

RESIDENCE

314 CUMBERLAND ST., BROOKLYN NY 11238

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LISA LUCIANO
CYPHER DESIGN
155 Marine Ave
Brooklyn NY 11209



02 PROPOSED REAR FACADE - CORNER



03 PROPOSED ROOF ADDITION

ISSUE DATES:

PROJECT:

RESIDENCE
314 CUMBERLAND ST., BROOKLYN NY 11238

DRAWING TITLE:

COVER

DATE:
12 NOVEMBER 2015
DRAWING NO:
LPC- 01.0
SHEET 1 OF 11

01 PROPOSED REAR FACADE

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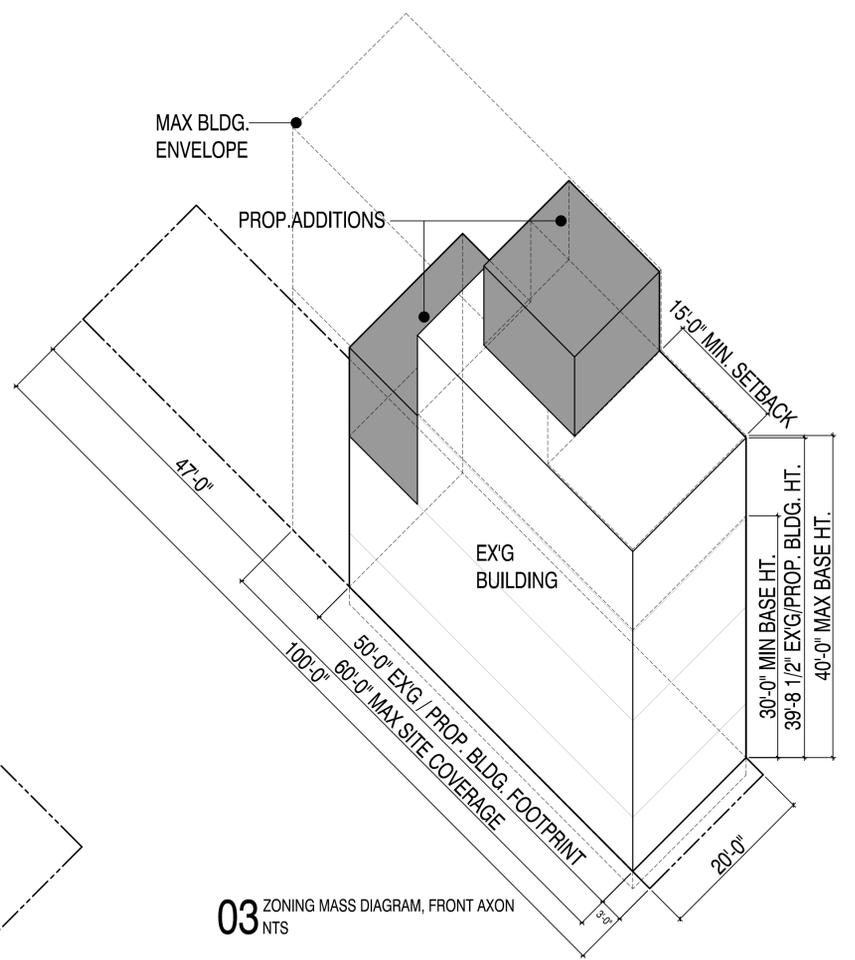
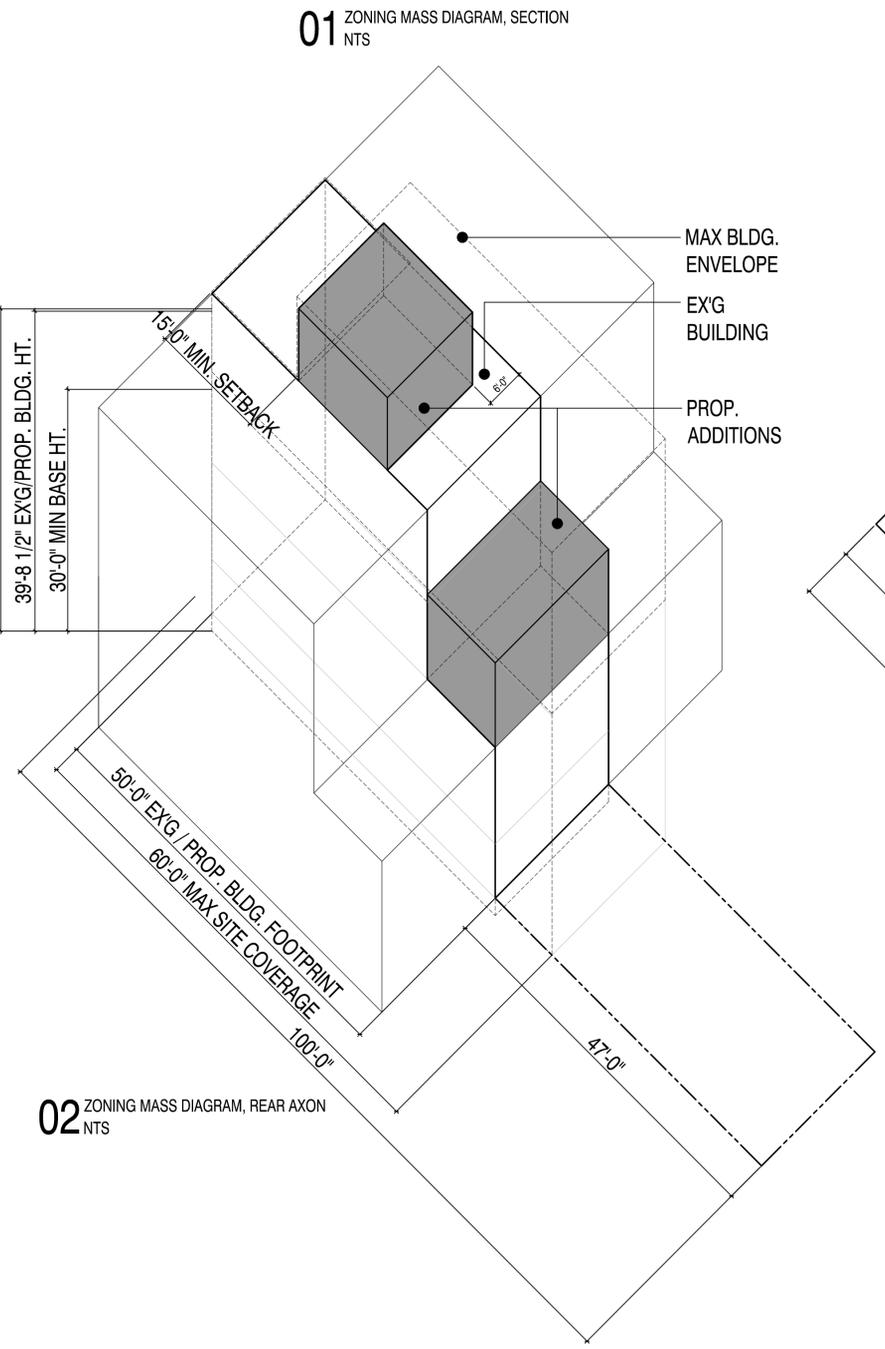
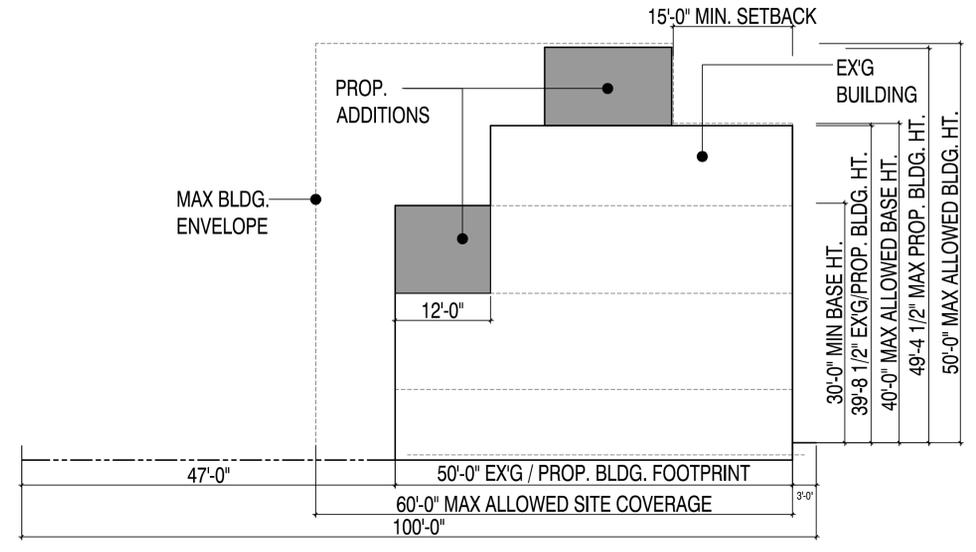
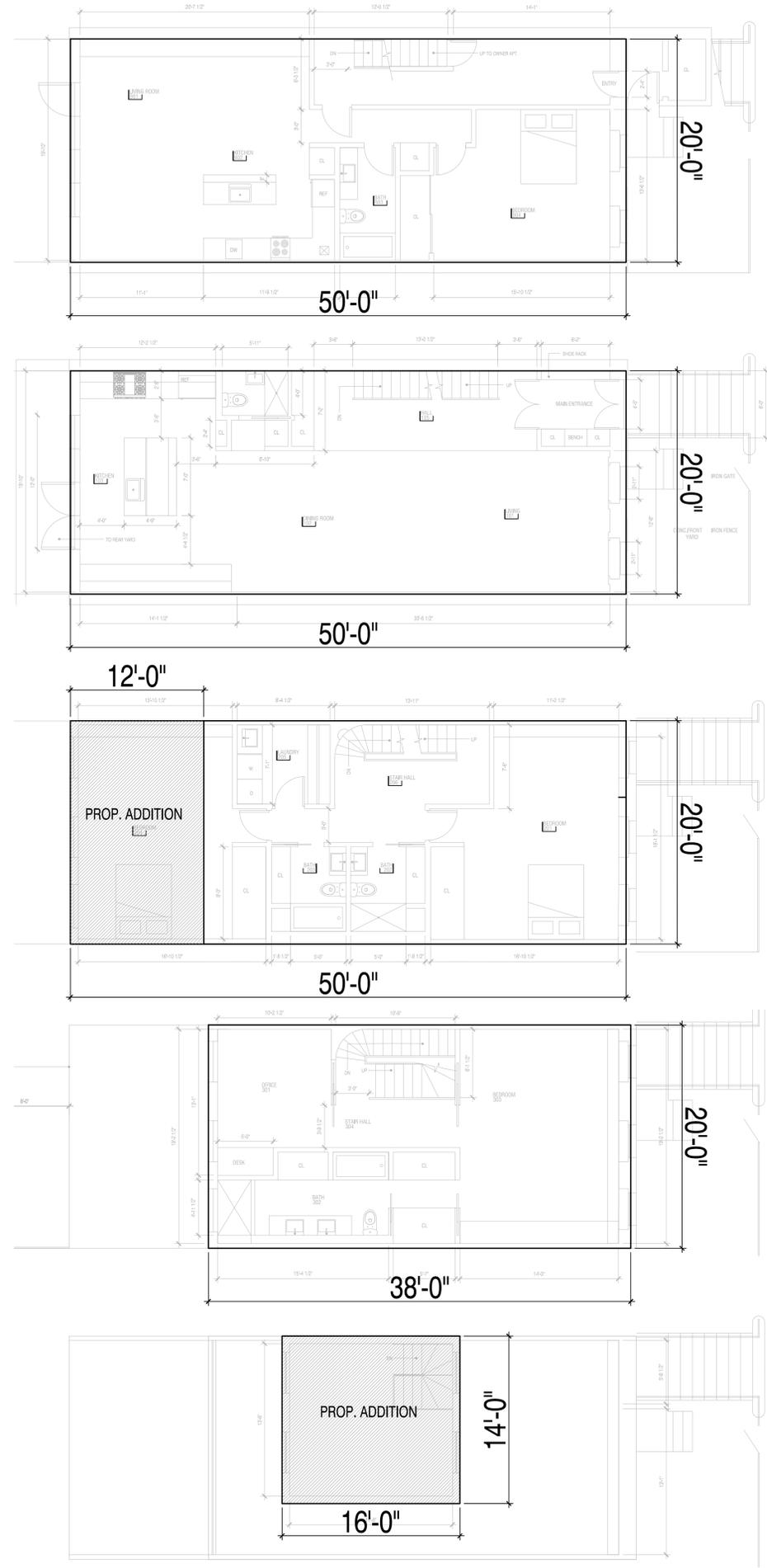
CODE CONSULTANT/FILING REPRESENTATIVE
 LISA LUCIANO
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 155 Marine Ave
 Brooklyn NY 11209

ISSUE DATES:

PROJECT:
 RESIDENCE
 314 CUMBERLAND ST., BROOKLYN NY 11238

DRAWING TITLE:
 ZONING DIAGRAMS

DATE:
 12 NOVEMBER 2015
 DRAWING NO:
LPC- 02.0
 SHEET 2 OF 11



01 FLOOR AREA DIAGRAMS NTS

02 ZONING MASS DIAGRAM, REAR AXON NTS

03 ZONING MASS DIAGRAM, FRONT AXON NTS

ISSUE DATES:

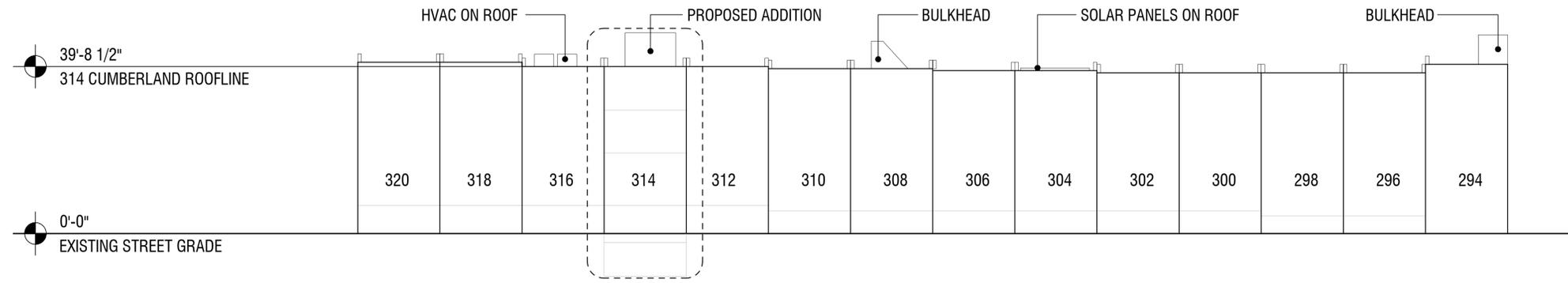
PROJECT:

RESIDENCE
 314 CUMBERLAND ST., BROOKLYN NY 11238

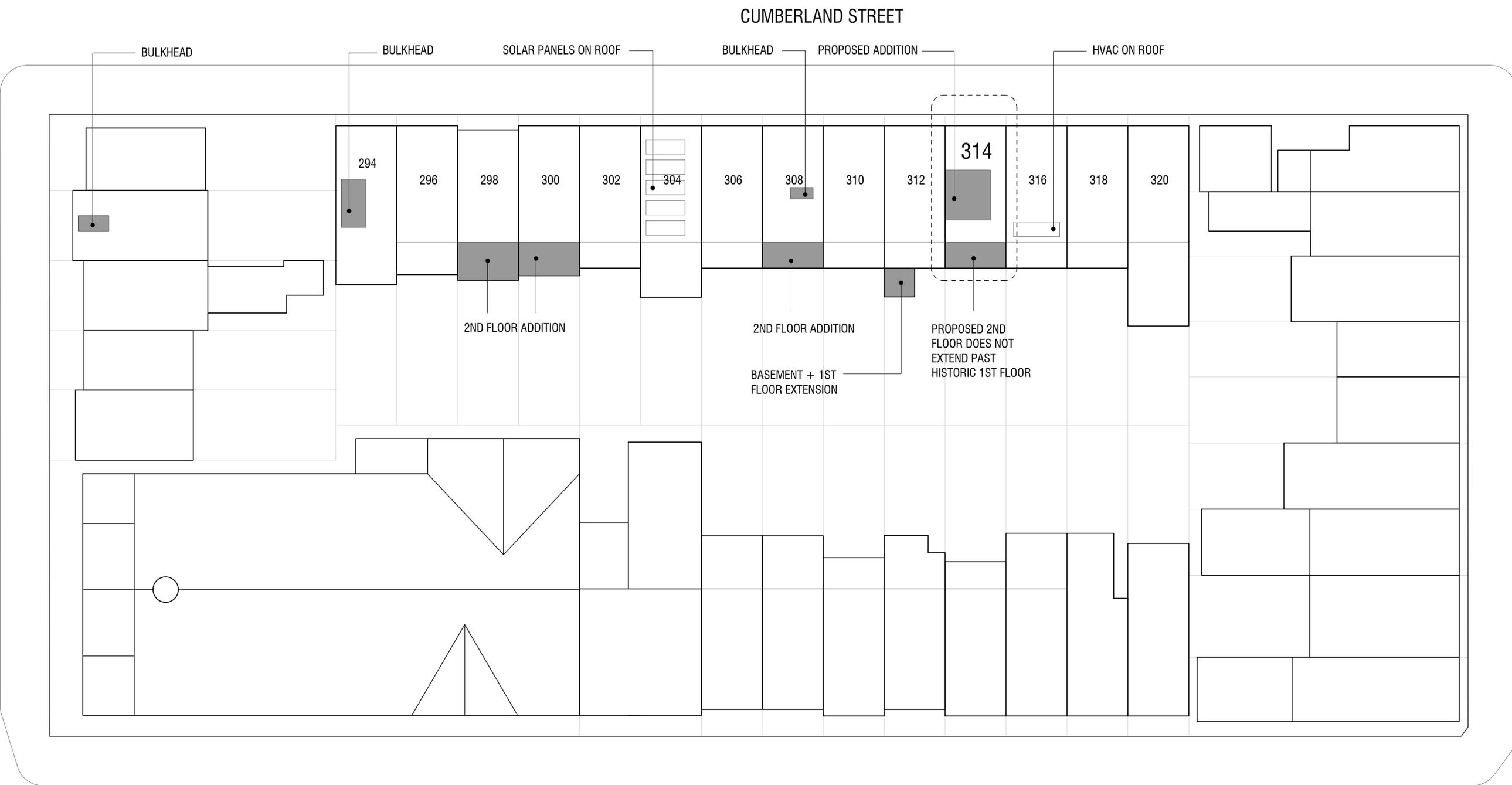
DRAWING TITLE:

STREET ELEVATION/ BLOCK
 PLAN DIAGRAM

DATE:
 12 NOVEMBER 2015
 DRAWING NO:
LPC- 03.0
 SHEET 3 OF 11



01 STREET ELEVATION DIAGRAM
 1/16" = 1'-0"



02 BLOCK / STREET PLAN DIAGRAM
 1/16" = 1'-0"

SOUTH OXFORD STREET

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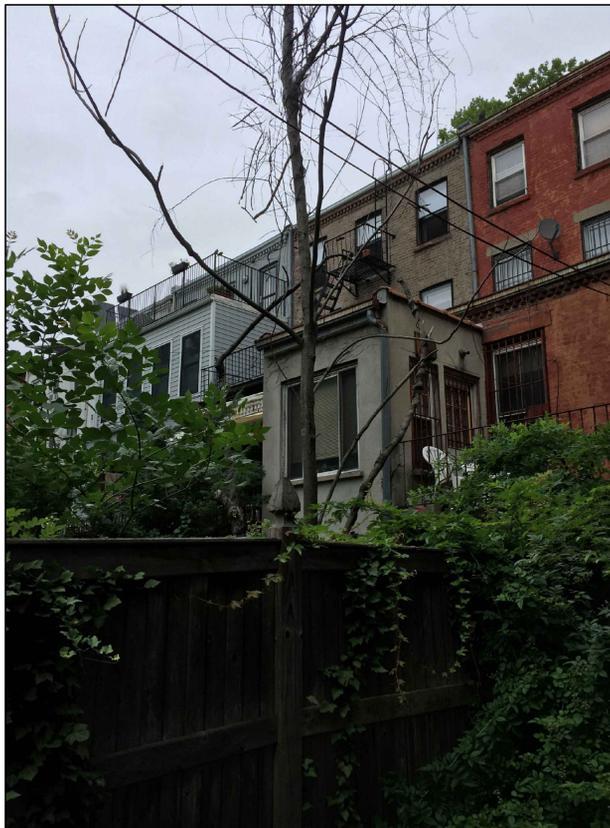


01 CUMBERLAND REAR YARD / EXISTING EXTENSIONS

314 CUMBERLAND ST.



02 FRONT FACADE - CONTEXT



03 REAR FACADE - CONTEXT

ISSUE DATES:

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RESIDENCE
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DRAWING TITLE:

EXISTING PHOTOS

DATE:
12 NOVEMBER 2015
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LPC-04.0
SHEET 4 OF 11

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DEMOLITION NOTES

01 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NEW YORK BUILDING CODES AND ALL FEDERAL, STATE, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER THE WORK, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS AND BEST TRADE PRACTICES.

02 DEMOLITION WORK SHALL COMPLY WITH THE CITY'S REQUIREMENTS IN ADDITION TO THE ANSI A10.6 SAFETY REQUIREMENTS FOR DEMOLITION.

03 BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING NYC AGENCIES.

04 THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.

05 THE DRAWINGS MAY NOT SHOW ALL REMOVALS REQUIRED. CONTRACT INCLUDES ALL WORK NECESSARY TO PRODUCE THE FINAL ARRANGEMENT AS SHOWN, LEAVING NO EXISTING WORK WHICH IS NO LONGER NEEDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ENTIRE DEMOLITION OF THE SPACE INCLUDING WALLS, CEILINGS, ALL FINISHES, EQUIPMENT, LIGHTING AND WIRING, MECHANICAL AND PLUMBING ITEMS AS REQUIRED.

06 ALL PIPING AND ELECTRICAL WIRING TO BE DEMOLISHED SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.

07 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK, AS A RESULT OF HIS OPERATION.

08 MATERIALS OR ITEMS DESIGNATED TO BECOME THE PROPERTY OF THE OWNER SHALL BE AS SHOWN ON THE DRAWINGS OR WILL BE SO TAGGED BY THE OWNER. REMOVE SUCH ITEMS WITH CARE AND STORE THEM IN A LOCATION TO BE DESIGNATED BY THE OWNER. REMOVE ALL OTHER ITEMS FROM THE PREMISES AND DISPOSE OF LEGALLY.

09 REMOVE ALL FLOOR COVERING WHERE NOTED. THIS SHALL INCLUDE REMOVAL OF ADHESIVES UNDER RESIDENT FLOORING AND REMOVAL OF CERAMIC TILE AND SETTING BEDS.

10 ALL DEMOLITION AND REMOVAL SHALL BE BROUGHT TO A NATURAL STOPPING POINT. ANY MATERIAL REMOVED BY MISTAKE OR IN EXCESS OF REQUIREMENTS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. PROTRUDING MATERIALS SHALL BE CUT BACK 1" BELOW WALL, FLOOR, OR CEILING SURFACES.

11 EXECUTE THE WORK IN A CAREFUL AND ORDERLY MANNER, WITH THE LEAST POSSIBLE DISTURBANCE TO CONDITIONS WHICH SHALL REMAIN.

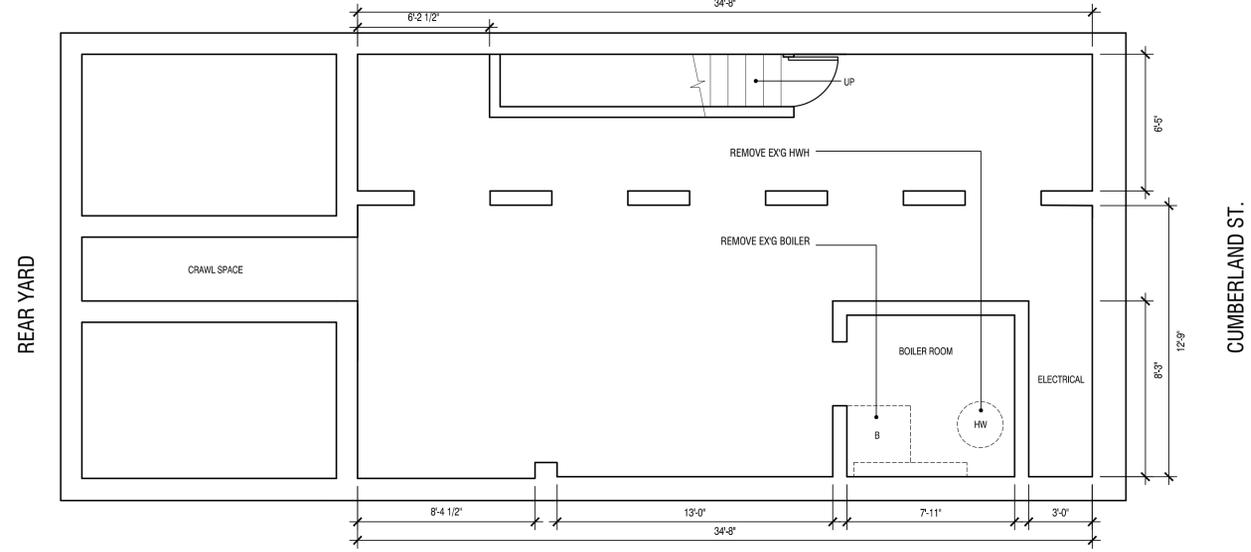
12 REMOVE DEBRIS AS THE WORK PROGRESSES. MAINTAIN THE PREMISES IN A NEAT AND CLEAN CONDITION.

13 CONTRACTOR TO MAINTAIN ALL EXISTING MEANS OF EGRESS FOR BUILDING DURING ENTIRE DEMOLITION PERIOD.

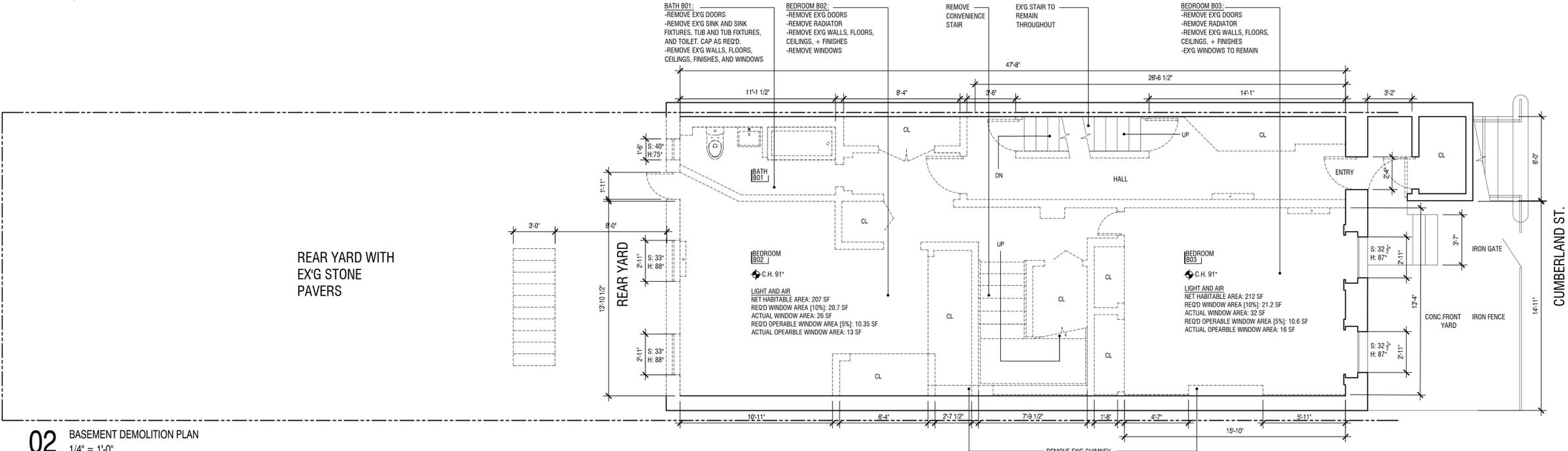
14 THERE WILL BE NO INTERFERENCE WITH THE BUILDING'S HEATING SYSTEM, VENTILATION SYSTEM OR AIR-CONDITIONING SYSTEM, INTERCOM, GAS, ELECTRIC, PLUMBING OR ANY OTHER SERVICE.

15 BEFORE STARTING ANY WORK RELATING TO EXISTING UTILITIES (E.G.C. SANITARY, WATER, HEAT, GAS, ETC.) THAT WILL TEMPORARILY DISCONTINUE OR DISRUPT SERVICES TO THE EXISTING BUILDING, NOTIFY THE ARCHITECT AND LANDLORD FORTY EIGHT (48) HOURS IN ADVANCE AND OBTAIN APPROVAL PRIOR TO BEGINNING WORK.

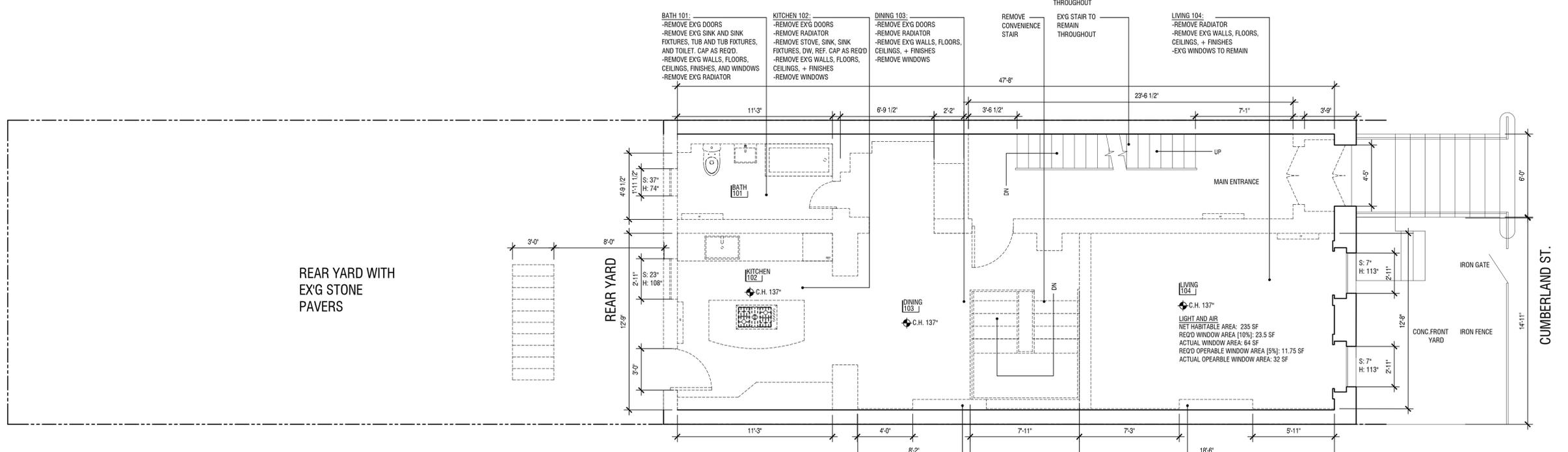
01 CELLAR DEMOLITION PLAN
 1/4" = 1'-0"



02 BASEMENT DEMOLITION PLAN
 1/4" = 1'-0"



03 FIRST FLOOR DEMOLITION PLAN
 1/4" = 1'-0"



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 DEMOLITION PLANS

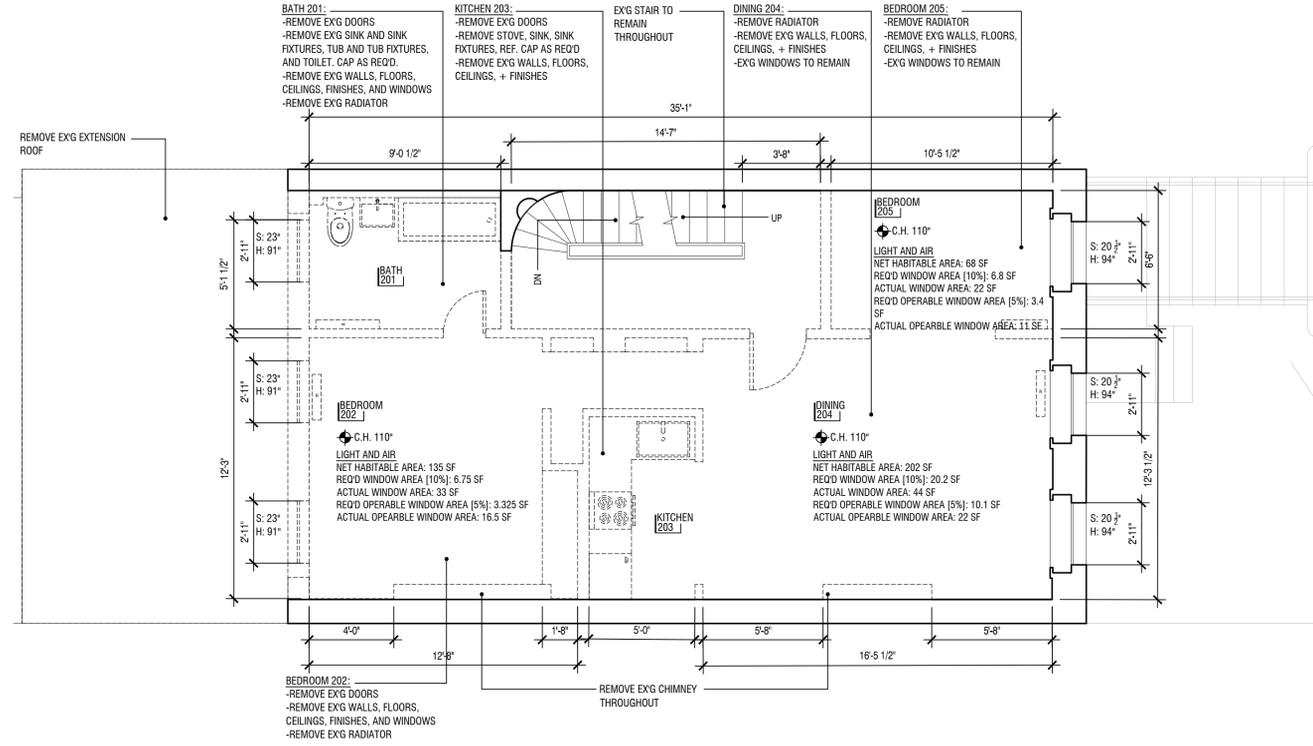
SEAL + SIGNATURE:	DATE: 12 NOVEMBER 2015
	DRAWING NO: LPC- 05.0
	SHEET 5 OF 11

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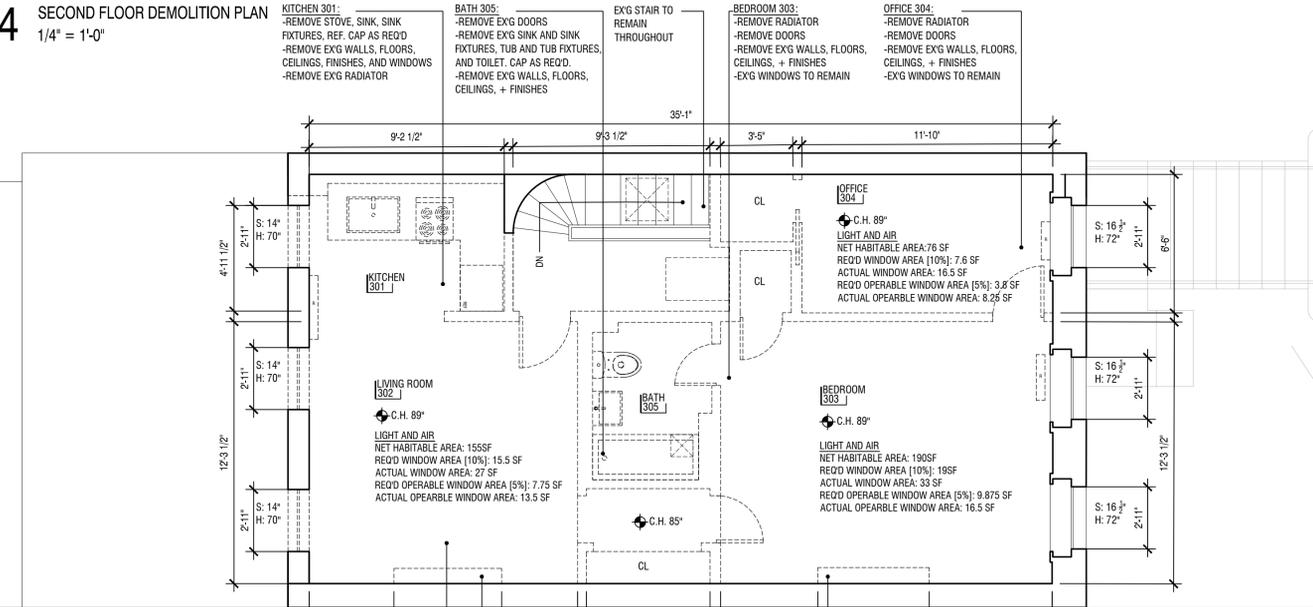
ARCHITECT OF RECORD
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 LIC #: 23066

CODE CONSULTANT/FILING REPRESENTATIVE
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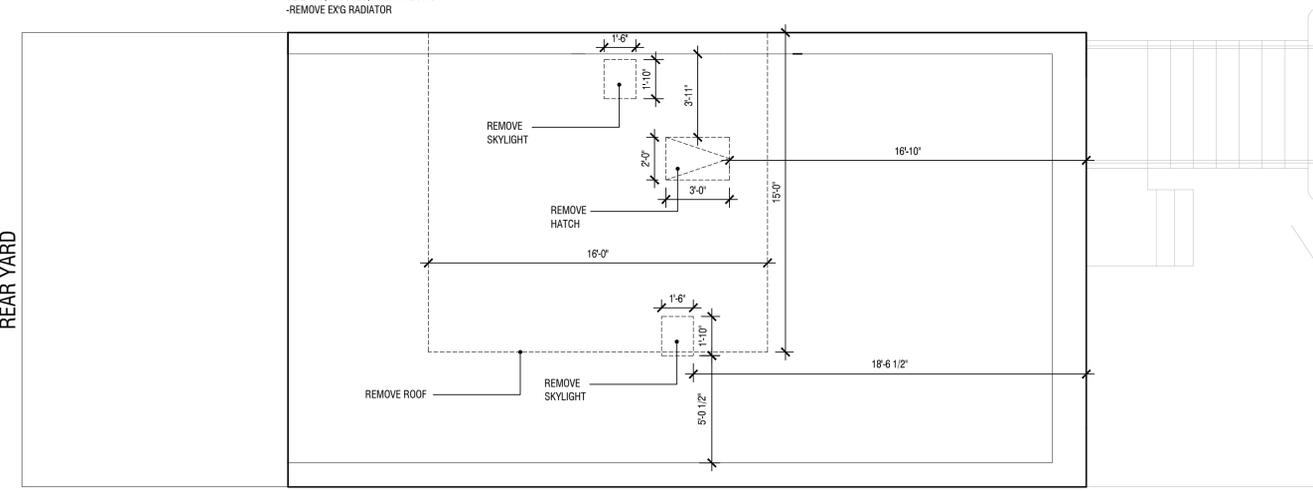
- DEMOLITION NOTES**
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 - 06 ALL PIPING AND ELECTRICAL WORKING SHALL BE DEMOLISHED SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
 - 07 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK, AS A RESULT OF HIS OPERATION.
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 - 09 REMOVE ALL FLOOR COVERING WHERE NOTED. THIS SHALL INCLUDE REMOVAL OF ADHESIVES UNDER RESILIENT FLOORING AND REMOVAL OF CERAMIC TILE AND SETTING BEDS.
 - 10 ALL DEMOLITION AND REMOVAL SHALL BE BROUGHT TO A NATURAL STOPPING POINT. ANY MATERIAL REMOVED BY METHOD IN EXCESS OF REQUIREMENTS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. PROTRUDING MATERIALS SHALL BE CUT BACK 1" BEHIND WALL, FLOOR, OR CEILING SURFACES.
 - 11 EXECUTE THE WORK IN A CAREFUL AND ORDERLY MANNER, WITH THE LEAST POSSIBLE DISTURBANCE TO CONDITIONS WHICH SHALL REMAIN.
 - 12 REMOVE DEBRIS AS THE WORK PROGRESSES. MAINTAIN THE PREMISES IN A NEAT AND CLEAN CONDITION.
 - 13 CONTRACTOR TO MAINTAIN ALL EXISTING MEANS OF EGRESS FOR BUILDING DURING ENTIRE DEMOLITION PERIOD.
 - 14 THERE WILL BE NO INTERFERENCE WITH THE BUILDING'S HEATING SYSTEM, VENTILATION SYSTEM OR AIR-CONDITIONING SYSTEM, INTERCOM, GAS, ELECTRIC, PLUMBING OR ANY OTHER SERVICE.
 - 15 BEFORE STARTING ANY WORK RELATING TO EXISTING UTILITIES (E.G.C., SANITARY, WATER, HEAT, GAS, ETC.) THAT WILL TEMPORARILY DISRUPT OR DISRUPT SERVICES TO THE EXISTING BUILDING, NOTIFY THE ARCHITECT AND LANDLORD FORTY EIGHT (48) HOURS IN ADVANCE AND OBTAIN APPROVAL PRIOR TO BEGINNING WORK.



04 SECOND FLOOR DEMOLITION PLAN
 1/4" = 1'-0"



05 THIRD FLOOR DEMOLITION PLAN
 1/4" = 1'-0"

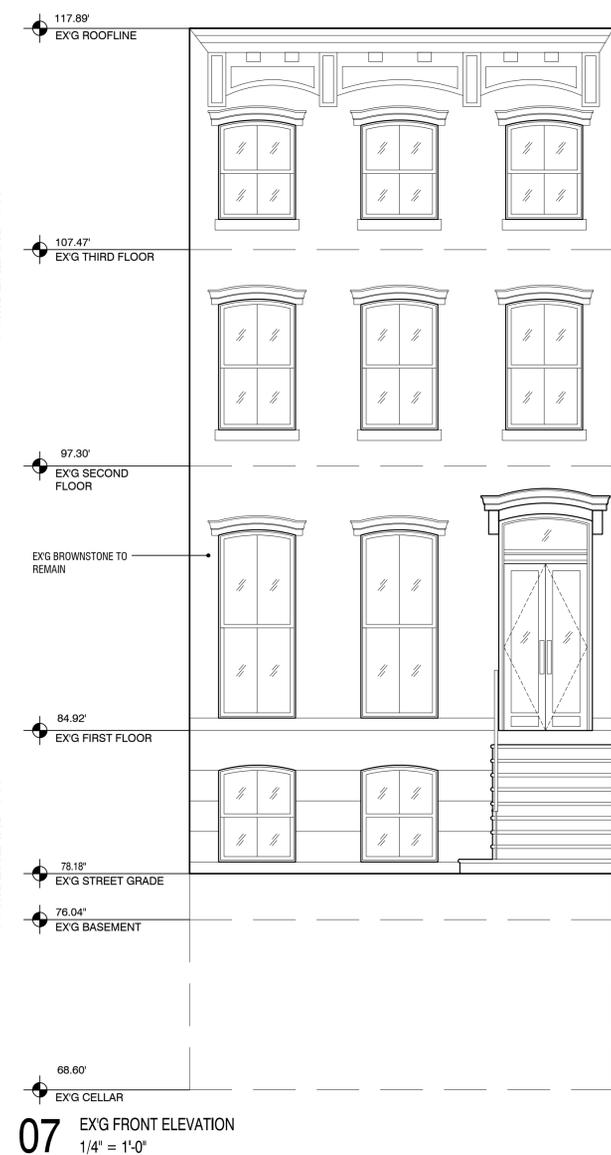


06 ROOF DEMOLITION PLAN
 1/4" = 1'-0"

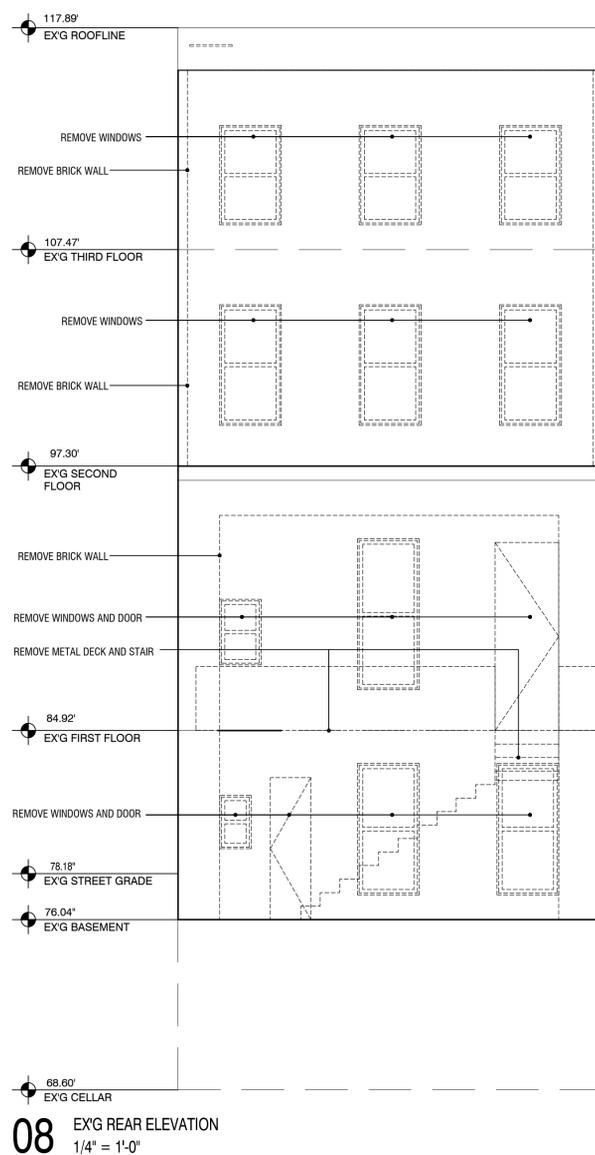
CUMBERLAND ST.

CUMBERLAND ST.

CUMBERLAND ST.



07 EX'G FRONT ELEVATION
 1/4" = 1'-0"



08 EX'G REAR ELEVATION
 1/4" = 1'-0"

ISSUE DATES:

PROJECT:
 RESIDENCE
 314 CUMBERLAND ST., BROOKLYN NY 11238

DRAWING TITLE:
 DEMOLITION PLANS AND ELEVATIONS

SEAL + SIGNATURE:	DATE: 12 NOVEMBER 2015
	DRAWING NO: LPC- 06.0
SHEET 6 OF 11	

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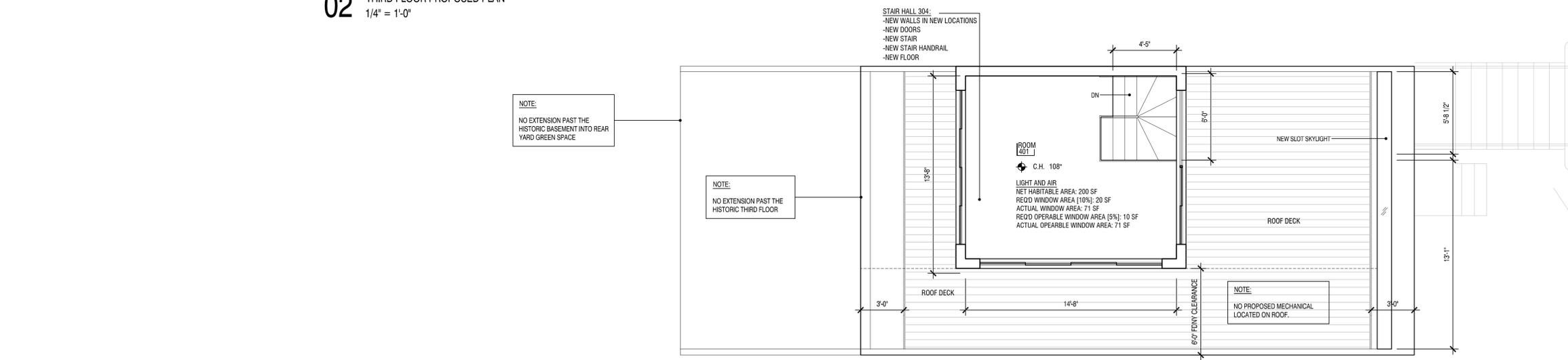
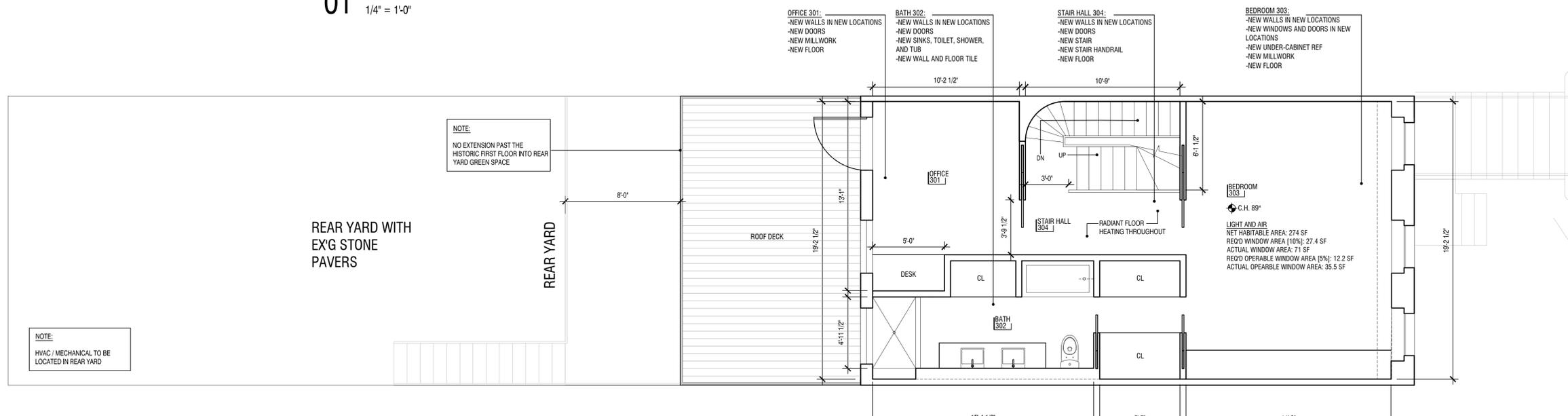
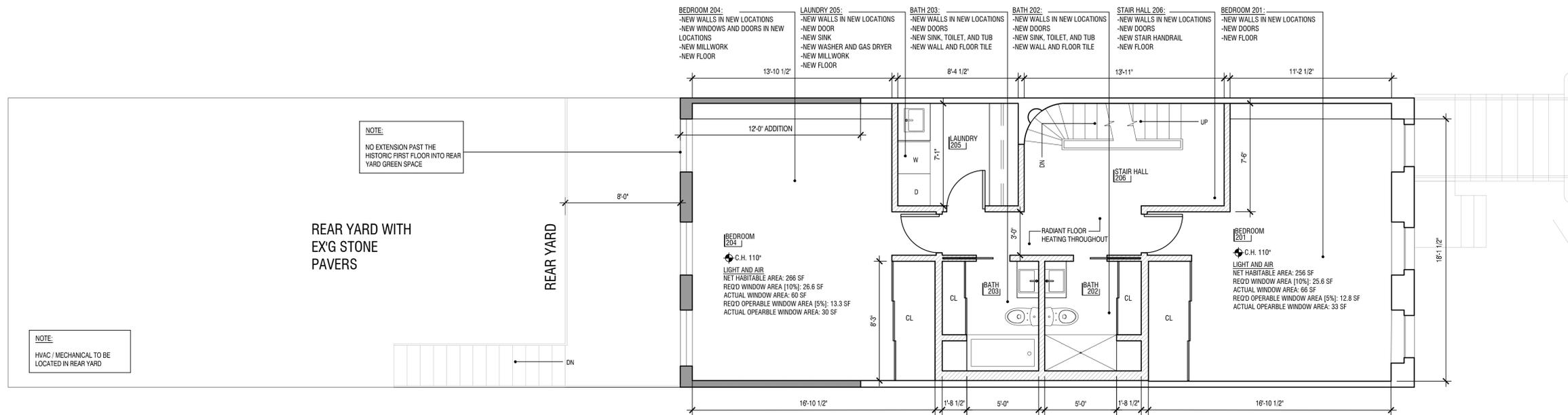
CODE CONSULTANT/FILING REPRESENTATIVE
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ISSUE DATES:

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 314 CUMBERLAND ST., BROOKLYN NY 11238

DRAWING TITLE:
 PROPOSED PLANS

SEAL + SIGNATURE: DATE:
 12 NOVEMBER 2015
 DRAWING NO:
LPC- 08.0
 SHEET 8 OF 11



ISSUE DATES:

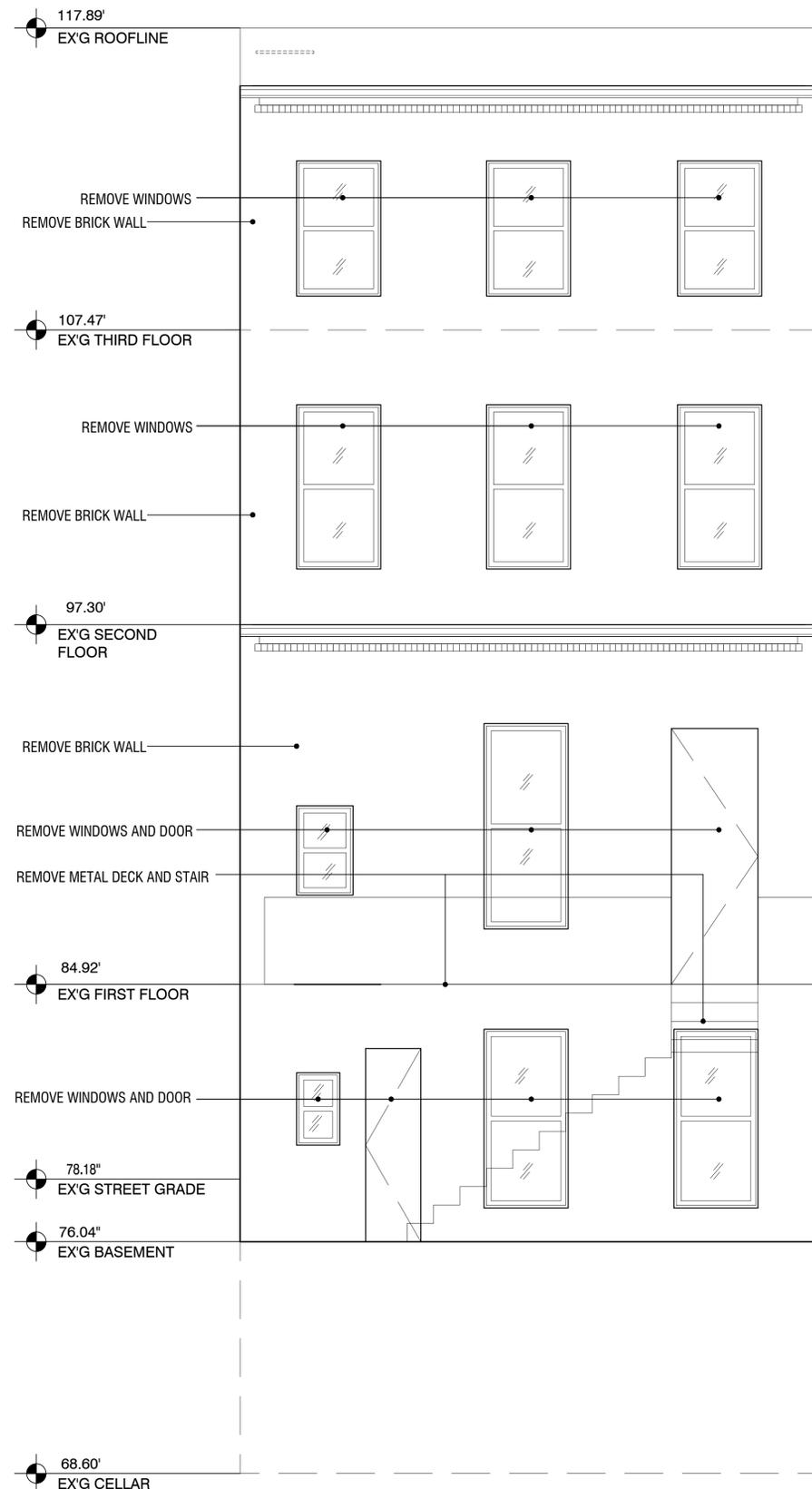
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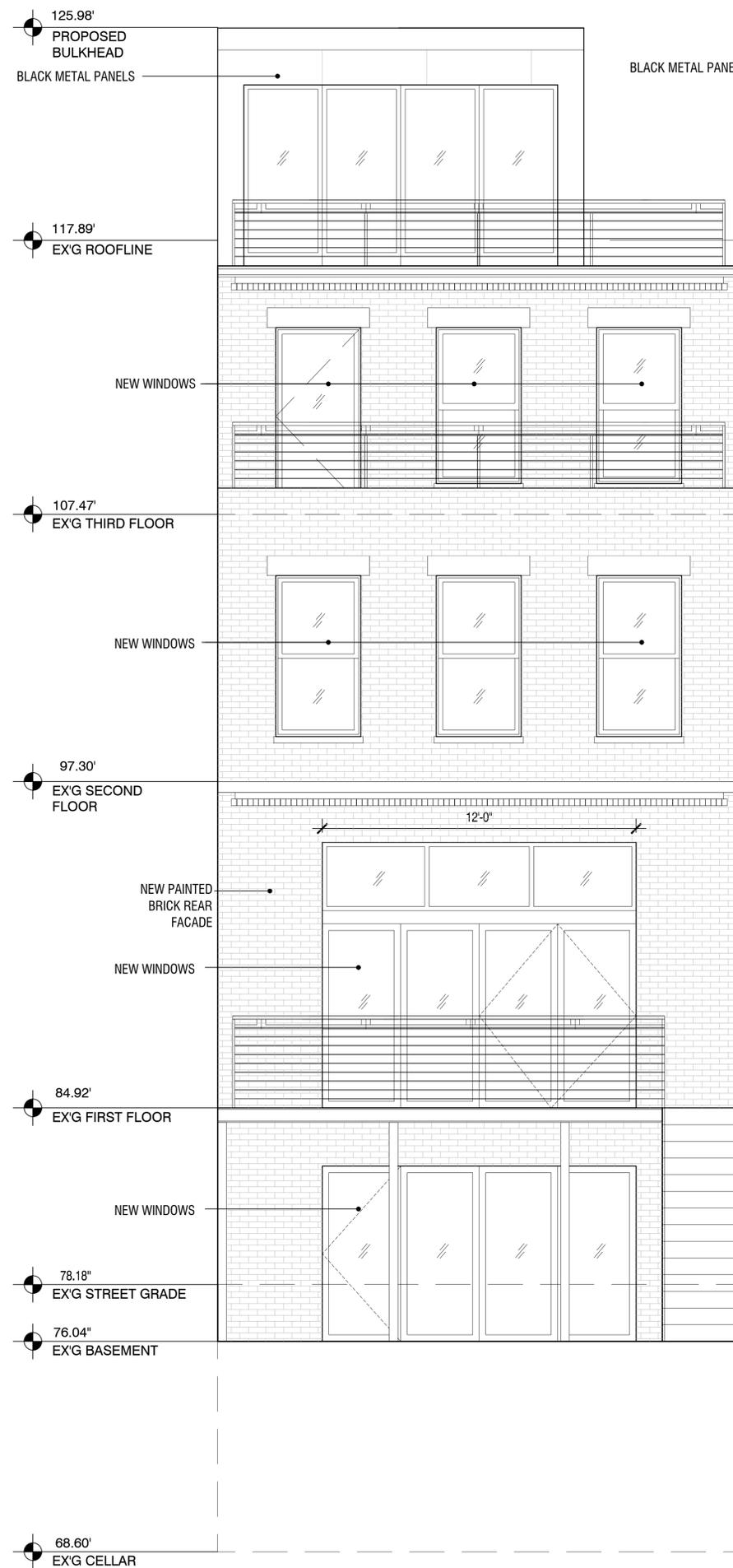
DRAWING TITLE:

EXISTING/PROPOSED REAR
 ELEVATIONS + ADDITION ELEVATIONS

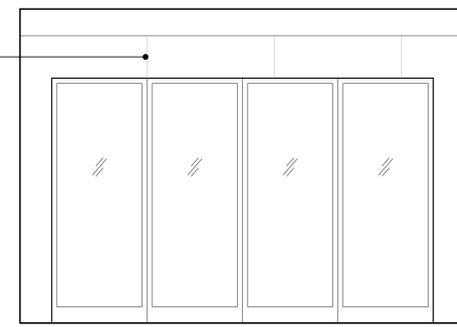
DATE:
 12 NOVEMBER 2015
 DRAWING NO:
LPC-09.0
 SHEET 09 OF 11



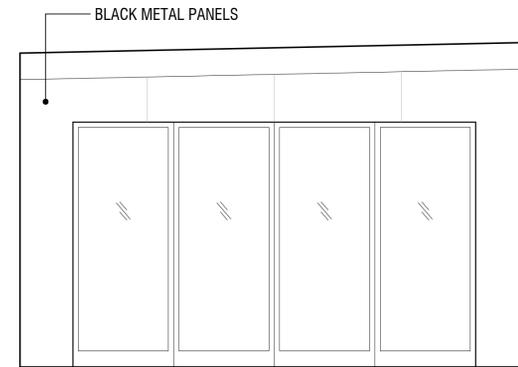
00 REAR ELEVATION - EXISTING
 1/2" = 1'-0"



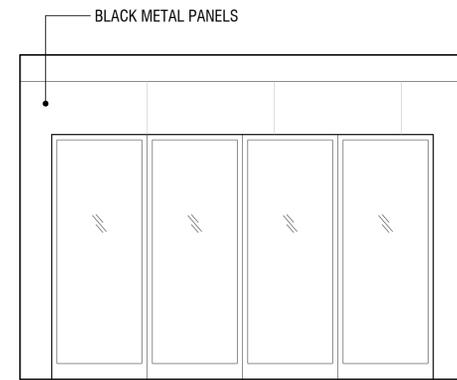
01 REAR ELEVATION - PROPOSED
 1/2" = 1'-0"



02 REAR ELEVATION - PROPOSED
 1/2" = 1'-0"



03 SIDE ELEVATION - PROPOSED
 1/2" = 1'-0"



04 FRONT ELEVATION - PROPOSED
 1/2" = 1'-0"

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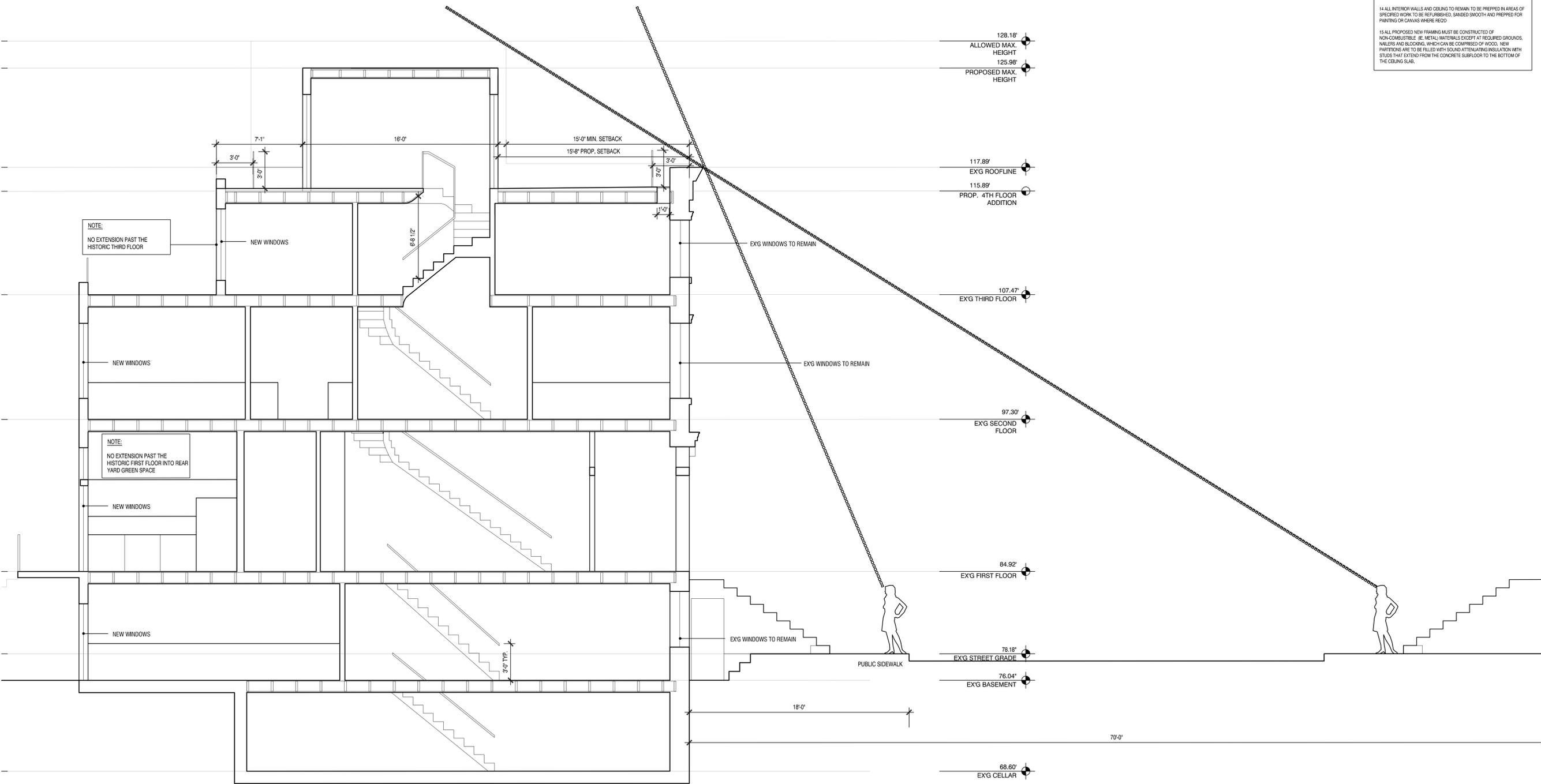
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- PLAN NOTES
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 - 02 ELECTRICIAN TO CONFIRM FINAL FLOOR PLAN LAYOUT BEFORE STARTING JOB. TEST ALL VOLTAGES TO EQUIPMENT TERMINATION POINTS FOR ANY VARIATIONS IN VOLTAGE FLUCTUATION. ELECTRICIAN TO PROVIDE AND INSTALL ALL NECESSARY BOOST TRANSFORMERS, VOLTAGE REGULATORS, CONTACTORS, OR RELAYS REQUIRED TO COMPENSATE FOR FLUCTUATING VOLTAGES.
 - 03 ALL NEW DOORS ON NEW LOCATIONS TO BE 2'-10" MIN. IN WIDTH
 - 04 PROPOSED WORK SHALL NOT AFFECT THE STRUCTURAL INTEGRITY OR SOUNDPROOFING OF EXISTING WALLS
 - 05 ALL PLUMBING LINES TO BE REMOVED TO EXISTING RISERS AND NEW RISER SHUT OFF VALVES TO BE INSTALLED
 - 06 PLUMBING WORK TO BE BY LICENSED PLUMBERS
 - 07 NEW WATERPROOF MEMBRANES TO BE INSTALLED UNDER ALL NEW BATHROOM FLOORS
 - 08 ALL EXISTING WOOD FLOORING TO BE REMOVED IF CONTRACTOR DEEMS FLOORS TO BE INADEQUATE SUBSTRATE
 - 09 ALL NEW PLUMBING FIXTURES ARE TYPICAL
 - 10 GC TO PROTECT ALL BUILDING SPACES FROM REQUIRED WORK DONE
 - 11 ALL EXG. WALLS, SLABS, BEAMS, SILLS AND LINTELS TO BE SHORED AS REQD.
 - 12 THE ARCHITECT AND HIS CONSULTANTS ARE NOT RESPONSIBLE FOR THE CONTRACTOR'S METHODS OR MEANS OF CONSTRUCTION.
 - 13 ALL NEW CABLES AND TELEPHONES TO BE CONCEALED IN WALLS IN PLASTIC TUBING FOR ACCESSIBILITY
 - 14 ALL INTERIOR WALLS AND CEILING TO REMAIN TO BE PREPARED IN AREAS OF SPECIFIED WORK TO BE REFURBISHED, SANDED SMOOTH AND PREPARED FOR PAINTING OR CANVAS WHERE REQD.
 - 15 ALL PROPOSED NEW FRAMING MUST BE CONSTRUCTED OF NON-COMBUSTIBLE (IE. METAL) MATERIALS EXCEPT AT REQUIRED GROUNDS, UNLESS AND BLOCKING, WHICH CAN BE COMPRESSED WOOD. NEW PARTITIONS ARE TO BE FILLED WITH SOUND ATTENUATING INSULATION WITH STUDS THAT EXTEND FROM THE CONCRETE SUBFLOOR TO THE BOTTOM OF THE CEILING SLAB.



01 PROPOSED LONGITUDINAL SECTION - NO ADDITION VISIBILITY FROM STREET
 1/4" = 1'-0"

ISSUE DATES:

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 314 CUMBERLAND ST., BROOKLYN NY 11238

DRAWING TITLE:
 SECTION + ADDITION VISIBILITY

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LPC- 10.0
 SHEET 10 OF 11



01 ROOF ADDITION MOCK UP



02 ROOF ADDITION MOCK UP



03 ROOF ADDITION MOCK UP - NO STREET LEVEL VISIBILITY



04 ROOF ADDITION MOCK UP - NO STREET LEVEL VISIBILITY

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ROOF ADDITION MOCK UP PHOTOS

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 SHEET 11 OF 11