



4 EXISTING BUILDING : BUILT 1945-47
SCALE: NOT TO SCALE



3 EXISTING CONDITION OF NON-HISTORIC PIERS
SCALE: NOT TO SCALE

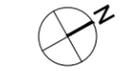
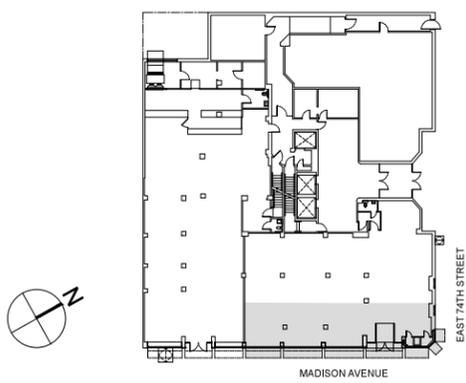


2 EXISTING CONDITION OF NON-HISTORIC PIERS
SCALE: NOT TO SCALE



1 EXISTING CONDITION OF NON-HISTORIC PIERS
SCALE: NOT TO SCALE

KEYPLAN



11.24.15 ISSUED : NYC LANDMARKS PRESERVATION COMMISSION
PUBLIC HEARING

ARCHITECT: **HS2ARCHITECTURE**
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NEW YORK, NY 10013
TEL. 212.219.1567
WWW.HS2ARCHITECTURE.COM

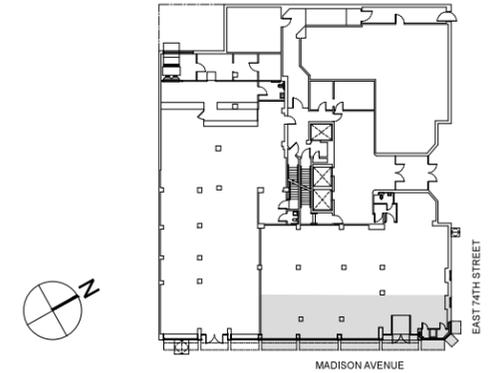
DRAWING: **EXISTING BUILDING PHOTOGRAPHS**

DATE: 11.24.15
PROJECT NO: 1506
DRAWN BY:
SCALE: NOT TO SCALE
DWG NO:

THOMAS W. HUT ARCHITECT PLLC **L-001.00**

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KEYPLAN



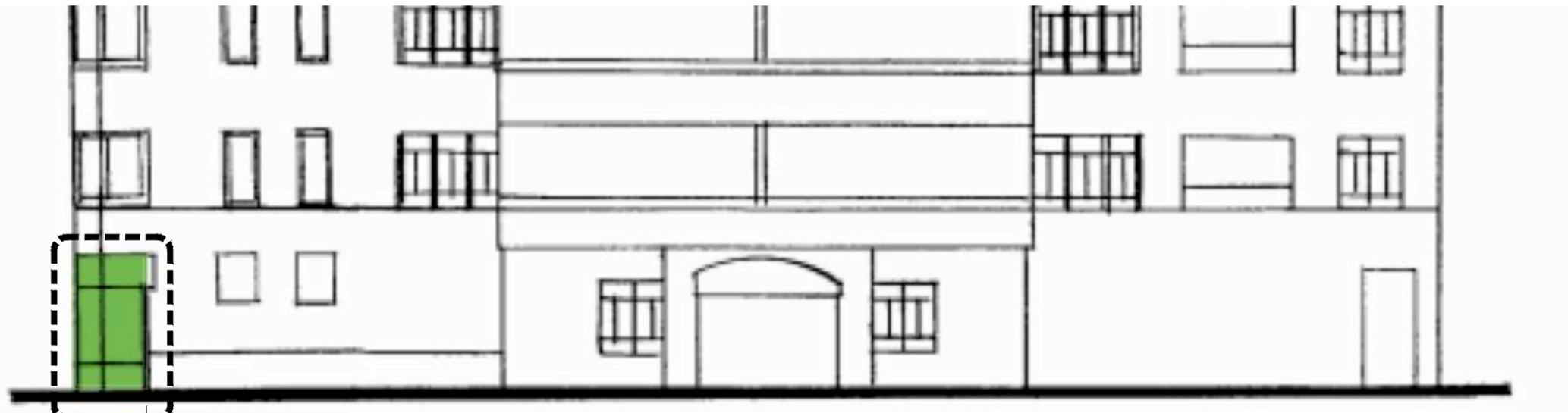
DESIGN CRITERIA
MADISON AVENUE STOREFRONTS:

CATEGORY GREEN:
STOREFRONTS IN BUILDINGS DEFINED AS "NO-STYLE IN THE DESIGNATION REPORT FOR THE UPPER EAST SIDE HISTORIC DISTRICT; STOREFRONTS WITH NO REMAINING ORIGINAL OR HISTORIC ARCHITECTURAL COMPONENTS IN COMMERCIAL EXTENSIONS IN CONVERTED ROWHOUSES; AND STOREFRONTS IN BUILDINGS PLANNED WITH COMMERCIAL STOREFRONTS ON THE LOWER FLOORS, WITH NO ORIGINAL OR HISTORIC ARCHITECTURAL COMPONENTS REMAINING AND WHICH ARE NOT UNIFORM IN APPEARANCE.

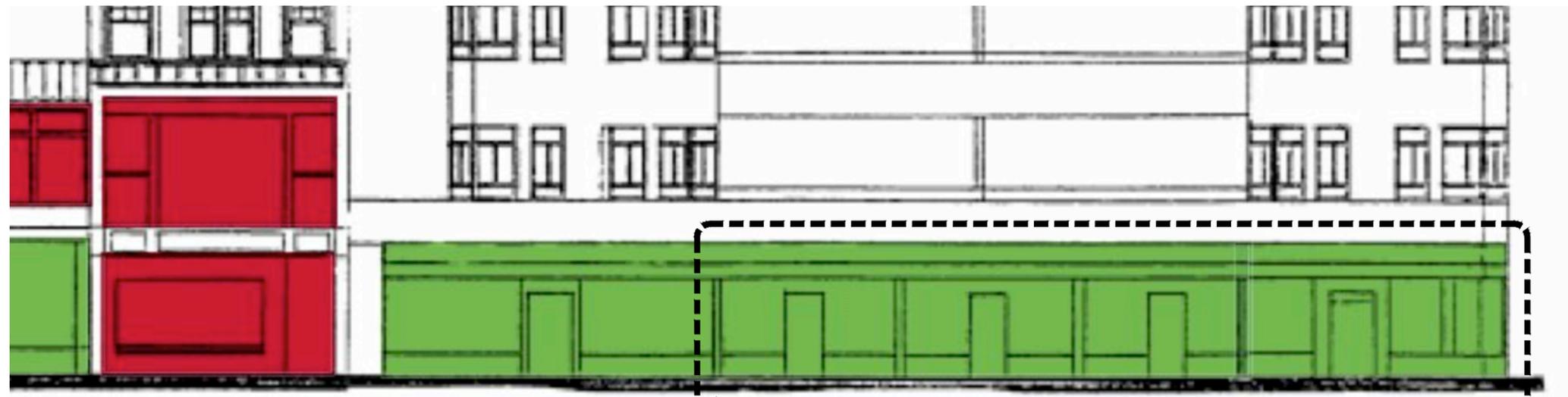
STOREFRONT CLADDING MATERIALS:
UNLESS OTHERWISE RESTRICTED BY PROVISIONS OF THIS MASTER PLAN, GREEN-CODED STOREFRONT COMPONENTS MAY BE RECLAD OR REPLACED WITH NEW MODERN MATERIALS ON THE ASSUMPTION THAT NO ORIGINAL OR HISTORIC FABRIC REMAINS UNDERNEATH THE GREEN-CODED MATERIAL. IF ORIGINAL OR HISTORIC MATERIAL IS DISCOVERED WHEN THE EXISTING GREEN-CODED CLADDING IS REMOVED, WORK SHALL STOP AND THE LPC STAFF MUST BE NOTIFIED IMMEDIATELY.
IF SIGNIFICANT AND MATERIAL AMOUNTS OF HISTORIC OR ORIGINAL MATERIAL REMAIN, IT SHALL BE RESTORED AND THE STOREFRONT CODING MAY BE CHANGED TO REFLECT THIS NEW CONDITION.

STOREFRONT LOCATION:
THE PROPOSED ALTERATIONS MUST BE WITHIN THE BOUNDARIES OF THE AREA CODED GREEN AS INDICATED BY THE ATTACHED ELEVATION DRAWINGS. ALTERATIONS TO THOSE AREAS OF A STOREFRONT NOT CODED GREEN ARE NOT COVERED UNDER THIS SUBSECTION.

PLEASE NOTE:
IT IS UNDERSTOOD THAT IF THE ALTERATIONS OCCUR OUTSIDE THE GREEN-CODED AREA THE PROPOSED STOREFRONT WILL REQUIRE A LANDMARKS PRESERVATION COMMISSION PUBLIC HEARING.



2 EAST 74TH STREET ELEVATION
SCALE: NOT TO SCALE



924 926 928 930 932 934

Madison Avenue NO WORK (CLYDE CHEMISTS) AREA OF NEW WORK (ACNE STUDIOS)

1 MADISON AVENUE ELEVATION
SCALE: NOT TO SCALE

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DRAWING: **DISTRICT MASTER PLAN FOR
STOREFRONTS ON MADISON AVENUE IN
THE UPPER EAST SIDE HISTORIC DISTRICT**

DATE: 11.24.15
PROJECT NO: 1506
DRAWN BY:
SCALE: NOT TO SCALE
DWG NO:

THOMAS W. HUT ARCHITECT PLLC **L-002.00**



4 EXISTING BUILDING : 1998-99
SCALE: NOT TO SCALE



3 EXISTING BUILDING : 1998-99
SCALE: NOT TO SCALE

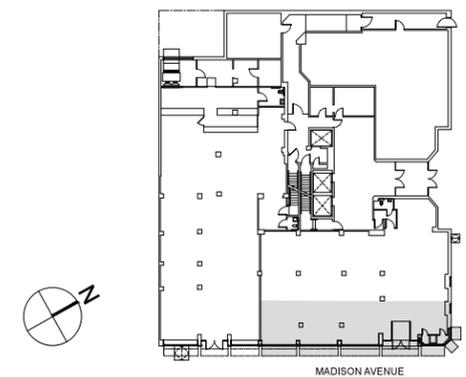


2 EXISTING BUILDING : 1998-99
SCALE: NOT TO SCALE



1 EXISTING BUILDING : 1998-99
SCALE: NOT TO SCALE

KEYPLAN



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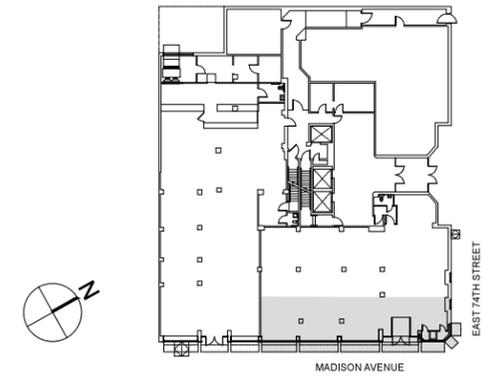
DRAWING: **EXISTING BUILDING
PHOTOGRAPHS c.1998-99**

DATE: 11.24.15
PROJECT NO: 1506
DRAWN BY:
SCALE: NOT TO SCALE
DWG NO:

THOMAS W. HUT ARCHITECT PLLC **L-003.00**

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KEYPLAN



SHEET NOTES

*** THE NOTES BELOW PERTAIN TO THE FOLLOWING SHEETS:
L-004.00

- ① HORIZONTAL BAND OF LIMESTONE
- ② HORIZONTAL BLACK BAND, MATERIAL UNKNOWN
- ②a BLACK METAL BAND SIMILAR TO DESIGNATION PHOTO (c.1980)
- ③ EXSTG STOREFRONT (c.1980) W/NO VISIBLE PIERS



2 LANDMARKS DESIGNATION PHOTO: c.1980
SCALE: NOT TO SCALE



1 MADISON AVENUE: PROPOSED STOREFRONT RENDERING
SCALE: NOT TO SCALE

11.24.15 ISSUED : NYC LANDMARKS PRESERVATION COMMISSION
PUBLIC HEARING

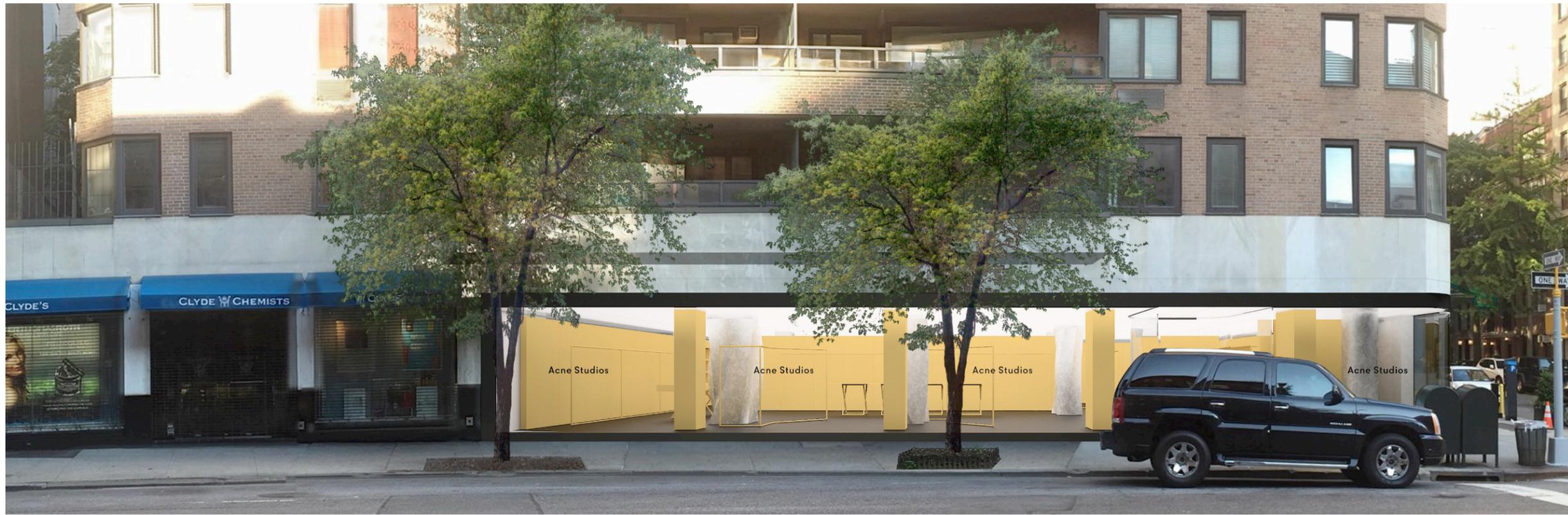
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DRAWING: **MADISON AVENUE
LANDMARKS DESIGNATION PHOTO c.1980
PROPOSED STOREFRONT RENDERING**

DATE: 11.24.15
PROJECT NO: 1506
DRAWN BY:
SCALE: NOT TO SCALE
DWG NO:

THOMAS W. HUT ARCHITECT PLLC **L-004.00**

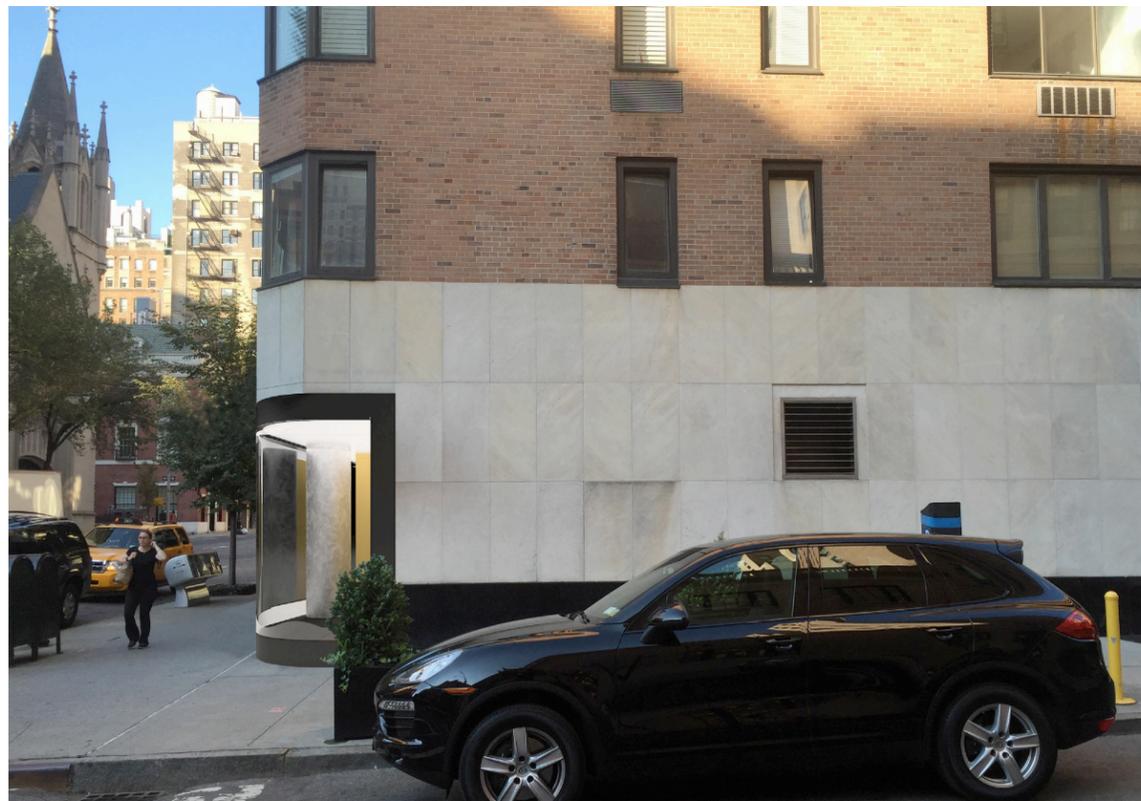
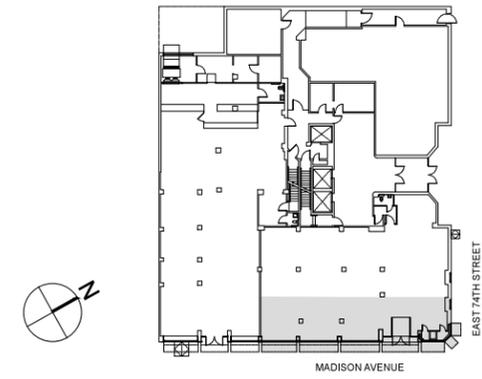
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2 MADISON AVENUE RENDERING
SCALE: NOT TO SCALE

ACNE STUDIOS
926 MADISON AVENUE
NEW YORK, NY 10014

KEYPLAN



1 EAST 74TH STREET RENDERING
SCALE: NOT TO SCALE

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DRAWING: **PROPOSED
STOREFRONT RENDERINGS**

DATE: 11.24.15
PROJECT NO: 1506
DRAWN BY:
SCALE: 1/4" = 1'-0"
DWG NO:

THOMAS W. HUT ARCHITECT PLLC **L-005.00**

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3 EXISTING CONDITION : EAST 77TH AND MADISON AVENUE
SCALE: NOT TO SCALE

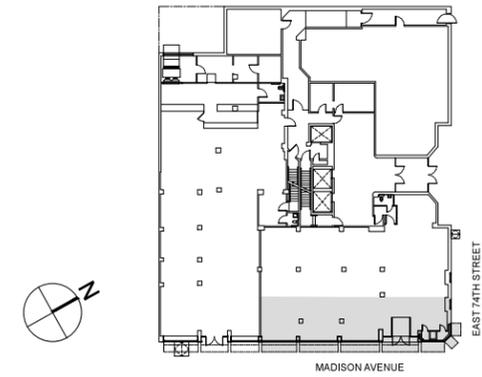


2 EXISTING CONDITION : EAST 77TH AND MADISON AVENUE
SCALE: NOT TO SCALE



1 EXISTING CONDITION : EAST 77TH AND MADISON AVENUE
SCALE: NOT TO SCALE

KEYPLAN



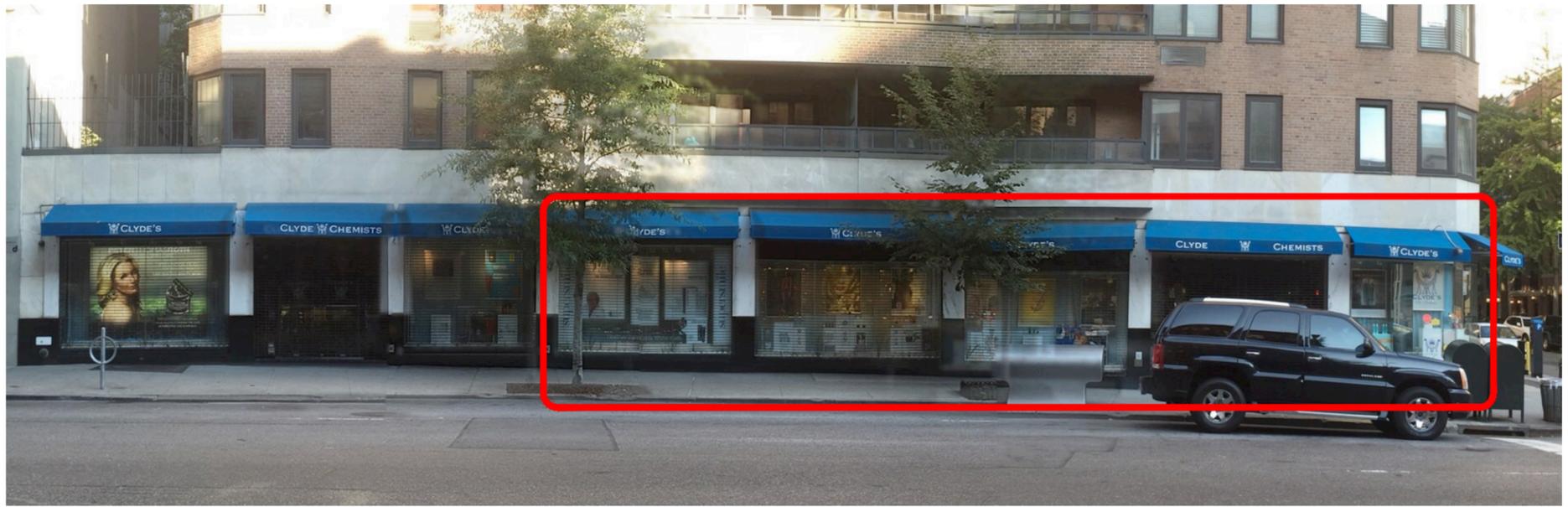
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DRAWING: **NEIGHBORHOOD REFERENCE**
EAST 77TH AND MADISON AVENUE

DATE: 11.24.15
PROJECT NO: 1506
DRAWN BY:
SCALE: NOT TO SCALE
DWG NO:

THOMAS W. HUT ARCHITECT PLLC **L-006.00**

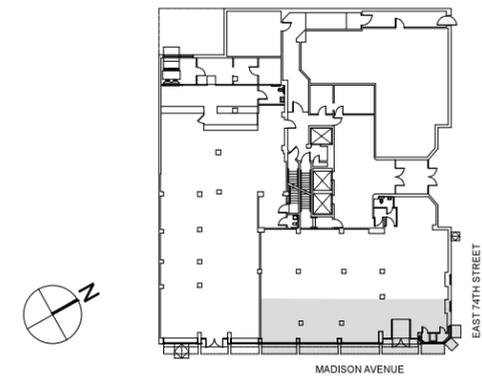


5 MADISON AVENUE ELEVATION : EXSTG PHOTOGRAPH
SCALE: NOT TO SCALE



4 EAST 74TH STREET ELEVATION : EXSTG PHOTOGRAPH
SCALE: NOT TO SCALE

KEYPLAN



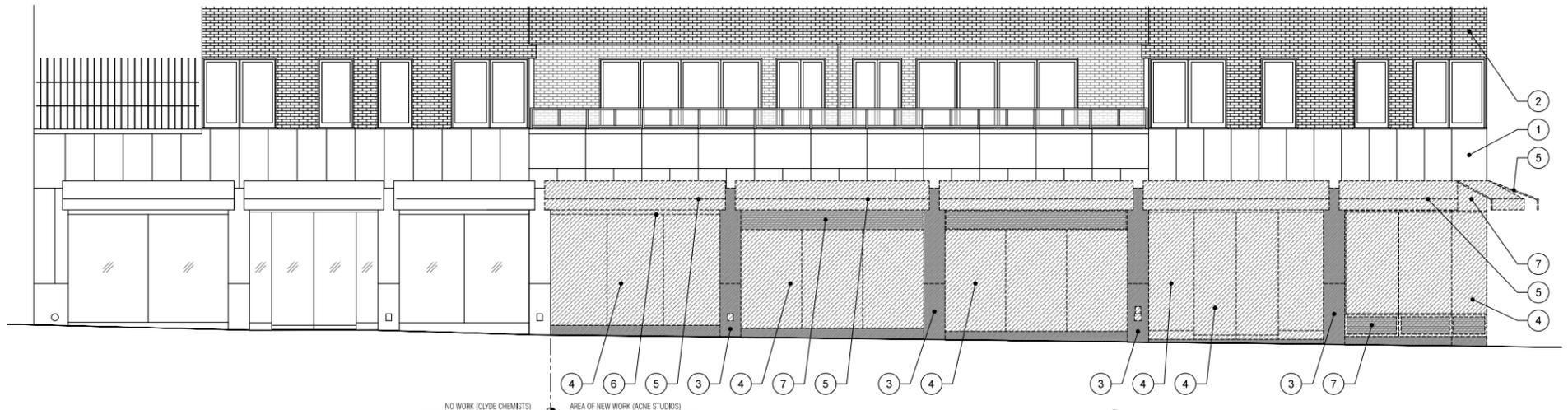
DEMOLITION NOTES

*** THE NOTES BELOW PERTAIN TO THE FOLLOWING SHEETS:
L-007.00

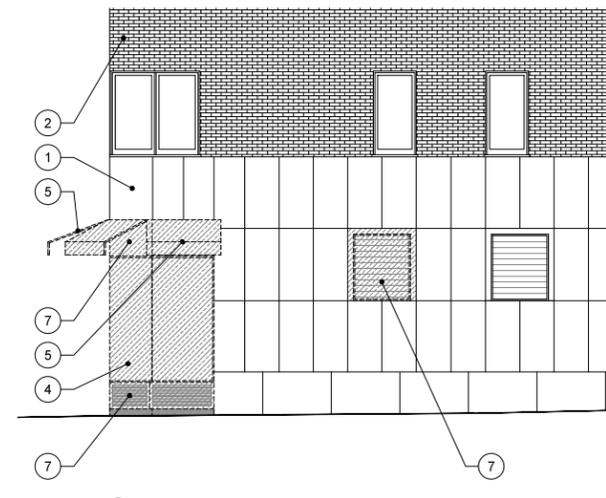
DEMOLITION LEGEND:

	ITEM TO REMAIN
	ITEM TO BE REMOVED
	NON-STRUCTURAL PARTITION WALL TO BE REMOVED
	MILLWORK OR FINISH ITEM TO BE REMOVED

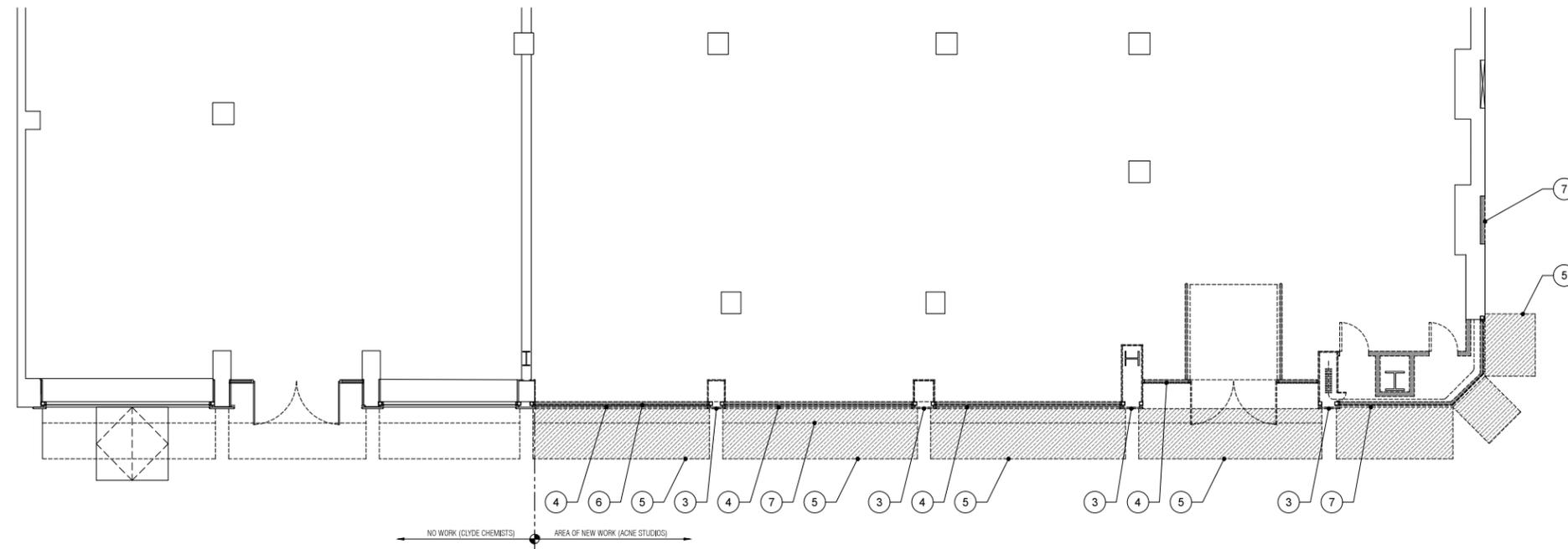
- 1 EXSTG BUILDING LIMESTONE FACADE
- 1a NOT USED
- 2 EXSTG BUILDING BRICK FACADE
- 3 MARBLE CLAD COLUMN COVERS AND COLUMNS TO BE REMOVED, TYP.
- 4 STOREFRONT AND GLAZING TO BE REMOVED IN ITS ENTIRETY
- 5 AWNINGS TO BE REMOVED, TYP.
- 6 ROLL DOWN SECURITY GATES TO BE REMOVED, TYP.
- 7 EXSTG BUILDING VENT TO BE REMOVED AND REPLACED W/NEW LIMESTONE TO MATCH EXSTG



3 MADISON AVENUE ELEVATION : PROPOSED DEMOLITION
SCALE: 3/16" = 1'-0"



2 EAST 74TH STREET ELEVATION : PROPOSED DEMOLITION
SCALE: 3/16" = 1'-0"



1 STOREFRONT PLAN : PROPOSED DEMOLITION
SCALE: 3/16" = 1'-0"

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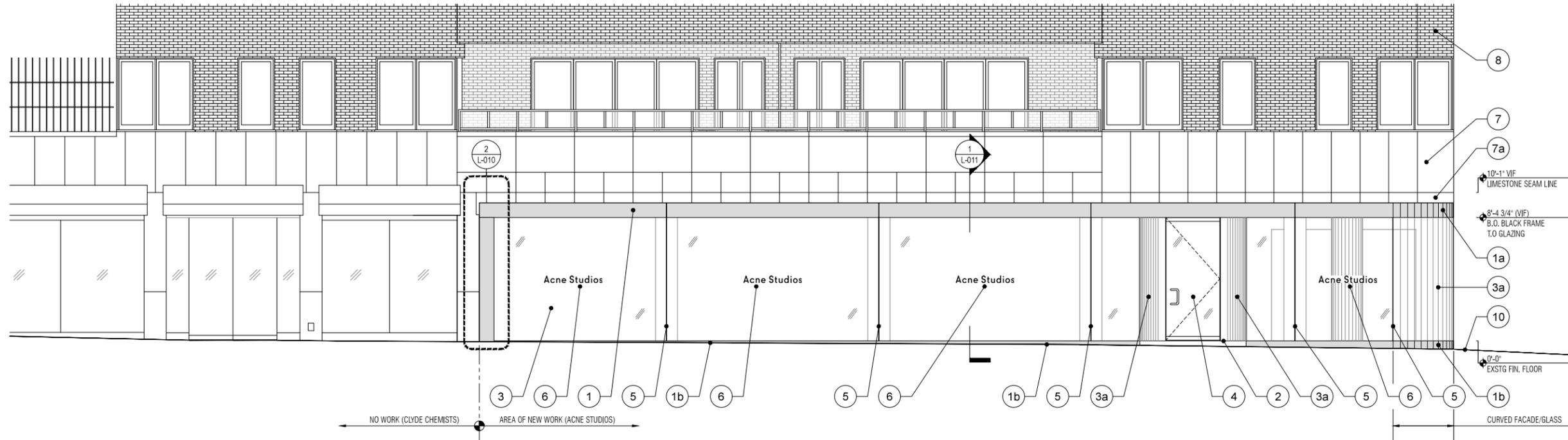
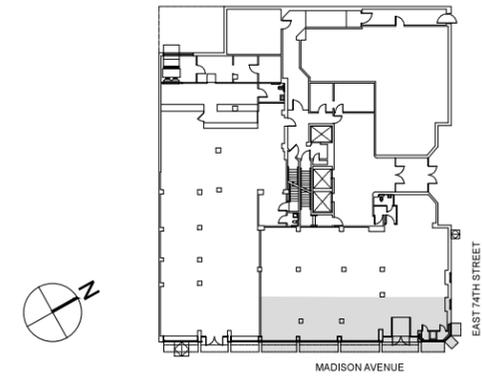
DRAWING: **EXISTING CONDITION/
PROPOSED DEMOLITION**

DATE: 11.24.15
PROJECT NO: 1506
DRAWN BY:
SCALE: 3/16" = 1'-0"
DWG NO:

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KEYPLAN

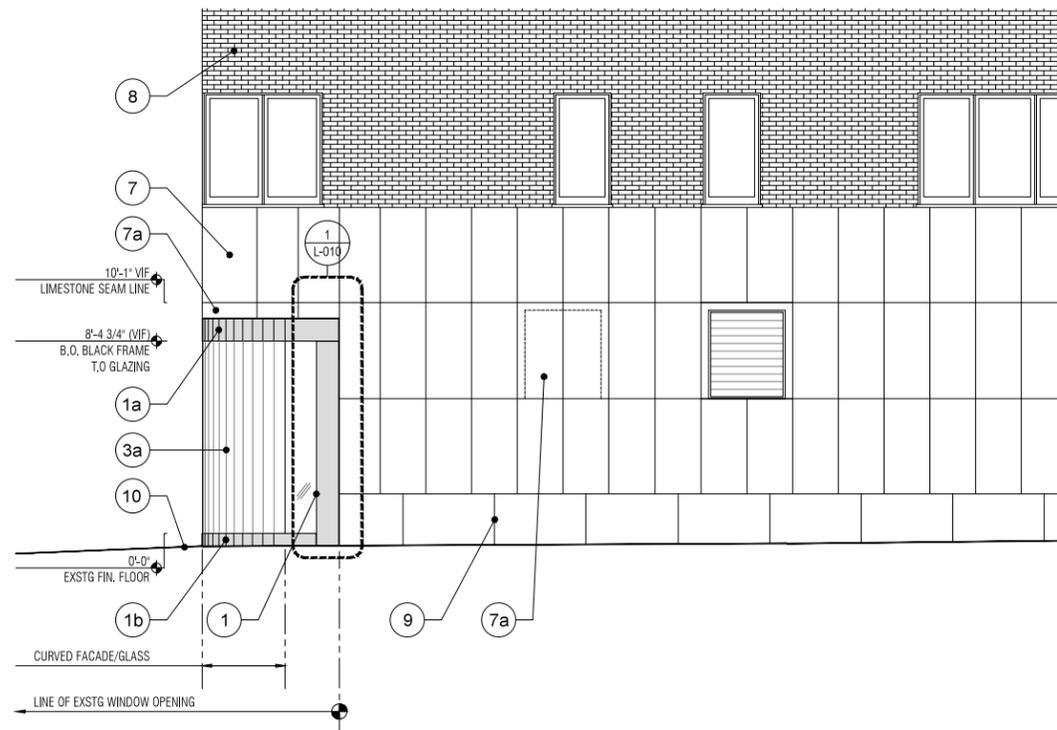


2 MADISON AVENUE ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

*** THE NOTES BELOW PERTAIN TO THE FOLLOWING SHEETS:
L-008.00

- 1 BLACK STEEL FRAME
- 1a CURVED BLACK STEEL FRAME
- 1b BLACK STEEL SKIRT
- 2 MAPEI RAMP, CUSTOM STONE MAKE-UP
- 3 NEW CLEAR LAMINATED GLASS STOREFRONT, BUTT JOINTED SEAMS
- 3a NEW CURVED CLEAR LAMINATED GLASS STOREFRONT SECTION
- 4 NEW CLEAR LAMINATED GLASS ENTRY DOOR W/BLACK STEEL FRAME
- 5 GLASS BUTT JOINT (SEAM) LOCATION
- 6 ACNE STUDIOS DECAL LOGO APPLIED TO GLASS
- 7 EXSTG BLDG LIMESTONE TO BE PATCHED, REPAIRED, AND CLEANED AS REQ.
- 7a NEW LIMESTONE TO MATCH EXSTG
- 8 EXSTG BLDG BRICK FACADE
- 9 EXSTG BLDG MARBLE
- 10 NEW SIDEWALK AND CURB



1 EAST 74TH STREET ELEVATION
SCALE: 1/4" = 1'-0"

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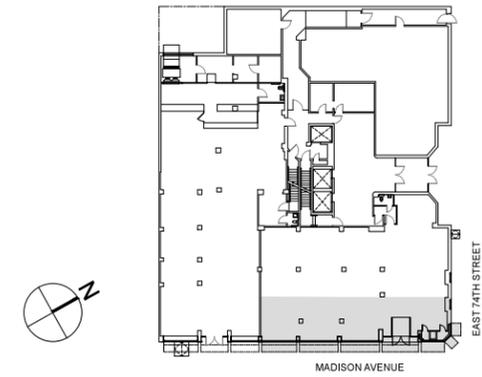
DRAWING: **PROPOSED
STOREFRONT ELEVATIONS**

DATE: 11.24.15
PROJECT NO: 1506
DRAWN BY:
SCALE: 1/4" = 1'-0"
DWG NO:

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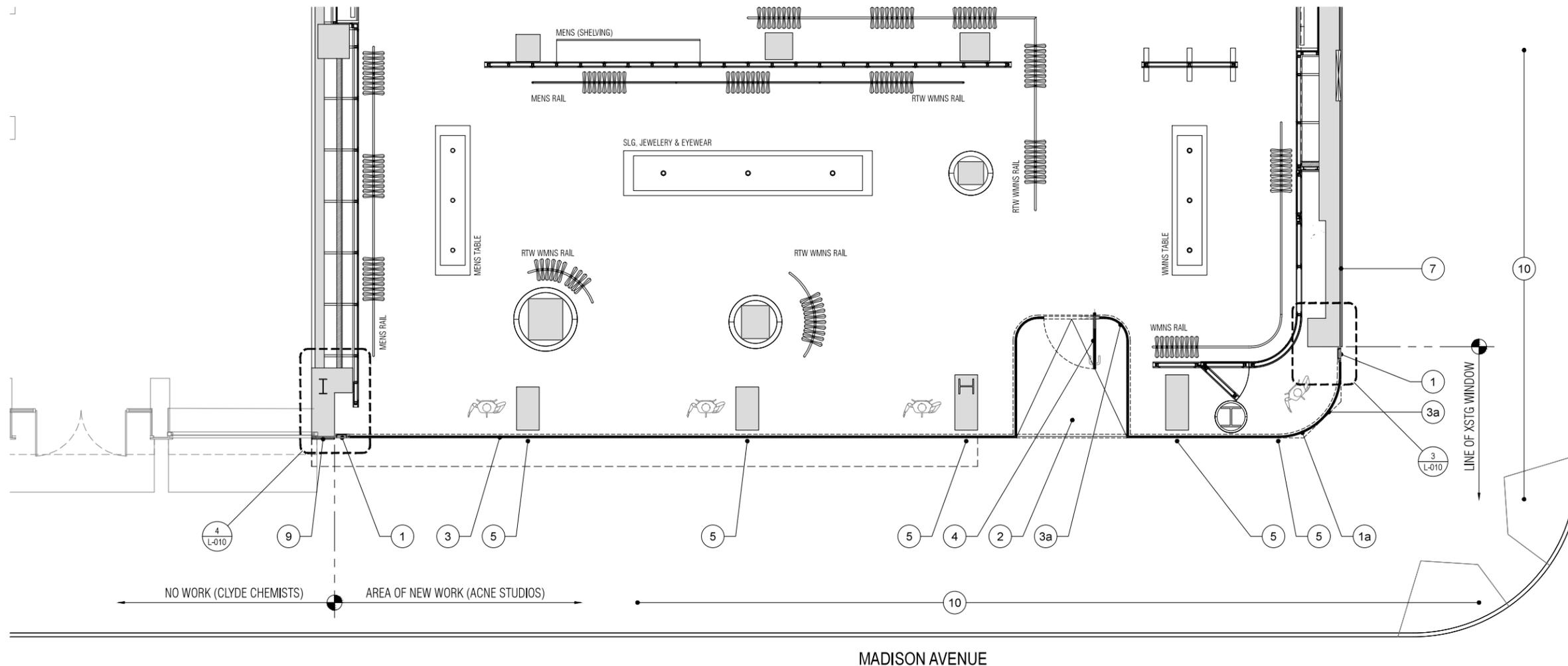
KEYPLAN



STOREFRONT PLAN NOTES

*** THE NOTES BELOW PERTAIN TO THE FOLLOWING SHEETS:
L-009.00

- 1 BLACK STEEL FRAME
- 1a CURVED BLACK STEEL FRAME
- 1b BLACK STEEL SKIRT
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- 8 EXSTG BLDG BRICK FACADE
- 9 EXSTG BLDG MARBLE
- 10 NEW SIDEWALK AND CURB



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DRAWING: **PROPOSED
STOREFRONT PLAN**

DATE: 11.24.15

PROJECT NO: 1506

DRAWN BY:

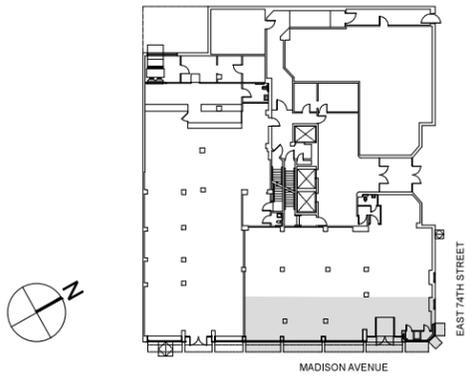
SCALE: 1/4" = 1'-0"

DWG NO:

L-009.00

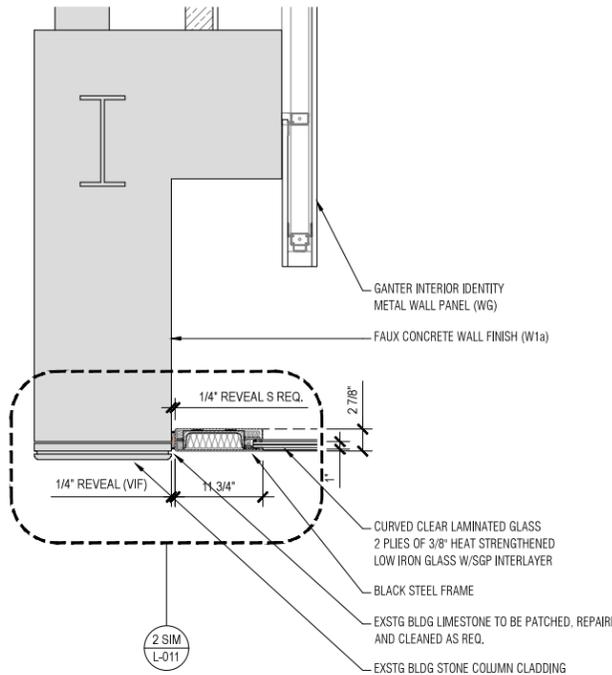
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KEYPLAN

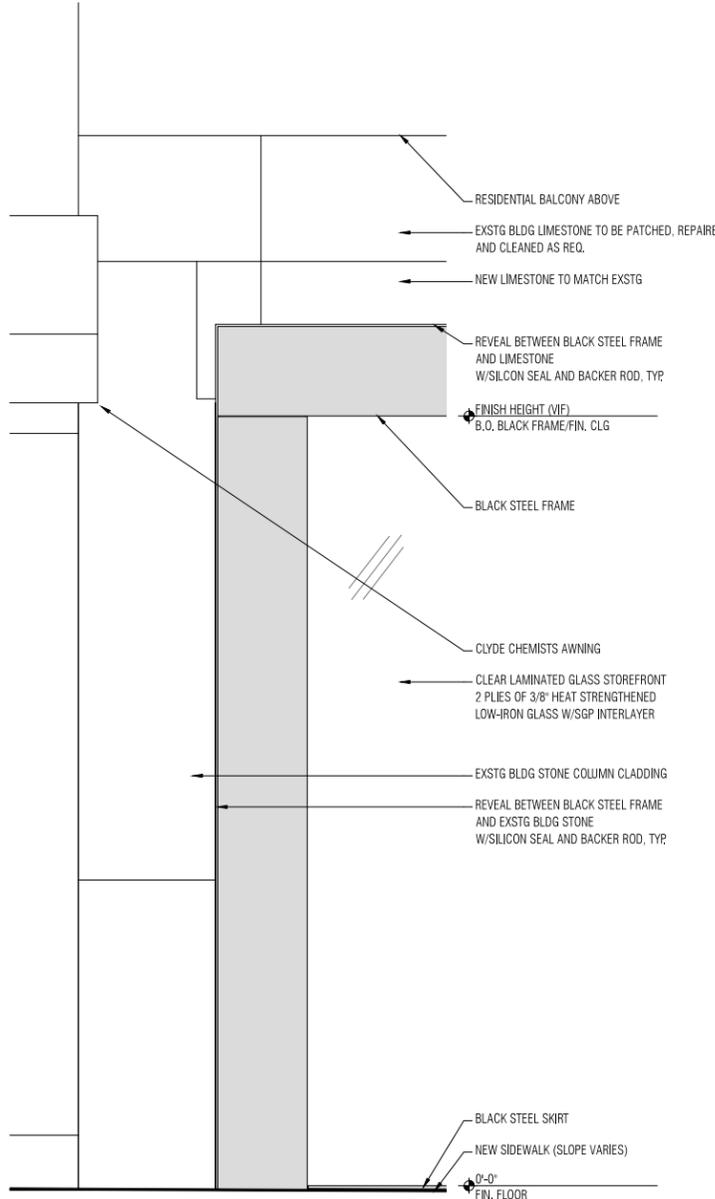


SHEET NOTES

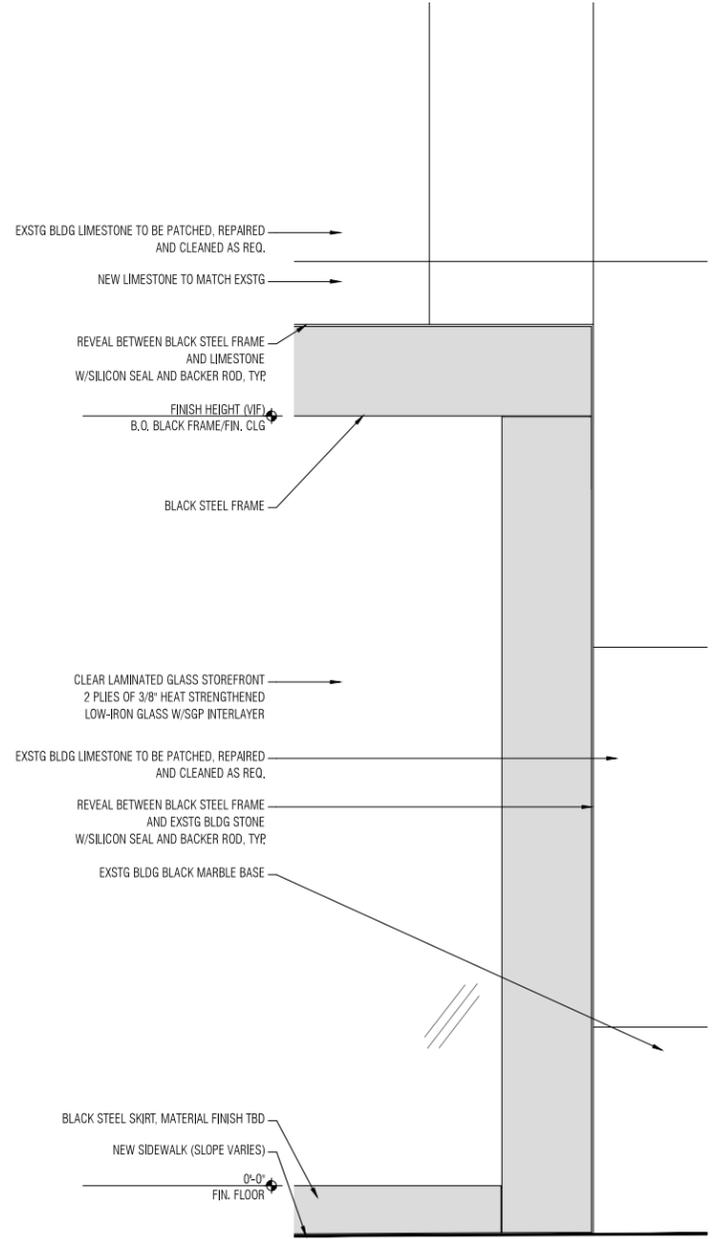
- *** THE NOTES BELOW PERTAIN TO THE FOLLOWING SHEETS:
L-010.00, L-011.00
1. ALL FACADE MATERIALS TO BE SUBMITTED TO THE CO-OP BOARD AND NYC LANDMARKS PRESERVATION COMMISSION FOR APPROVAL.
 2. ALL CAULKING TO BE MASTERSEAL NP100 COLOR TO BE SUBMITTED TO THE CO-OP BOARD AND NYC LANDMARKS PRESERVATION COMMISSION FOR APPROVAL.



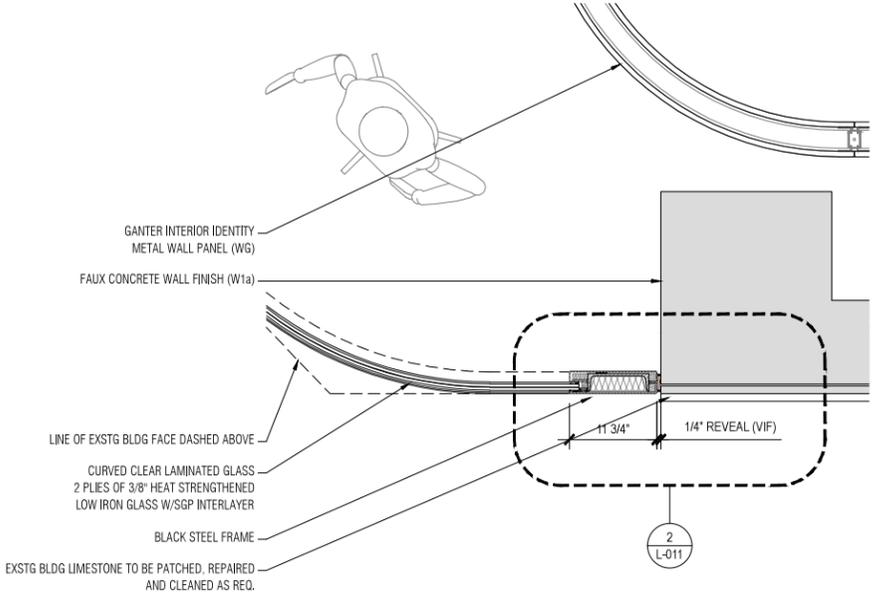
4 PLAN DETAIL : MADISON AVENUE
SCALE: 1"=1'-0"



2 ELEVATION : MADISON AVENUE
SCALE: 1"=1'-0"



1 ELEVATION : EAST 74TH STREET
SCALE: 1"=1'-0"



3 PLAN DETAIL : EAST 74TH STREET
SCALE: 1"=1'-0"

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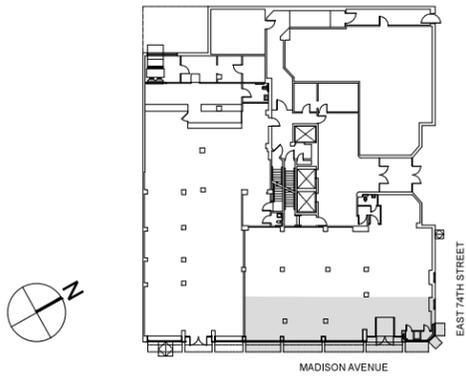
DRAWING: **STOREFRONT DETAILS**

DATE: 11.24.15
PROJECT NO: 1506
DRAWN BY:
SCALE: AS NOTED
DWG NO:

THOMAS W. HUT ARCHITECT PLLC **L-010.00**

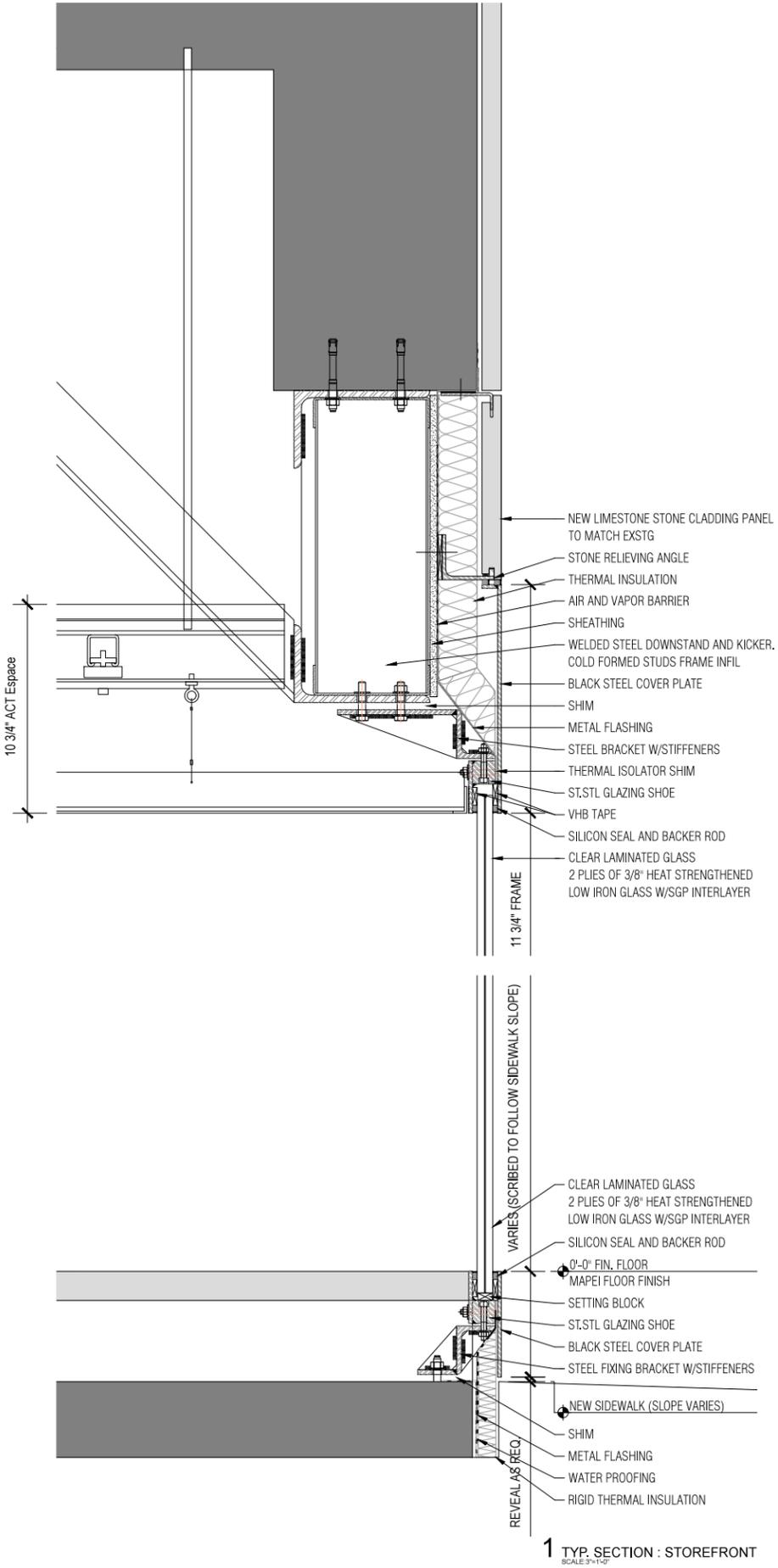
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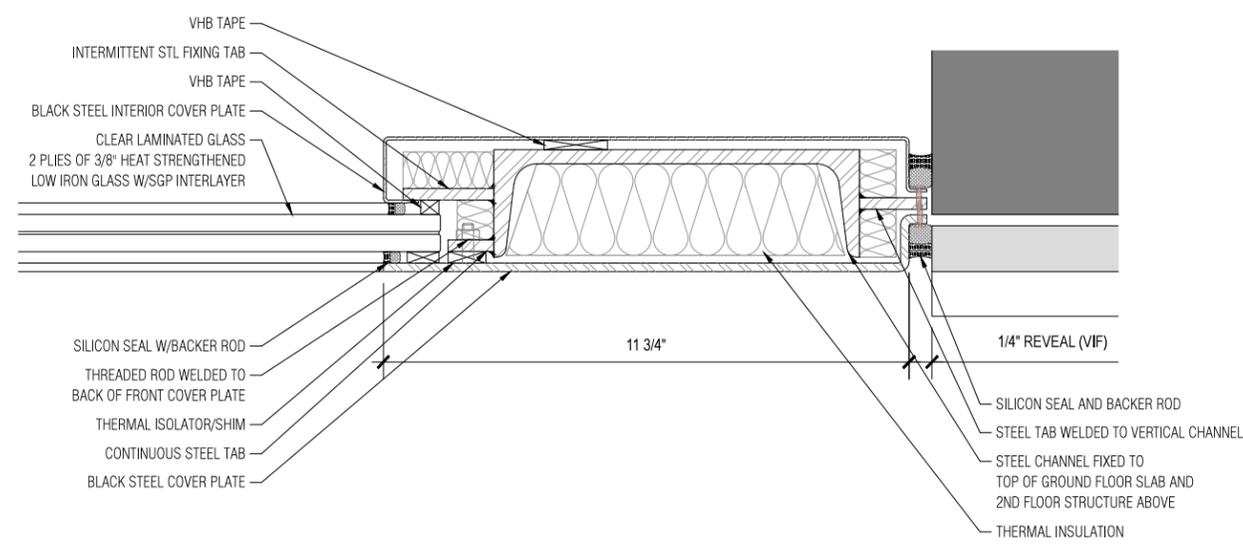


SHEET NOTES

- *** THE NOTES BELOW PERTAIN TO THE FOLLOWING SHEETS:
L-010.00, L-011.00
1. ALL FACADE MATERIALS TO BE SUBMITTED TO THE CO-OP BOARD AND NYC LANDMARKS PRESERVATION COMMISSION FOR APPROVAL.
 2. ALL CAULKING TO BE MASTERSEAL NP100 COLOR TO BE SUBMITTED TO THE CO-OP BOARD AND NYC LANDMARKS PRESERVATION COMMISSION FOR APPROVAL.



1 TYP. SECTION : STOREFRONT
SCALE: 3/4"=1'-0"



2 TYP. PLAN DETAIL : STOREFRONT
SCALE: 5/8"=1'-0"

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DRAWING: **STOREFRONT DETAILS**

DATE: 11.24.15
PROJECT NO: 1506
DRAWN BY:
SCALE: AS NOTED
DWG NO:

THOMAS W. HUT ARCHITECT PLLC **L-011.00**

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