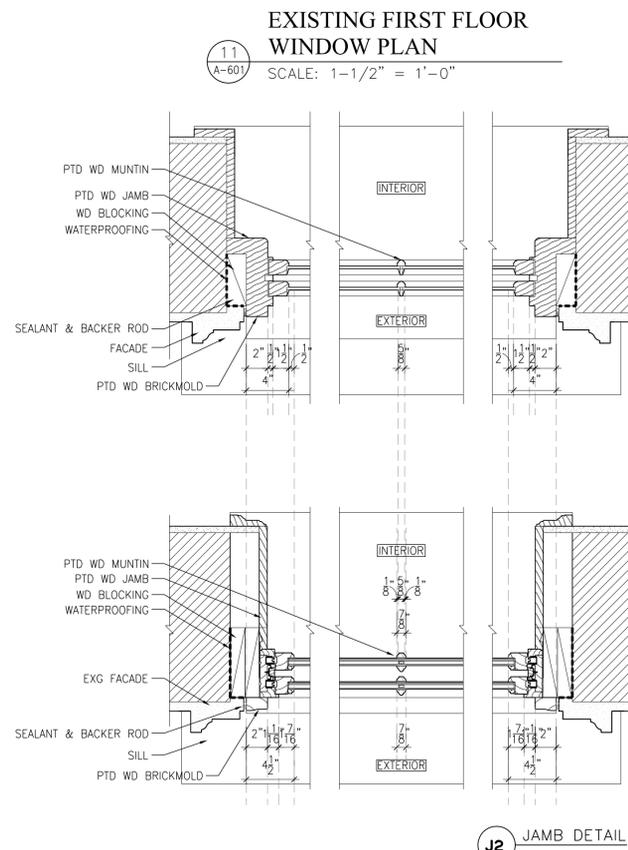
10
A-601
SCALE: 1-1/2" = 1'-0" TYPE 'B'



H2 HEAD DETAIL



S2 SILL DETAIL



PROPOSED FIRST FLOOR WINDOW PLAN

12
A-601
SCALE: 1-1/2" = 1'-0" TYPE 'B'

EXTERIOR RENOVATION

212 EAST 62ND STREET
NEW YORK, NY 10065

ARCHITECT:
ACHESON DOYLE PARTNERS ARCHITECTS, P.C.
44 WEST 18TH STREET NEW YORK, NY 10011
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EXISTING FIRST FLOOR WINDOW PLAN

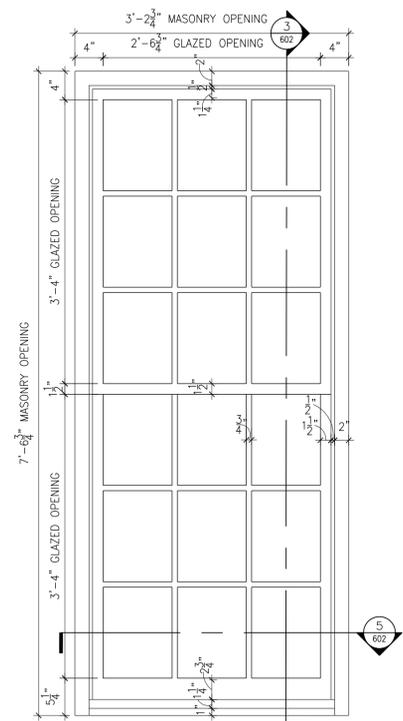
DRAWING TITLE:

EXTERIOR WINDOW & DOOR TYPES & SCHEDULES

ARCHITECT'S PROJECT NUMBER: 51405.00
SCALE: AS NOTED DATE: 09.23.2014
DRAWN BY: BTS/LP/MG CHECKED BY: DA
SEAL: DRAWING NUMBER:

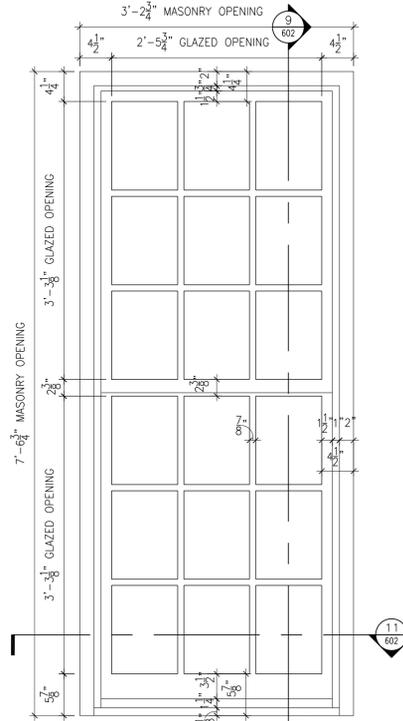
A-601.00

EXISTING WINDOW		PROPOSED WINDOW TYPE C	
MASONRY OPENING	27.45 SF	MASONRY OPENING	24.42 SF
FRAME	09.27 SF	FRAME	09.85 SF
GLAZING	15.66 SF	GLAZING	14.58 SF
		14.58/16.74 = .93	
		7% LESS GLAZING	



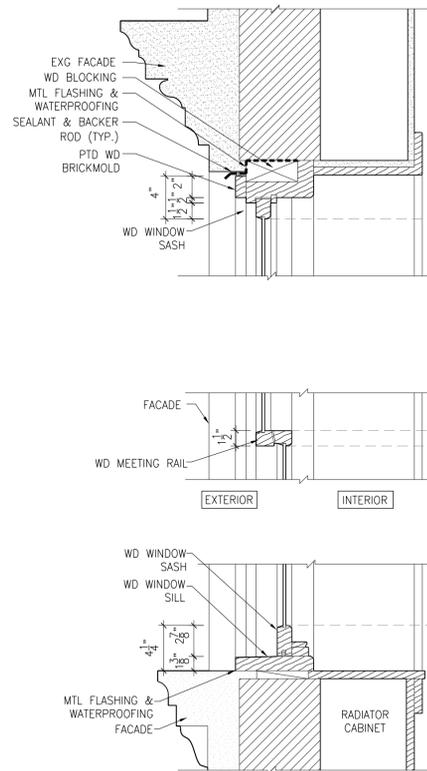
EXISTING SECOND FLOOR WINDOW AT NORTH FACADE

1 A-602 SCALE: 1" = 1'-0"



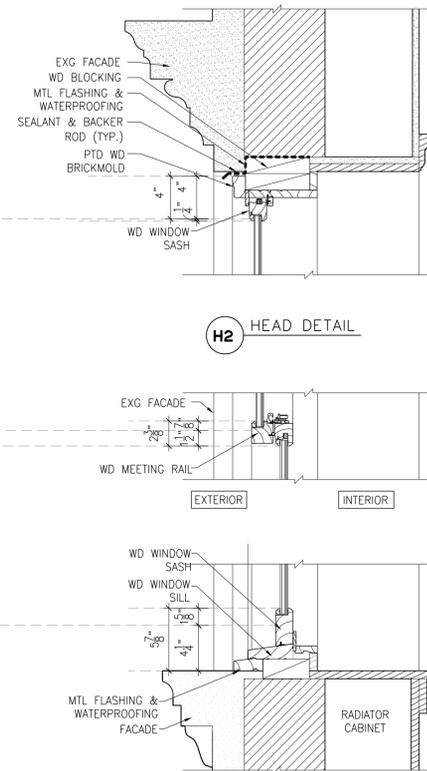
PROPOSED SECOND FLOOR WINDOW AT NORTH FACADE TYPE 'C'

2 A-602 SCALE: 1" = 1'-0"



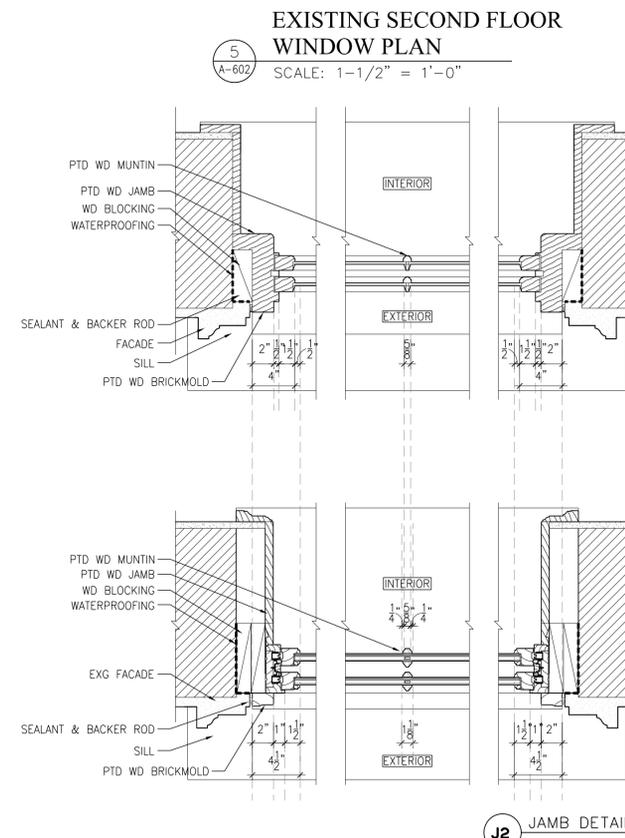
EXISTING SECOND FLOOR WINDOW SECTION

3 A-602 SCALE: 1-1/2" = 1'-0"



PROPOSED SECOND FLOOR WINDOW SECTION

4 A-602 SCALE: 1-1/2" = 1'-0" TYPE 'C'



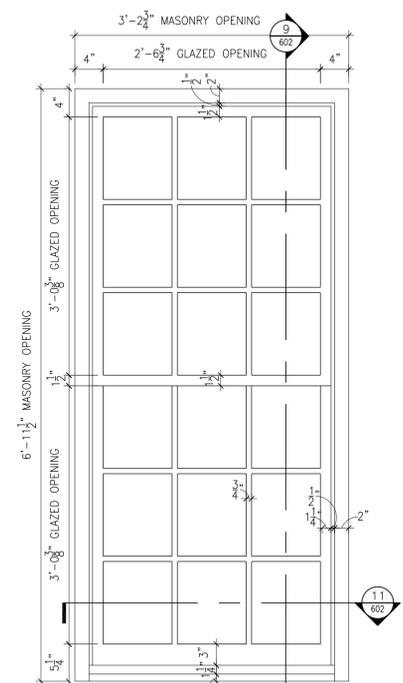
EXISTING SECOND FLOOR WINDOW PLAN

5 A-602 SCALE: 1-1/2" = 1'-0"

PROPOSED SECOND FLOOR WINDOW PLAN

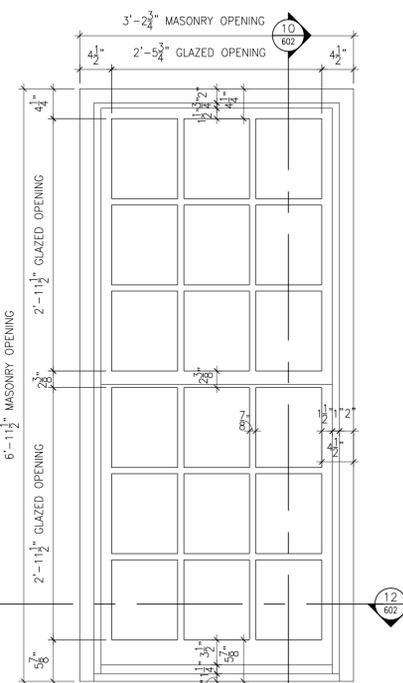
6 A-602 SCALE: 1-1/2" = 1'-0" TYPE 'C'

EXISTING WINDOW		PROPOSED WINDOW TYPE D	
MASONRY OPENING	22.47 SF	MASONRY OPENING	22.47 SF
FRAME	08.43 SF	FRAME	09.33 SF
GLAZING	14.04 SF	GLAZING	13.14 SF
		13.14/14.04 = .93	
		7% LESS GLAZING	



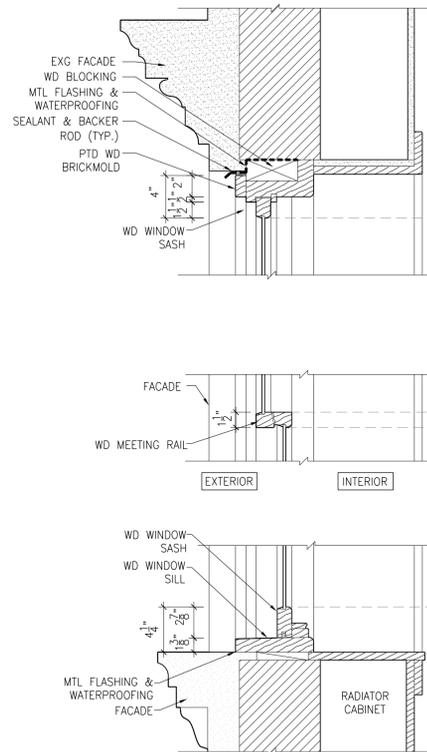
EXISTING THIRD FLOOR WINDOW AT NORTH FACADE

7 A-602 SCALE: 1" = 1'-0"



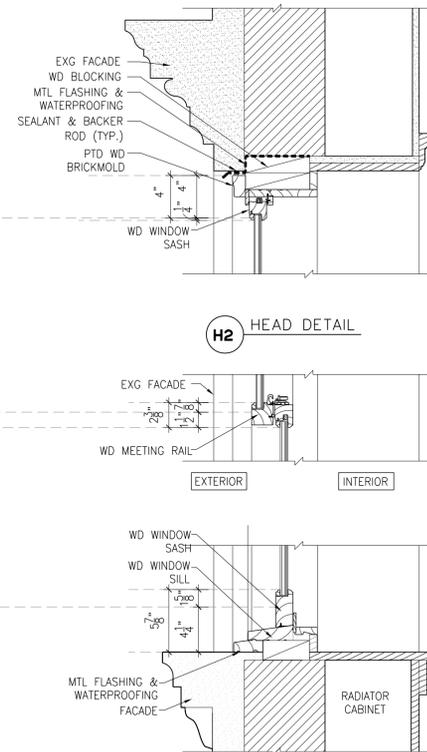
PROPOSED THIRD FLOOR WINDOW AT NORTH FACADE TYPE 'D'

8 A-602 SCALE: 1" = 1'-0"



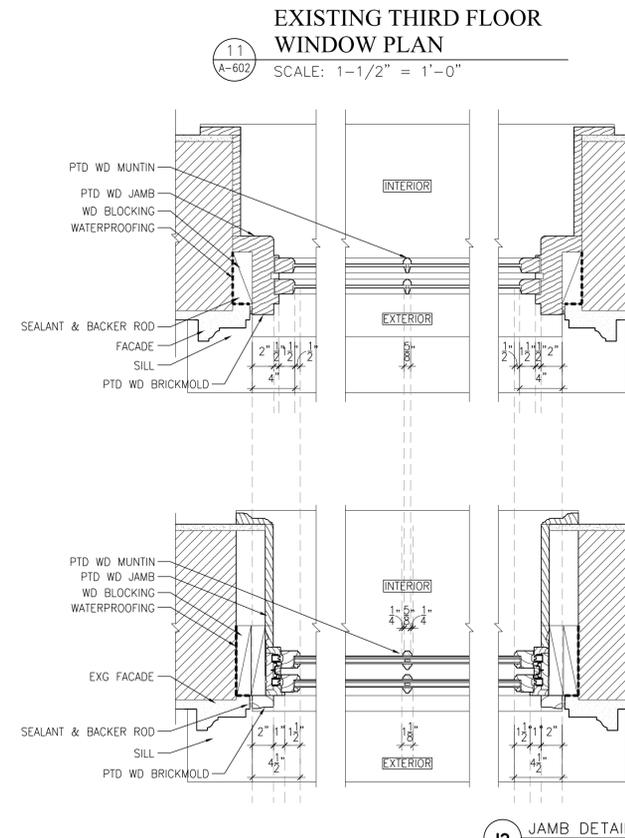
EXISTING THIRD FLOOR WINDOW SECTION

9 A-602 SCALE: 1-1/2" = 1'-0"



PROPOSED THIRD FLOOR WINDOW SECTION

10 A-602 SCALE: 1-1/2" = 1'-0" TYPE 'D'



EXISTING THIRD FLOOR WINDOW PLAN

11 A-602 SCALE: 1-1/2" = 1'-0"

PROPOSED THIRD FLOOR WINDOW PLAN

12 A-602 SCALE: 1-1/2" = 1'-0" TYPE 'D'

NOTE: INTERIOR RENOVATION IS FILED UNDER A SEPARATE APPLICATION

PROJECT:

EXTERIOR RENOVATION

212 EAST 62ND STREET
NEW YORK, NY 10065

ARCHITECT:

ACHESON DOYLE PARTNERS ARCHITECTS, P.C.

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DRAWING TITLE:

EXTERIOR WINDOW & DOOR TYPES & SCHEDULES

ARCHITECT'S PROJECT NUMBER: 51405.00

SCALE: AS NOTED DATE: 09.23.2014

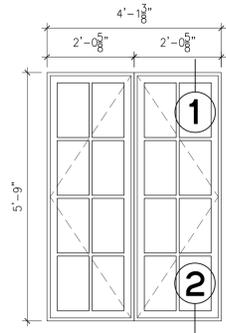
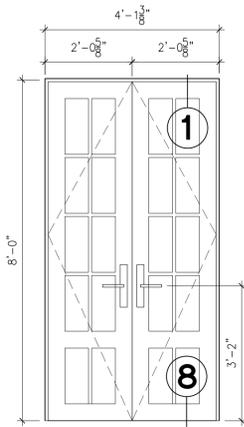
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SEAL: DRAWING NUMBER:

A-602.00

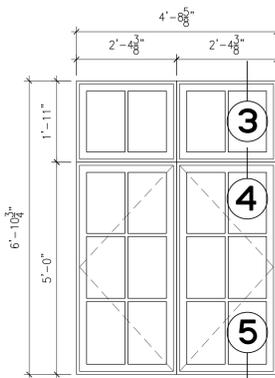
PROPOSED REAR YARD WINDOW TYPES

SCALE: 1/2" = 1'-0"

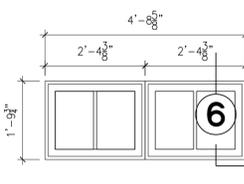


G CASEMENT WINDOW
SCALE: 1/2" = 1'-0"

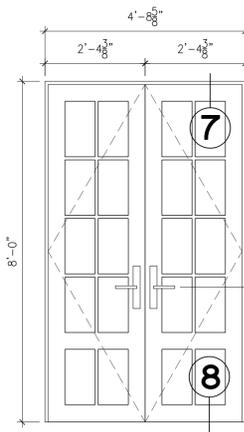
K PAIR OF WD DOORS WITH GLASS LITES
SCALE: 1/2" = 1'-0"



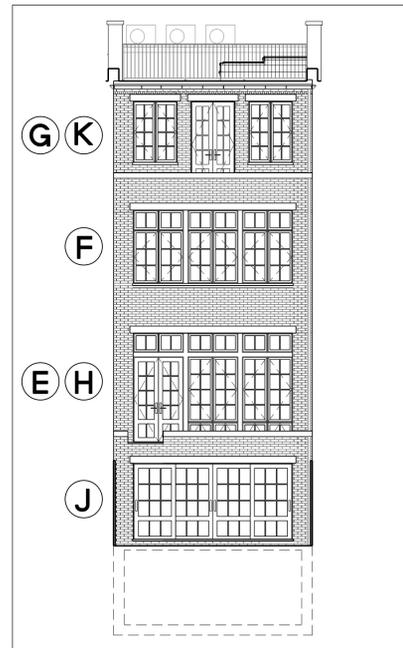
F CASEMENT W/ FIXED TRANSOM
SCALE: 1/2" = 1'-0"



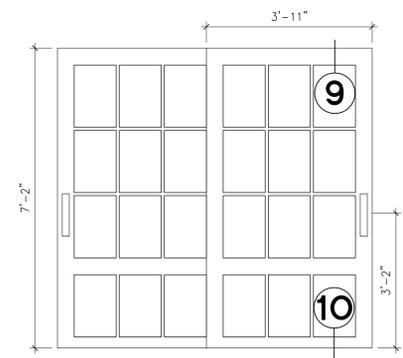
E FIXED TRANSOM
SCALE: 1/2" = 1'-0"



H PAIR OF WD DOORS WITH GLASS LITES
SCALE: 1/2" = 1'-0"



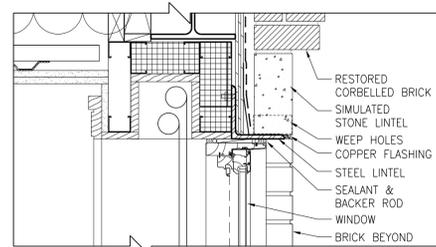
KEY - REAR FACADE WINDOW TYPES



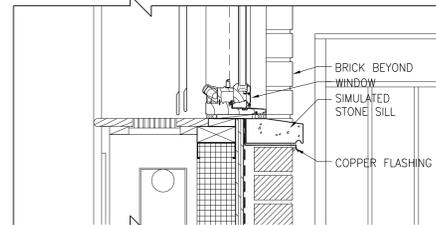
J PAIR OF WD SLIDING DOORS WITH GLASS LITES
SCALE: 1/2" = 1'-0"

PROPOSED REAR YARD WINDOW HEAD, JAMB & SILL DETAILS

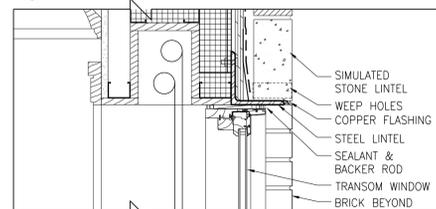
SCALE: 1-1/2" = 1'-0"



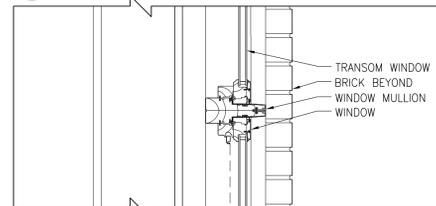
1 HEAD DETAIL (H1)



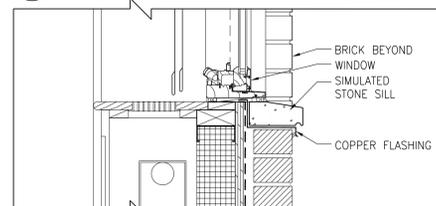
2 SILL DETAIL (S1)



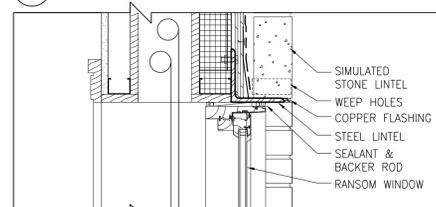
3 HEADER DETAIL (H2)



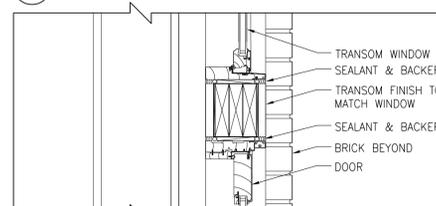
4 MULLION DETAIL



5 SILL DETAIL (S2)



6 HEADER DETAIL (H3)



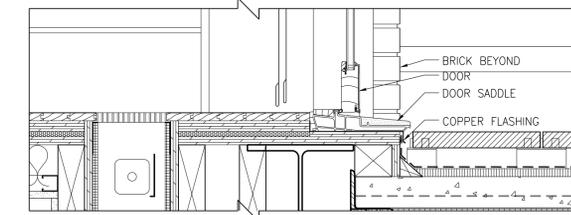
7 MULLION DETAIL

WINDOW SCHEDULE

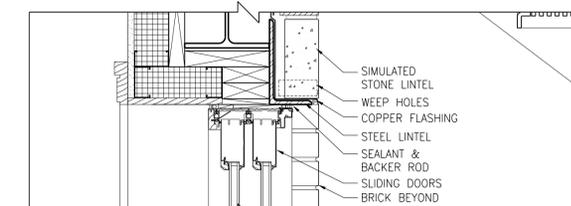
MARK & TYPE	QUANTITY	MODEL #	MANUFAC	DIMENSIONS		MATERIAL	FINISH	DETAIL				NOTES
				WIDTH	HEIGHT			HEAD	MULLION	JAMB	SILL	
A	2	TBD	MARVIN	3'-6"	5'-9 1/8"	WD/CLAD	PT	-	-	-	-	-
B	3	TBD	MARVIN	8'-6"	3'-2 1/4"	WD/CLAD	PT	-	-	-	-	-
C	3	TBD	MARVIN	7'-6 1/2"	3'-2 1/4"	WD/CLAD	PT	-	-	-	-	-
D	3	TBD	MARVIN	6'-1 1/2"	3'-2 1/4"	WD/CLAD	PT	-	-	-	-	-
E	3	TBD	MARVIN	1'-9 1/2"	4'-8 5/8"	WD/CLAD	PT	-	-	-	-	-
F	3	TBD	MARVIN	6'-10 1/4"	4'-8 5/8"	WD/CLAD	PT	-	-	-	-	-
G	2	TBD	MARVIN	5'-9"	4'-1 1/8"	WD/CLAD	PT	-	-	-	-	-

EXTERIOR DOOR & FRAME SCHEDULE

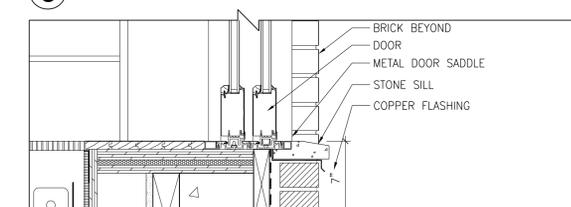
MARK	TYPE	SWING	DOOR				FRAME				HDWR SET	NOTES		
			MATCH EXG	MATCH EXG	MATCH EXG	MATCH EXG	MATL	FINISH	MATL	FINISH			HEAD	JAMB
B01A	B	LH					WD	PT	WD	PT	-	-	ENTRANCE	SINGLE DOOR
B05A	J	LH/RH	4'-8 1/2"	7'-2"	1 3/4"	TBD	MTL/WD	PT	MTL/WD	PT	-	-	BY DOOR MFC	MARVIN SLIDING DOORS
B05B	J	LH/RH	4'-8 1/2"	7'-2"	1 3/4"	TBD	MTL/WD	PT	MTL/WD	PT	-	-	BY DOOR MFC	MARVIN SLIDING DOORS
B05C	J	LH/RH	4'-8 1/2"	7'-2"	1 3/4"	TBD	MTL/WD	PT	MTL/WD	PT	-	-	BY DOOR MFC	MARVIN SLIDING DOORS
101A	H	LH/RH	4'-8 1/2"	8'-0"	1 3/4"	TBD	MTL/WD	PT	MTL/WD	PT	-	-	BY DOOR MFC	PAIR OF MARVIN FRENCH DOORS
101B	H	LH/RH	4'-8 1/2"	8'-0"	1 3/4"	TBD	MTL/WD	PT	MTL/WD	PT	-	-	BY DOOR MFC	PAIR OF MARVIN FRENCH DOORS
101C	H	LH/RH	4'-8 1/2"	8'-0"	1 3/4"	TBD	MTL/WD	PT	MTL/WD	PT	-	-	BY DOOR MFC	PAIR OF MARVIN FRENCH DOORS
102B	K	LH/RH	4'-1 1/8"	8'-0"	1 3/4"	TBD	MTL/WD	PT	MTL/WD	PT	-	-	BY DOOR MFC	PAIR OF MARVIN FRENCH DOORS



8 SILL DETAIL (S3)



9 HEADER DETAIL (H4)



10 SILL DETAIL (S4)

NO. ISSUE/DESCRIPTION: DATE:
LANDMARKS 03.08.2016

EXTERIOR RENOVATION

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DRAWING TITLE:

EXTERIOR WINDOW & DOOR TYPES AT REAR YARD SOUTH FACADE

ARCHITECT'S PROJECT NUMBER: 51405.00

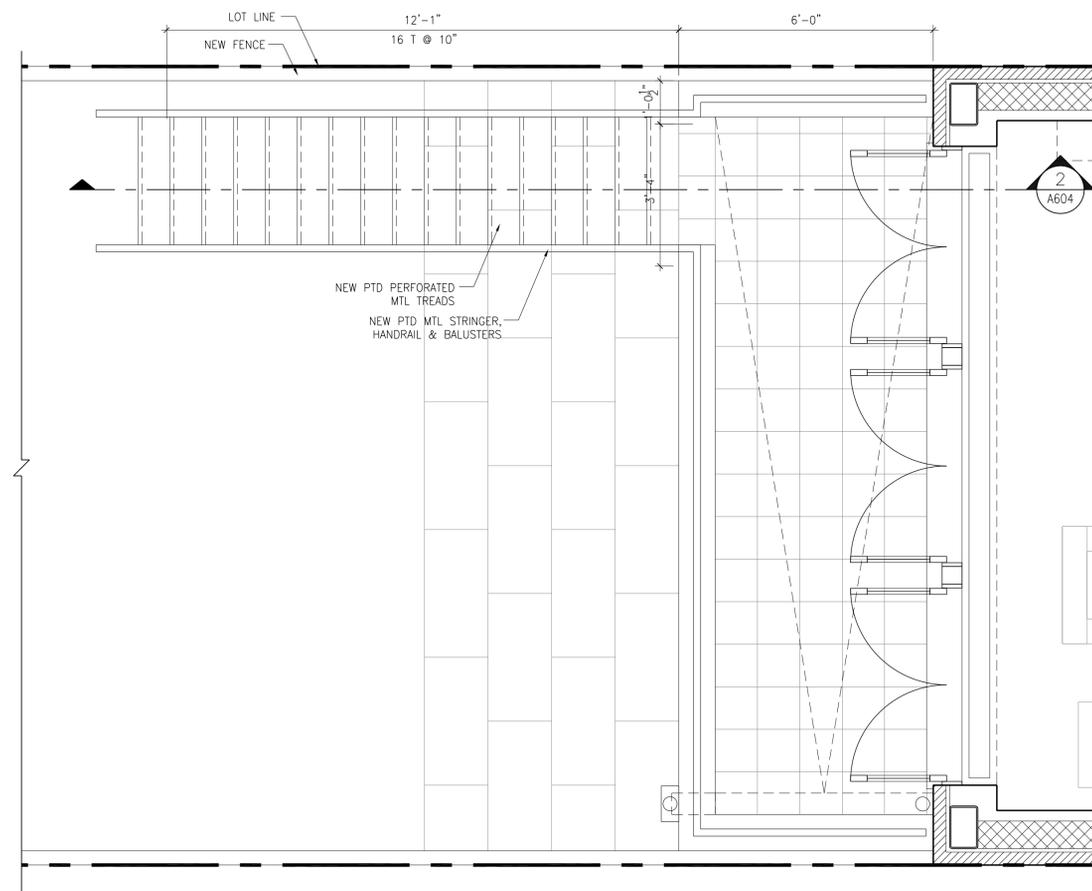
SCALE: AS NOTED DATE: 09.23.2014

DRAWN BY: BTS/LP/MG CHECKED BY: DA

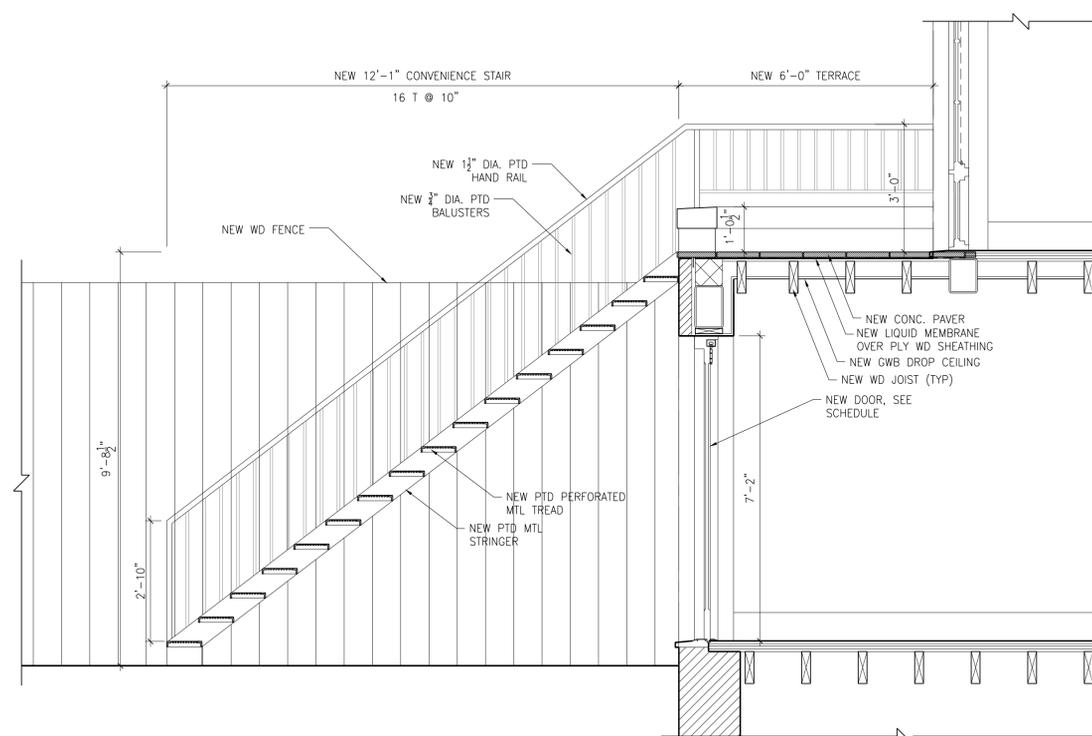
SEAL: DRAWING NUMBER:

A-603.00

DRAWING: 20 OF 21



1 REAR YARD STAIR PLAN
 SCALE: 1/2" = 1'-0"



2 REAR YARD STAIR SECTION
 SCALE: 1/2" = 1'-0"

**EXTERIOR
 RENOVATION**

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DRAWING TITLE:
**REAR YARD STAIR
 PLAN AND DETAILS**

ARCHITECT'S PROJECT NUMBER:	51405.00
SCALE:	AS NOTED
DATE:	09.23.2014
DRAWN BY:	BTS/LP/MG
CHECKED BY:	DA

DRAWING NUMBER:
A-604.00