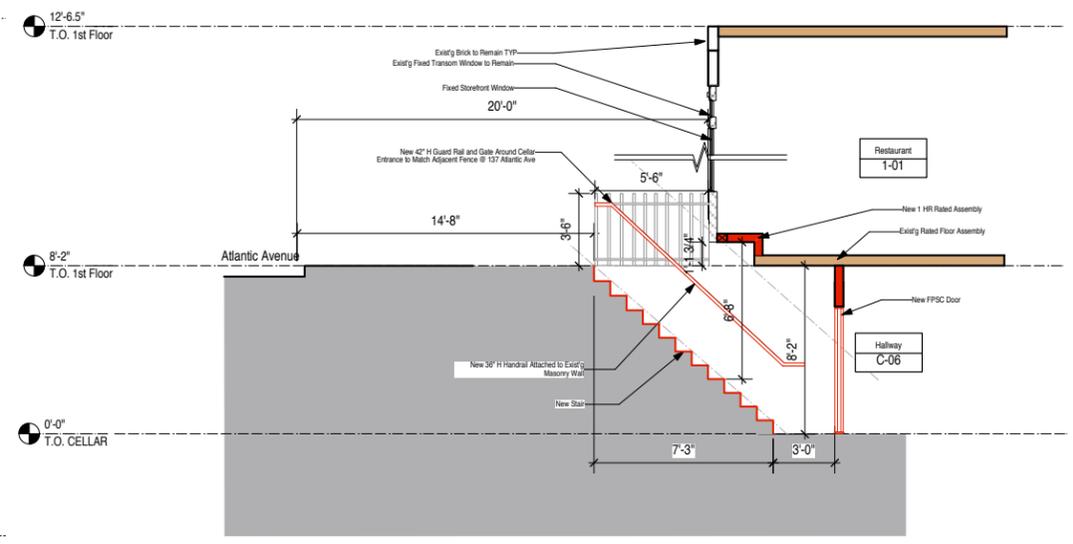
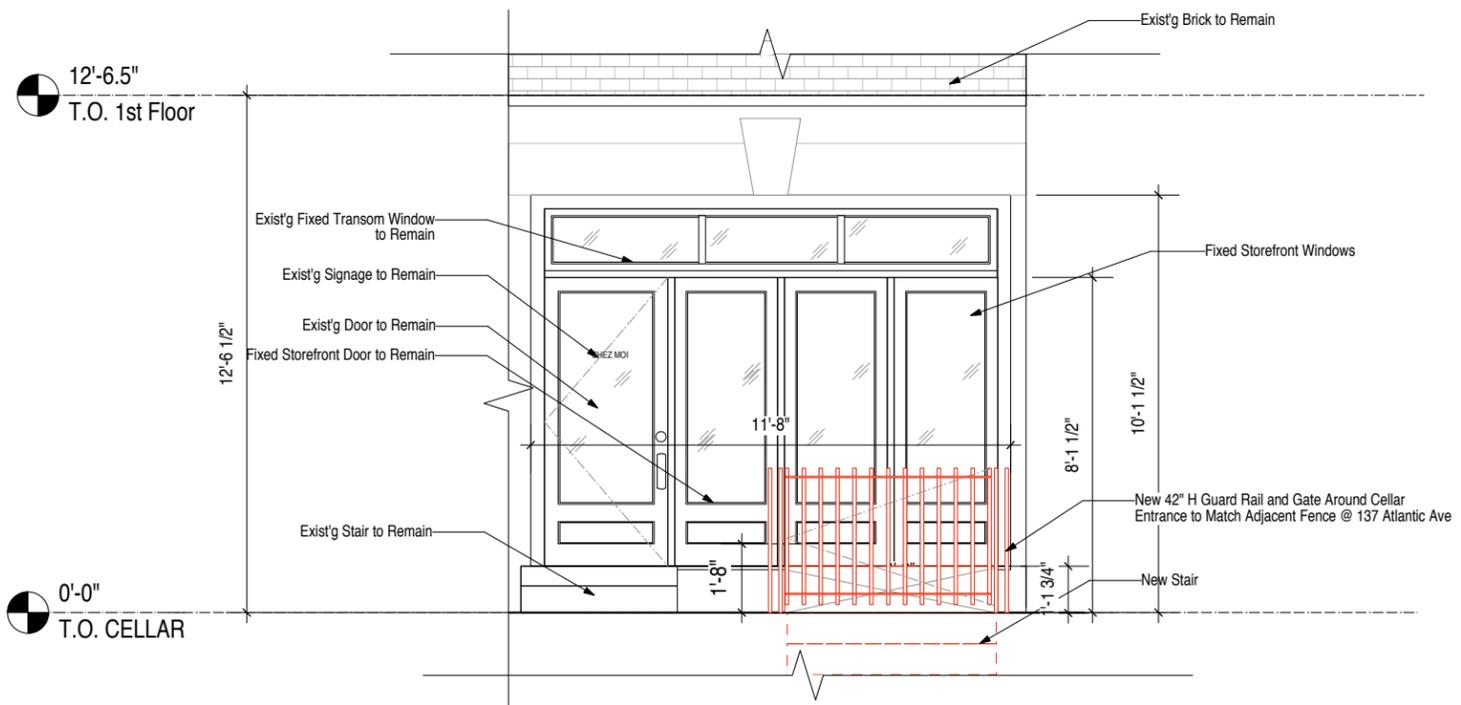


**1 As Built/Demo Front Elevation**  
A-100.00 Scale: 1/2" = 1'-0"



**3 Proposed Store Front Section**  
A-001.00 Scale: 1/4" = 1'-0"



**2 Proposed Front Elevation**  
A-100.00 Scale: 1/2" = 1'-0"



**4 Proposed Store Rendering**  
A-001.00 NOT TO SCALE

DATE	REV. #	ISSUE	ISSUER
03/03/15	1	LFC SUBMITTAL	P
03/05/15	2	LFC SUBMITTAL	X

DATE	REV. #	ISSUE	ISSUER
03/03/15	1	LFC SUBMITTAL	P
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DATE	REV. #	ISSUE	ISSUER
10/15/15	as noted	PROPOSED SECTION/PROPOSED PLAN	N
03/05/15	2	NOTES	Z
03/05/15	2	NOTES	D
03/05/15	2	NOTES	E
03/05/15	2	NOTES	A
03/05/15	2	NOTES	A-100.00







chez moi

137

Original Presentation

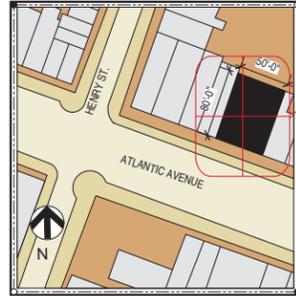
Submitted

March 3<sup>rd</sup> 2015

# 135 ATLANTIC AVENUE

## ZONING INFORMATION

LOT #: 17  
 BLOCK #: 275  
 MAP #: 16C  
 FLOOR/ SUITE#: CELLAR ENTRANCE ONLY  
 ZONING DISTRICT: R6  
 OVERLAY(S): C1-3  
 SPECIAL DISTRICT(S): LH-1  
 CONSTRUCTION CLASS: 3  
 OCCUPANCY CLASSIFICATION: COM  
 MULTI-DWELL CLASS: NA  
 USE GROUP: 6C  
 GROSS S.F.: NA  
 BLDG HEIGHT: 35  
 COMMUNITY BD.#: 302  
 PLATE HEIGHT: NA  
 EXISTING HABITABLE ROOMS: NA  
 PROPOSED HABITABLE ROOMS: NA  
 LANDMARKS: YES



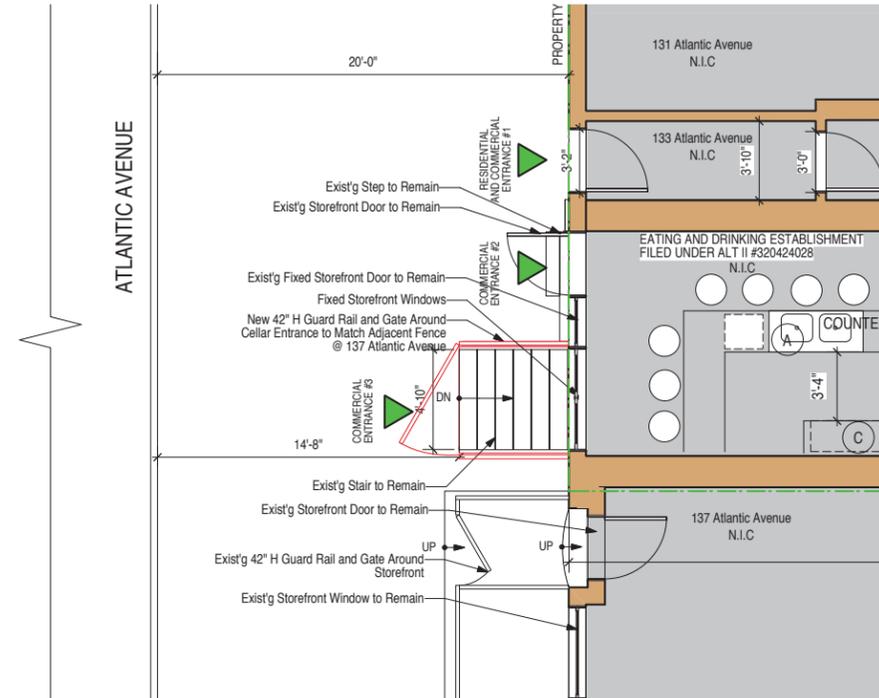
135 ATLANTIC AVENUE  
EAST STOREFRONT ONLY  
BROOKLYN, NY 11201



1 Exist'g 131-135 Atlantic Avenue Storefront Facade



2 Exist'g Storefront Facade with Scope of Work



3 Proposed 1st Floor Plan



4 North West Side of Exist'g Storefront Facade



5 North East Side of Exist'g Storefront Facade

## 135 ATLANTIC AVENUE

135 ATLANTIC AVENUE  
CELLAR ONLY  
BROOKLYN, NY 11201

KUSHNER studios

KUSHNER STUDIOS  
 390 BROADWAY  
 4TH FLOOR  
 NEW YORK CITY  
 10013

E: INFO@KUSHNERSTUDIOS.COM  
 W: WWW.KUSHNERSTUDIOS.COM  
 F: 212.965.0914  
 F: 212.965.0649

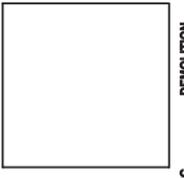
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**CHEZ MOI**  
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 Brooklyn, NY 11201

Expeditor:  
**KUSHNER studios**  
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JOB #: 101C13  
 SCALE: as noted  
 DATE: 03/03/15  
 # OF PAGES: 1 OF 7

## COVERSHEET

NOTES

ZONING

DEMOLITION

ARCHITECTURALS

ELECTRICAL

SCHEDULES

RISER

T-100.00



# 135 ATLANTIC AVENUE

135 ATLANTIC AVENUE  
CELLAR ONLY  
BROOKLYN, NY 11201

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NEW YORK CITY  
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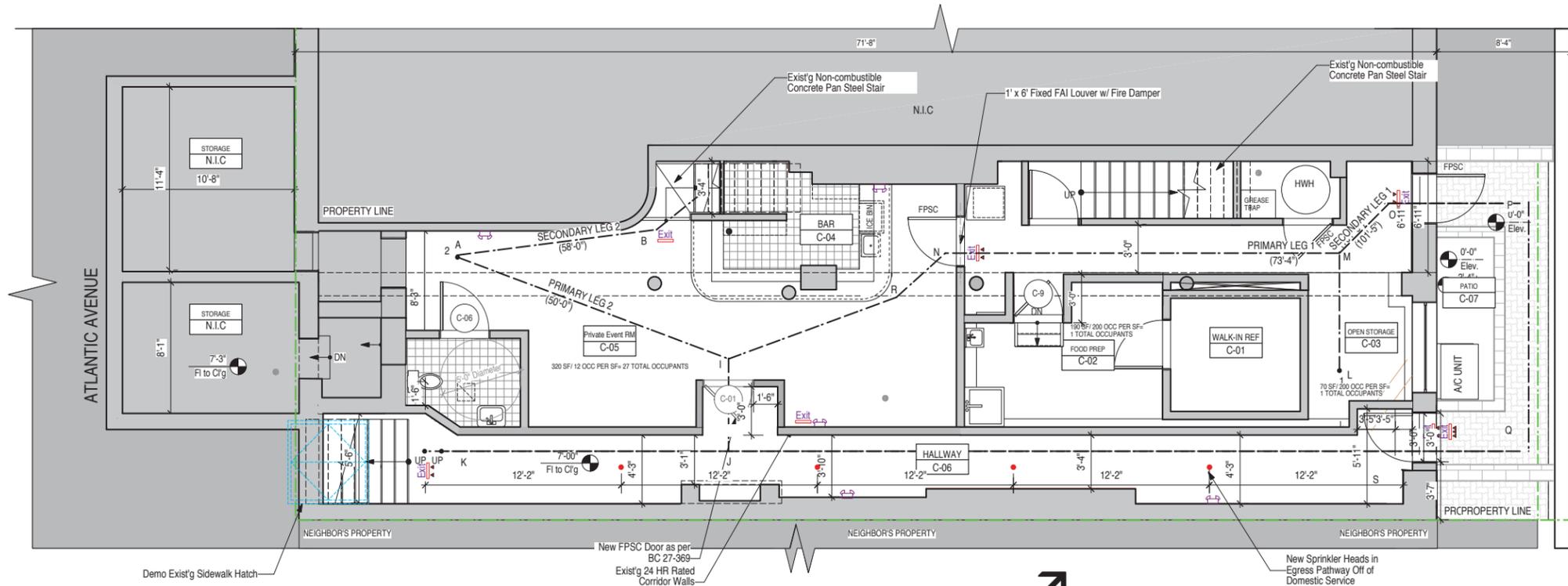
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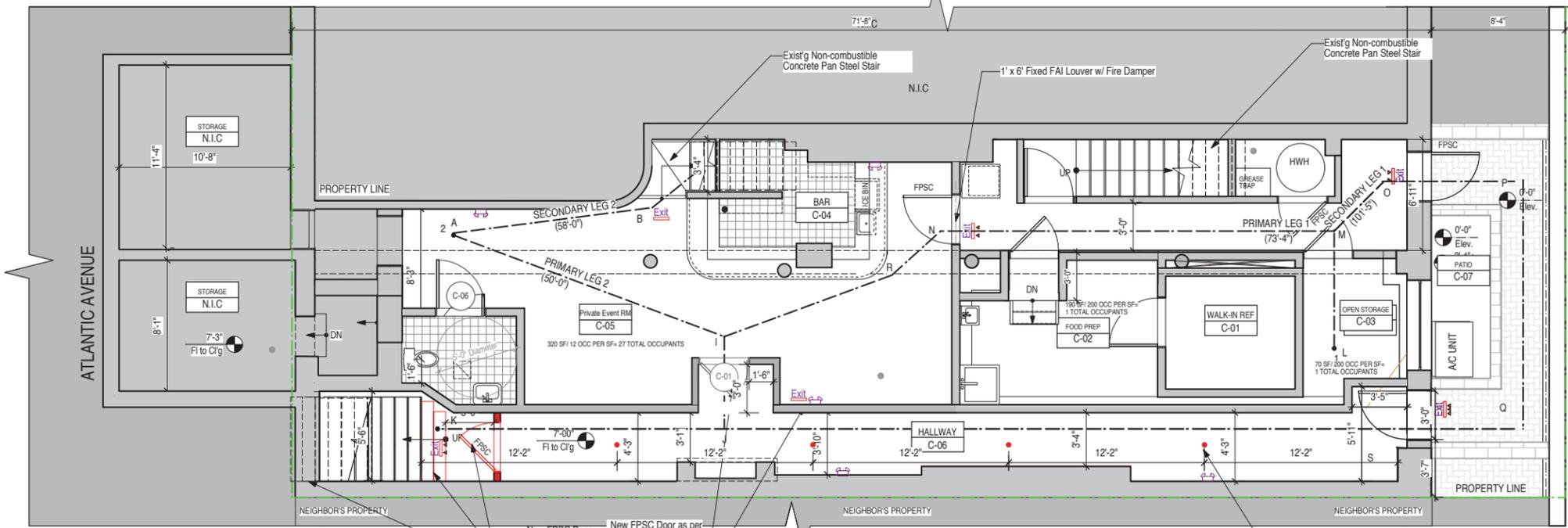
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**1 Existing Cellar Egress Plan**  
Scale: 1/4" = 1'-0"

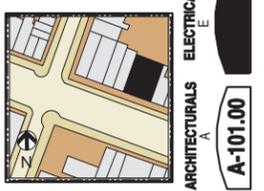
- GENERAL NOTES:**
- G.C. To Install All Hot & Cold Piping As Required.
  - G.C. To Ensure That All Electrical Outlets Within 5' Of A Water Source Shall Be Placed On A GFI Protected Circuit.
  - G.C. To Waterproof All Recessed Areas Including All Proposed Bathrooms With Latexfree 9025 Hydroban Waterproofing Membrane System Or App. Eq. Including 6" Upr Walls And Extending Under All Appliances. Waterproofing Should Extend The Full Area Of New Or Extended Bathrooms. - See Typical Details.
  - G.C. To Conduct Necessary Probes Into Walls Being Removed Prior To Demolition To Confirm That No Service Risers Pipes Or Conduits That Serve Other Apartments Are In The Wall.
  - Architect To Verify That Existing Smoke & Carbon Monoxide Detectors Are Installed As Per Local Law 7 Of 2004.
  - G.C. To Ensure That No Change Will Occur In The Operation Of The Building's Heating System Or Other Mechanical Or Electrical Systems To Accommodate Systems Installed.
  - All Branch Feed Lines In Bathrooms And Kitchens To Be Replaced Back To Riser And Near Emergency ShutOff / Check Valves To Be Installed As Required By G.C.
  - No New Work Will Compromise The Fire Rating Of Any & All Demising Walls, Ceiling Assemblies, Shaft Walls, Etc.
  - G.C. To Paint Entire Apartment With One Coat Of Primer & Two Coats Of Finish Paint. Final Paint Colors & Finishes To Be Determined By Owner And Architect.
  - Where The Demolition Of Existing Wall Is To Be Performed, The Selected G.C. Is To Ensure The Structural Integrity And Fire-rating Of The Building Must Not Be Compromised, And Extreme Care Must Be Taken When Working In These Areas and to Immediately Notify the Architect of any Structural Condition not Identified in the Approved Plans.
  - In No Case Is The Contractor To Perform Any Channeling Of The Structural Slabs Or Beams In This Apartment For This Alteration Without Prior Permission From A Licensed Structural Engineer.
  - All Of Proposed Plumbing Fixtures Are To Comply With The Low Flow Plumbing Fixture Law.
  - The Selected Contractor Is To Distribute To All Affected Persons The Necessary Warning Bullets In Accordance With Epa Rule 40 Ch Part 745, Rule Tscs 406b. A Copy Of This Notice, And A Description Of The Number Of Advisories Distributed, Must Be Transmitted To The Managing Agent After Issuance Of A Permit.



**2 Proposed Cellar Egress Plan**  
Scale: 1/4" = 1'-0"

- GENERAL NOTES:**
- G.C. To Install All Hot & Cold Piping As Required.
  - G.C. To Ensure That All Electrical Outlets Within 5' Of A Water Source Shall Be Placed On A GFI Protected Circuit.
  - G.C. To Waterproof All Recessed Areas Including All Proposed Bathrooms With Latexfree 9025 Hydroban Waterproofing Membrane System Or App. Eq. Including 6" Upr Walls And Extending Under All Appliances. Waterproofing Should Extend The Full Area Of New Or Extended Bathrooms. - See Typical Details.
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  - G.C. To Paint Entire Apartment With One Coat Of Primer & Two Coats Of Finish Paint. Final Paint Colors & Finishes To Be Determined By Owner And Architect.
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DATE:	REV #:	ISSUE
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**AS BUILT DEMO PLAN**

RISER P  
 SCHEDULES X  
 ELECTRICAL E  
 ARCHITECTURALS A  
 DEMOLITION D  
 ZONING Z  
 NOTES N









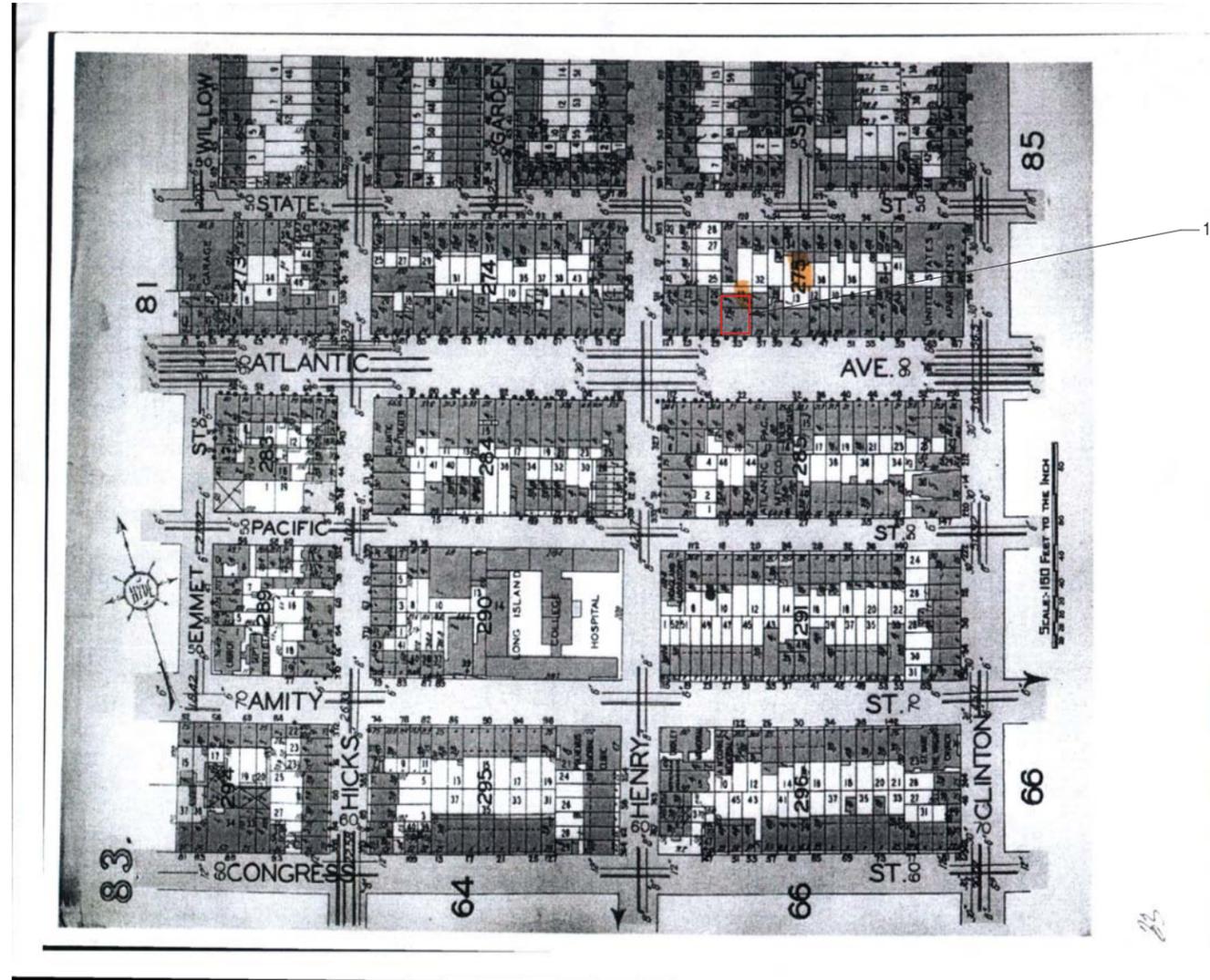
135 Atlantic Avenue

2  
T-104.00  
1940 Tax Photo



135 Atlantic Avenue

3  
T-104.00  
1980 Tax Photo



131-135 Atlantic Avenue

1  
T-104.00  
Sanborn Map

# 135 ATLANTIC AVENUE

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REV. #:	1			ELECTRICAL	E				
				SCHEDULES	X				
				RISE	P				

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