



136 Dean Street, Brooklyn NY 11217

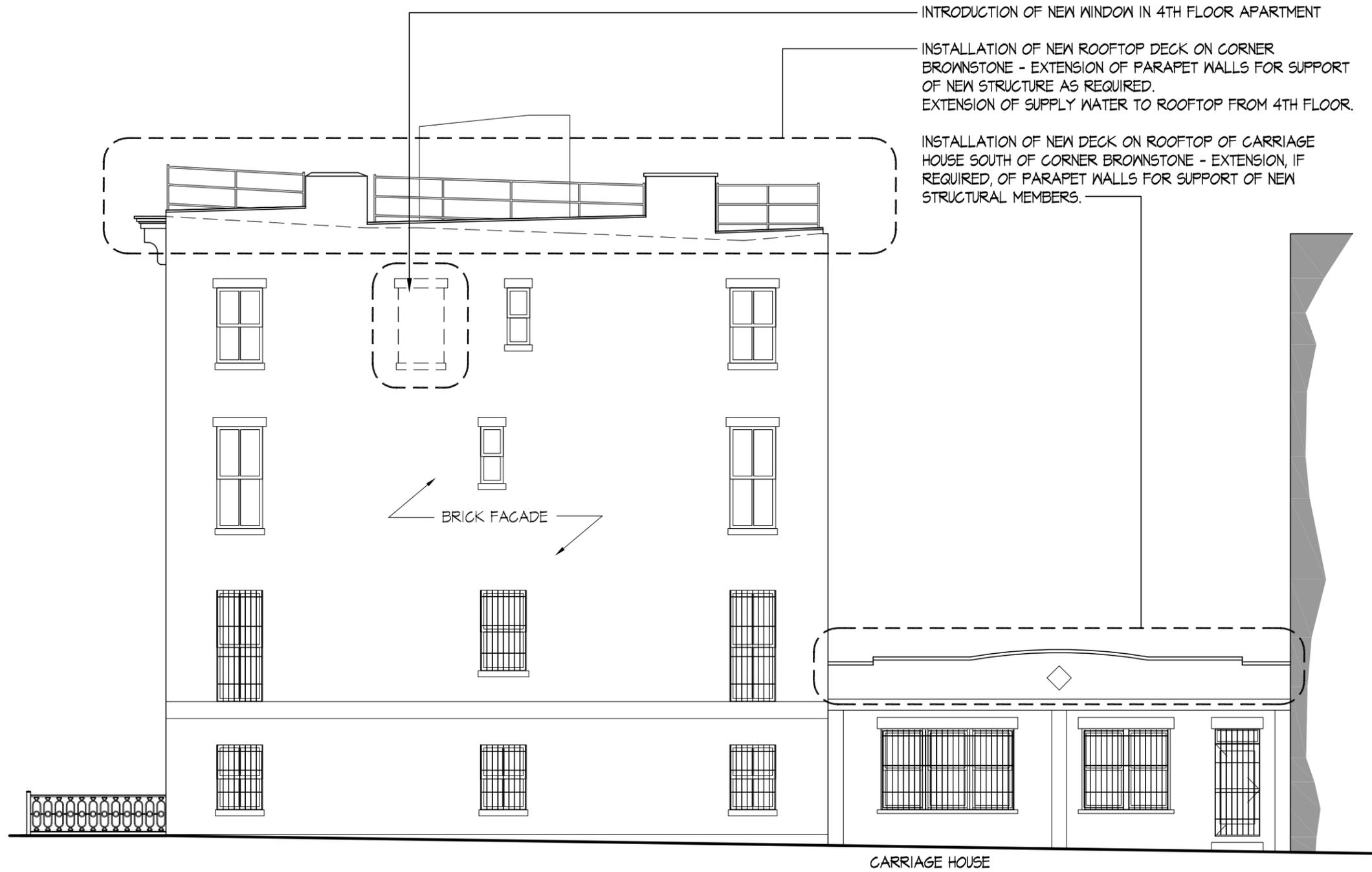
A.001



256 Union Street, Brooklyn NY 11231 Tel. 347.846.0434 gprisco@brutuspark.com

11.18.2015

SCOPE OF WORK



INTRODUCTION OF NEW WINDOW IN 4TH FLOOR APARTMENT

INSTALLATION OF NEW ROOFTOP DECK ON CORNER BROWNSTONE - EXTENSION OF PARAPET WALLS FOR SUPPORT OF NEW STRUCTURE AS REQUIRED. EXTENSION OF SUPPLY WATER TO ROOFTOP FROM 4TH FLOOR.

INSTALLATION OF NEW DECK ON ROOFTOP OF CARRIAGE HOUSE SOUTH OF CORNER BROWNSTONE - EXTENSION, IF REQUIRED, OF PARAPET WALLS FOR SUPPORT OF NEW STRUCTURAL MEMBERS.

BRICK FACADE

CARRIAGE HOUSE

Scope of Work

A.002





THE AIM OF THE PROPOSED WORK IS TO ENHANCE THE BUILDING'S AMENITIES WHILE STAYING TRUE TO THE NATURE OF THE HISTORIC DISTRICT OF WHICH IT IS A PART. THE SCOPE OF WORK INCLUDES THE FOLLOWING:

- INSTALLATION OF NEW ROOF DECK ON THE MAIN BUILDING REQUIRING THE RAISING OF THE PARAPETS TO ACCOMMODATE THE REQUIRED STEEL STRUCTURE. CHIMNEYS TO BE EXTENDED FOR CODE COMPLIANCE.
- INSTALLATION OF NEW ROOF DECK ON ATTACHED CARRIAGE HOUSE. THE PARAPETS ON THE VISIBLE SIDES WILL NOT REQUIRE ALTERATION. PARAPET ON THE INTERIOR (NOT VISIBLE FROM THE STREET) WILL BE RAISED AS REQUIRED.
- INSTALLATION OF NEW WINDOW TO MATCH EXISTING ON WEST (HOYT STREET) FACADE AT 4TH FLOOR.

STATEMENT OF APPROPRIATENESS

CONSTRUCTED PREDOMINANTLY BY SPECULATIVE BUILDERS, THE BROWNSTONES OF THE HISTORIC DISTRICT USED COMMON MATERIALS AND PLANS TO GIVE THE DISTRICT A STRONG VISUAL COHERENCE. THE MIX OF STYLES, RANGING FROM GREEK AND GOTHIC REVIVAL TO ITALIANATE AND QUEEN ANNE, PROVIDE VARIATIONS WITHIN THE WHOLE THAT ADD A LEVEL OF INTEREST WITHOUT COMPROMISING THE HOMOGENEITY OF THE STREETScape.

IT IS WITHIN THIS FRAMEWORK THAT THE PROPOSED ALTERATIONS TO 136 DEAN STREET WILL BE HANDLED. BUILT IN THE LATE 19TH CENTURY, THIS UNIT HAS THE CLASSIC TRAITS OF THE LATE ITALIANATE PERIOD THAT WAS PREDOMINANT IN THE POST CIVIL WAR ERA IN BOERUM HILL; EXPOSED BRICK, CAST IRON RAILINGS, HEAVY CORNICES AND DECORATIVE MOULDINGS. HISTORIC BRICK SPECIFICALLY CHOSEN TO MATCH THE EXISTING FACADE WILL BE USED FOR THE PARAPET AND CHIMNEY EXTENSIONS REQUIRED BY THE NEW CONSTRUCTION. NEITHER THE NEW STRUCTURE NOR DECK WILL BE VISIBLE FROM THE STREET FOR EITHER DECK. THE HOYT STREET PARAPET OF THE CARRIAGE HOUSE WILL, ACTUALLY, REMAIN AS IS - NO ALTERATIONS BEING REQUIRED TO ACCOMMODATE THE NEW STRUCTURE.

THE RAILINGS AS, ORIGINALLY PROPOSED, ARE BE BLACK IRON TO MATCH THE CHARACTERISTIC OF THE DISTRICT. THE BALUSTRADES TO BE LINEAR AND THIN TO MINIMIZE THE VISUAL IMPACT OF THE SECTIONS THAT EXTEND ABOVE THE PARAPETS. THE OPTION OF GLASS RAILINGS WAS RAISED AS A LESS-VISIBLE, ALTHOUGH NON-HISTORIC, OPTION. BOTH TYPES ARE INCLUDED IN THIS PROPOSAL FOR CONSIDERATION.

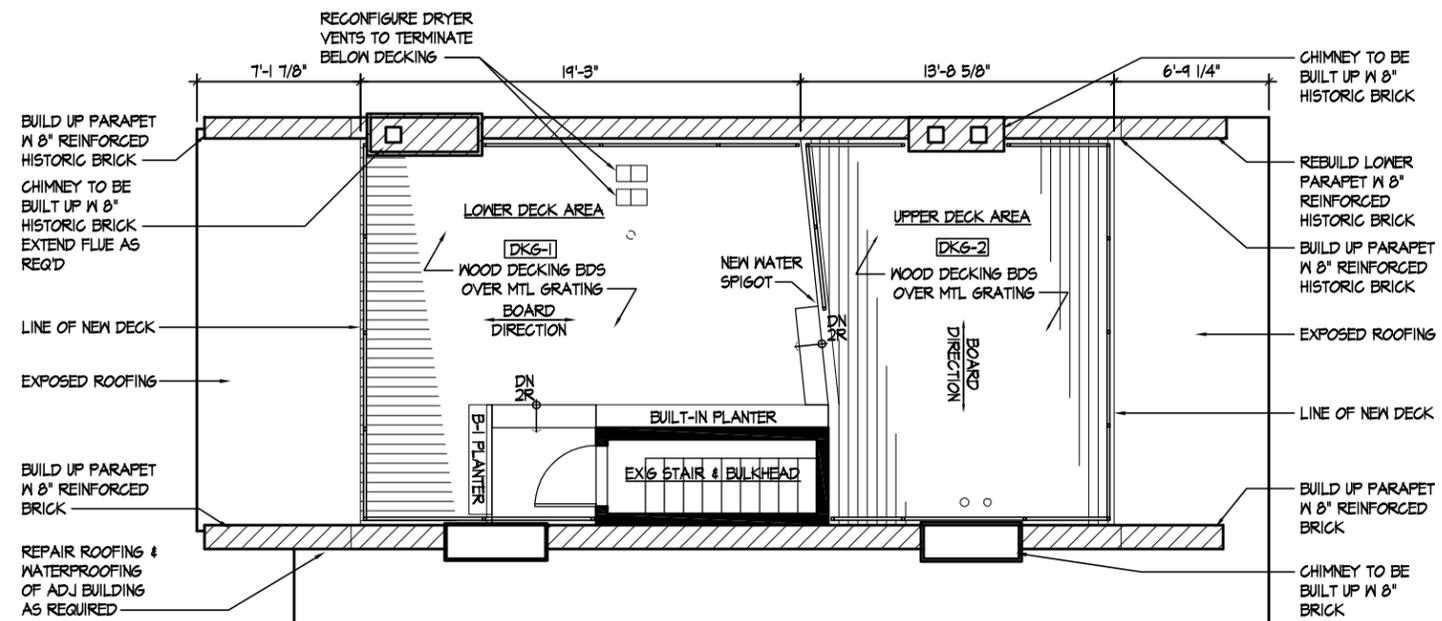
THE PROPOSED INSTALLATION OF A NEW WINDOW IN THE FOURTH LEVEL APARTMENT FITS WITHIN THE "SIMILAR BUT NOT IDENTICAL" NATURE OF THE DISTRICT. WINDOW PLACEMENTS AND COUNTS ARE DIFFERENT FOR EACH CORNER UNIT SO THE ADDITION OF THIS WINDOW WILL NOT AFFECT ANY ESTABLISHED NORM. THAT SAID, THE SIZE, MATERIAL, COLOR AND DETAILING OF THE WINDOW AND MASONRY OPENING WILL MATCH THAT OF THE OTHER WINDOWS OF THE FOURTH LEVEL TO FIT NEATLY WITHIN ITS ITALIANATE STYLE.

IN CONCLUSION, WE BELIEVE THAT THE PROPOSED WORK, WHILE PROVIDING AMENITIES TO THE INDIVIDUAL BUILDING, WILL FIT THE STREETScape'S HARMONY AND SPECIAL CHARACTER, AS DESCRIBED IN THE 1973 HISTORIC DISTRICT DESIGNATION REPORT.

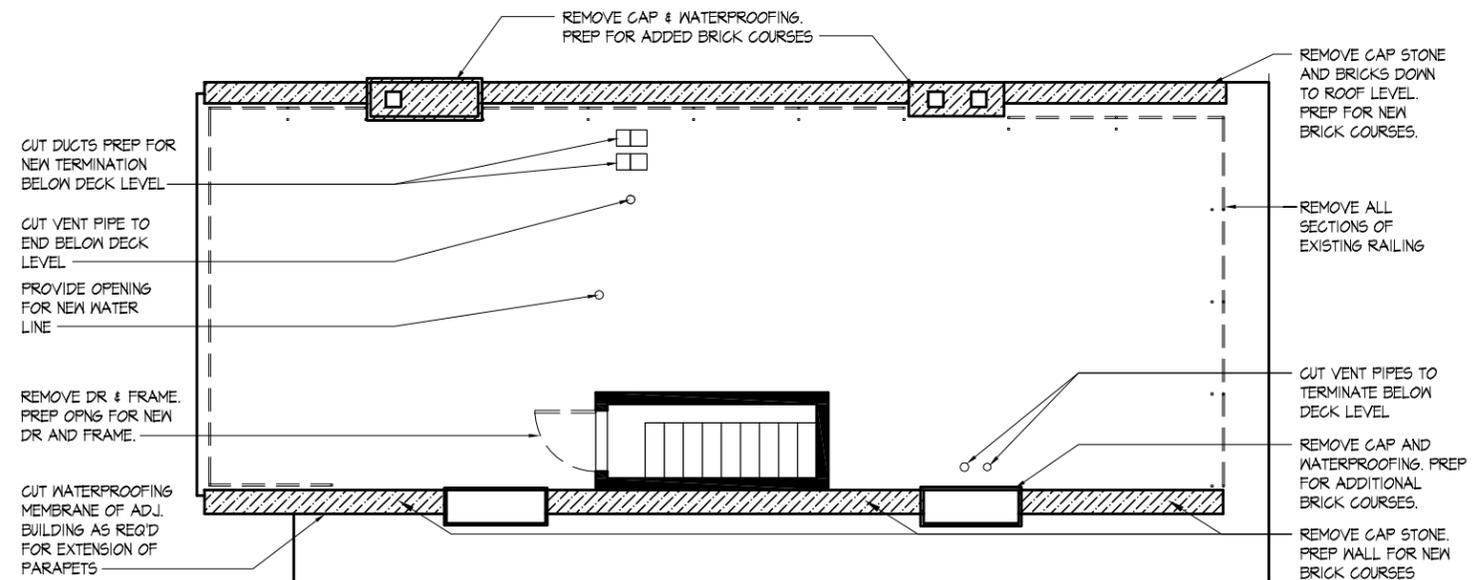
Appropriateness Statement

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2 PROPOSED ROOF DECK PLAN  
1/8" SC.

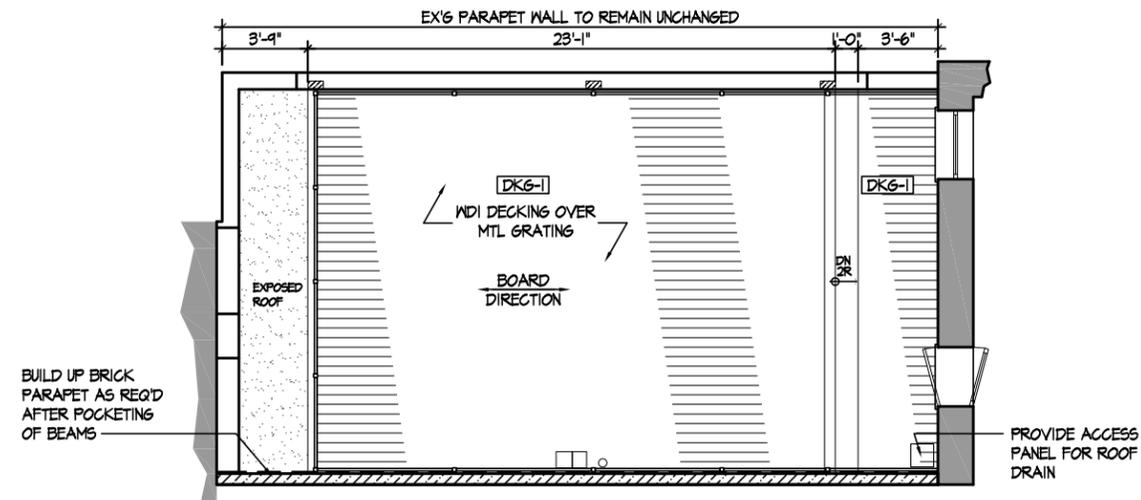


1 EXISTING ROOF DEMO PLAN  
1/8" SC.

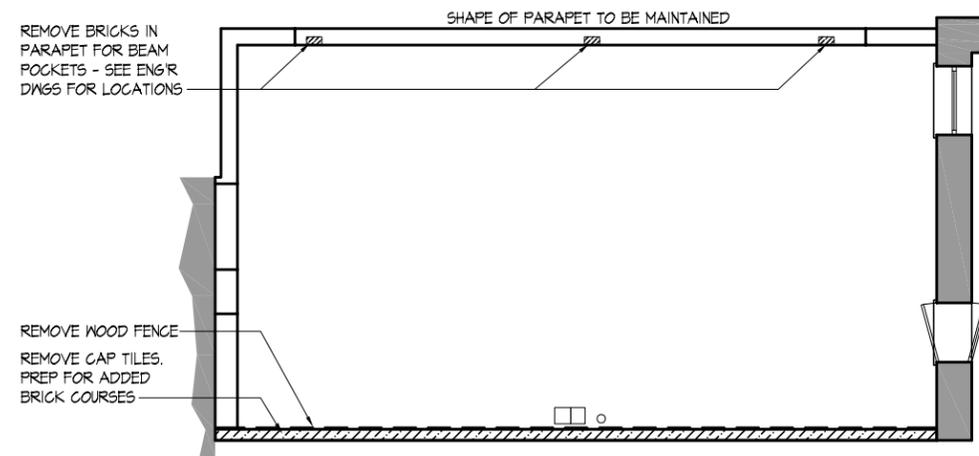
Brownstone Rooftop Plans

A.004





2 PROPOSED CARRIAGE HOUSE DECK PLAN  
1/8" SC.

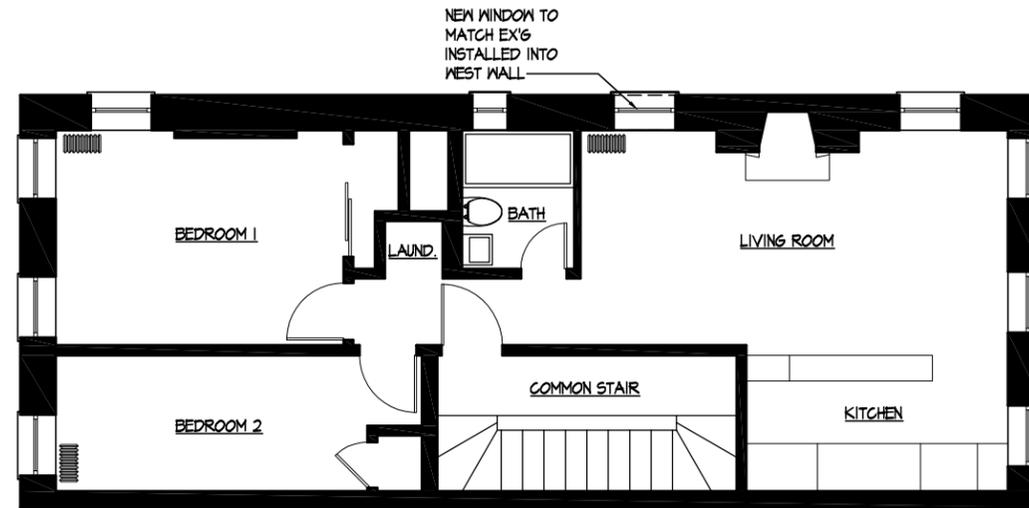


1 CARRIAGE HOUSE DEMO PLAN  
1/8" SC.

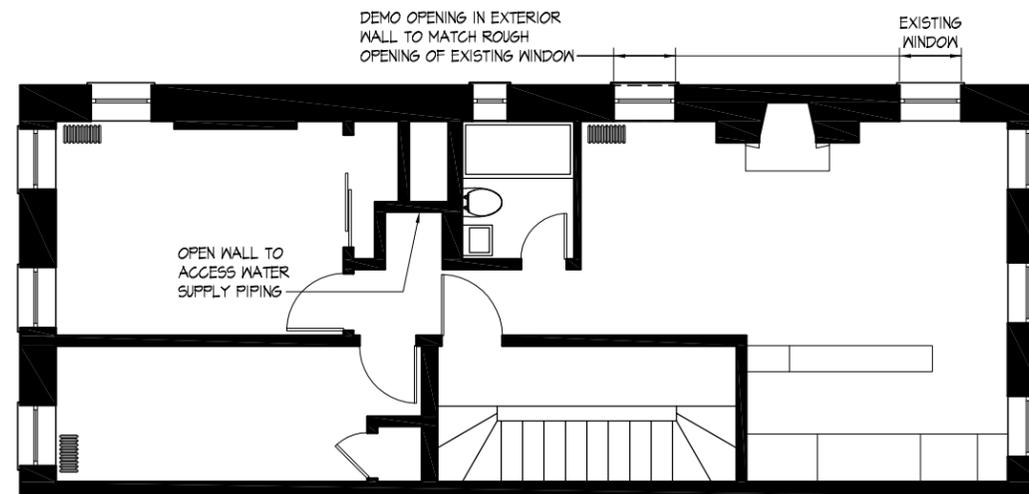
Carriage House Plans

A.005

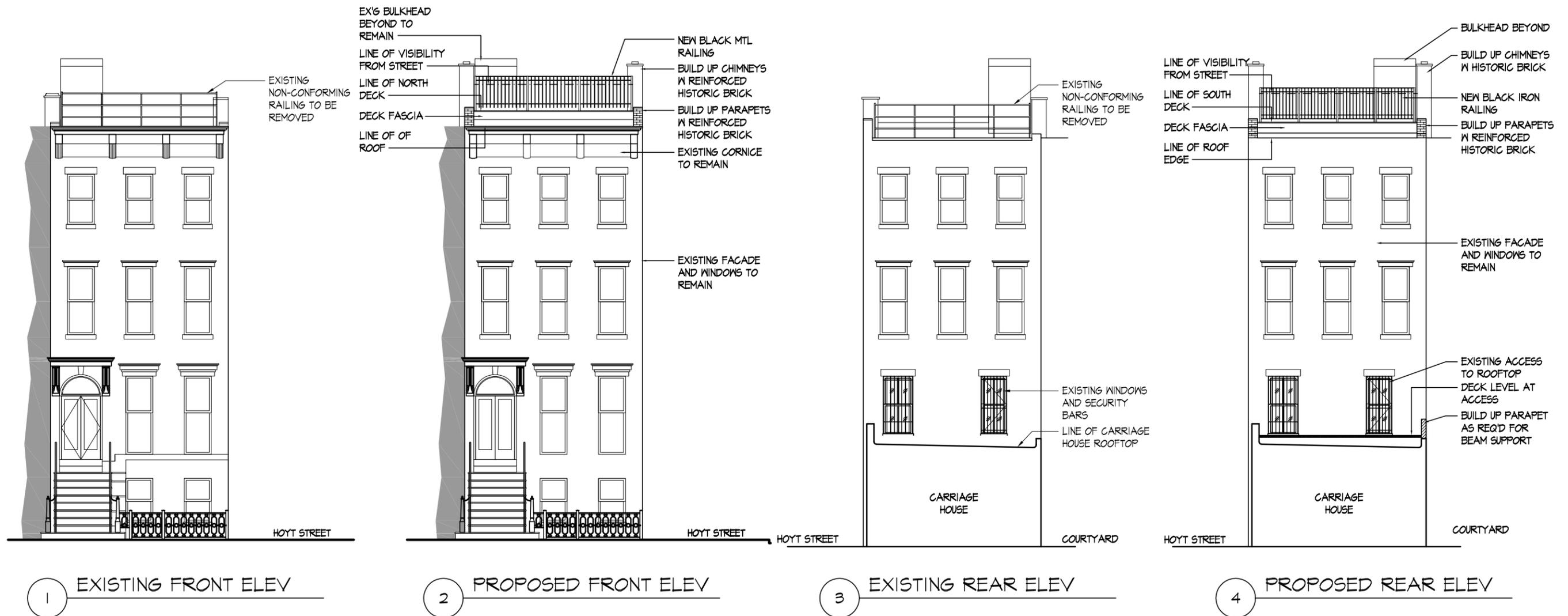




2 PROPOSED 4th FLOOR PLAN  
1/8" SC.



1 4th FLOOR DEMO PLAN  
1/8" SC.



North & South Elevations

A.007

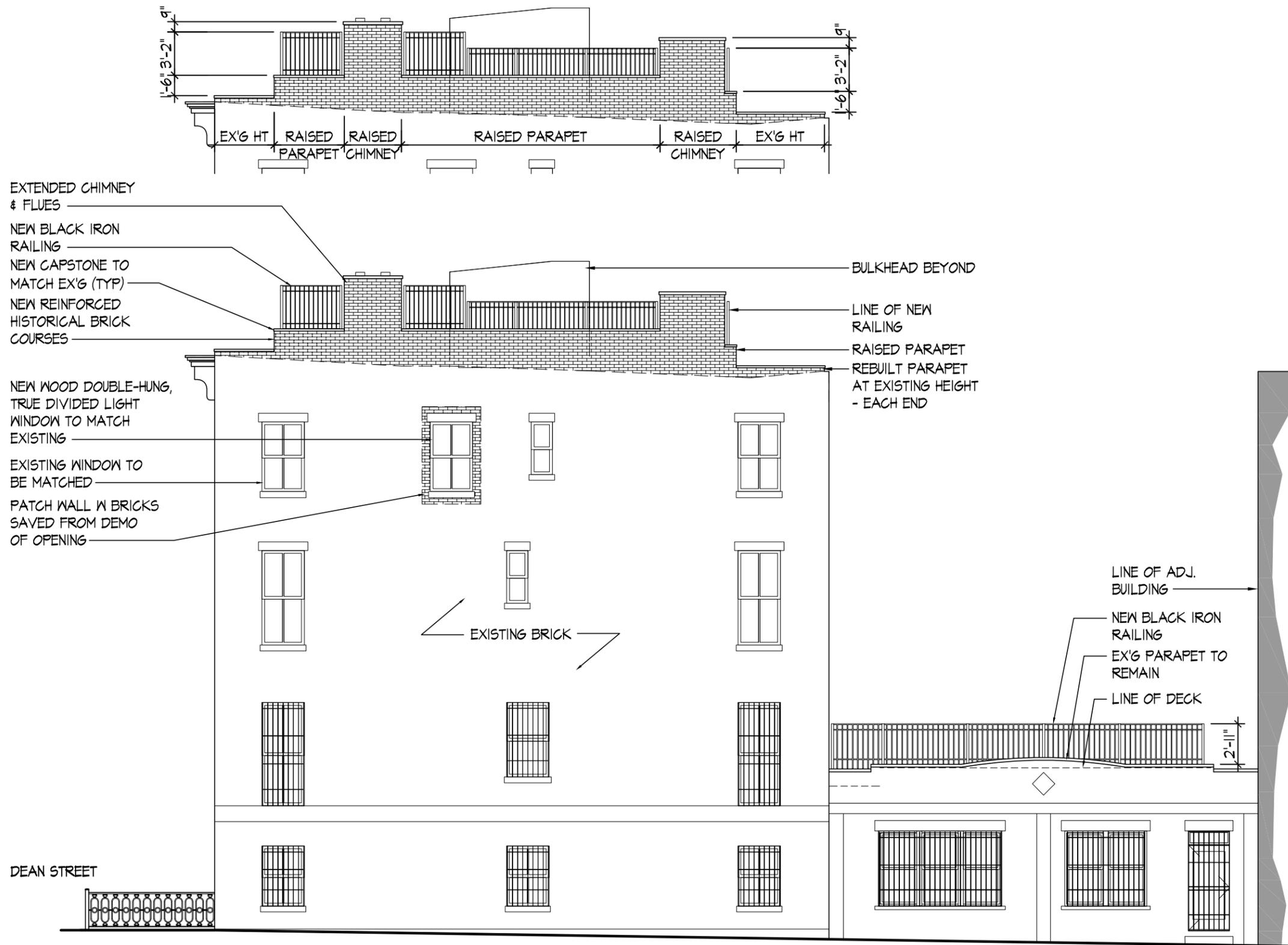




Existing West Elevation - Hoyt Street

A.008

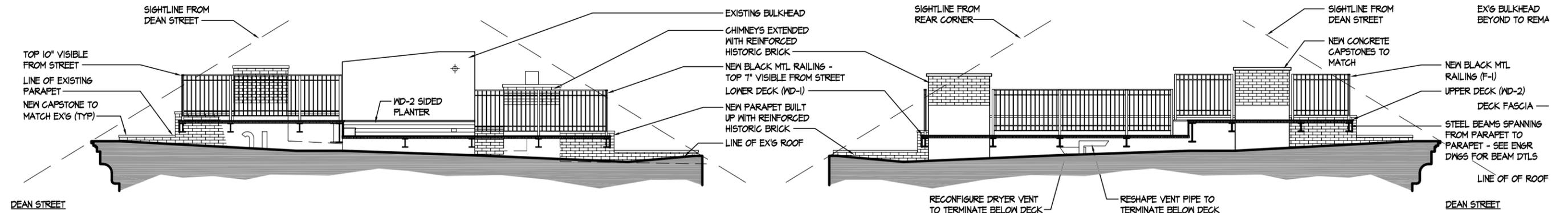




Proposed West Elevation - Hoyt Street

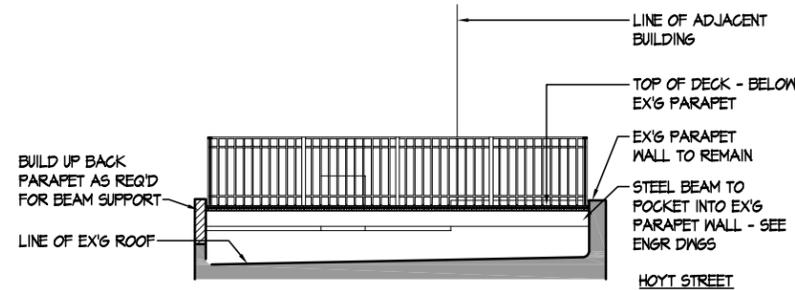
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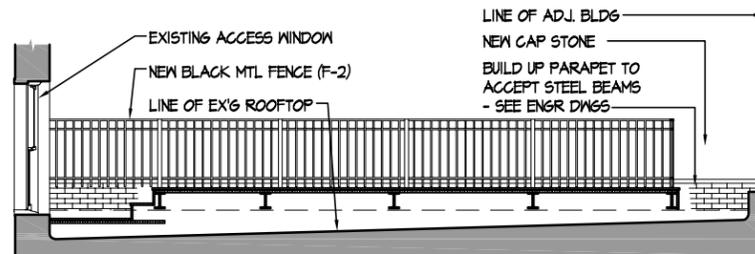


1 BROWNSTONE ROOF SECTION - E  
1/8" SC.

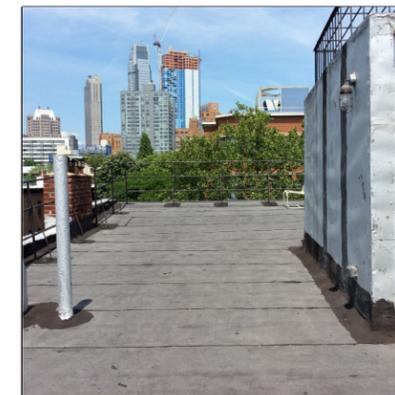
2 BROWNSTONE ROOF SECTION - W  
3/16" SC.



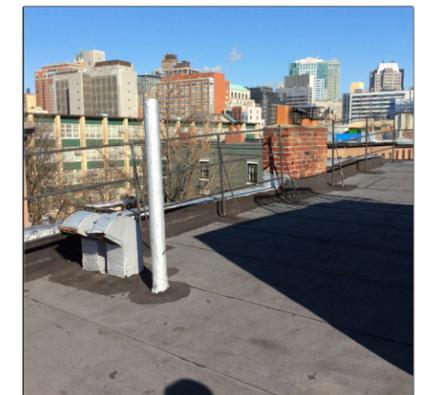
3 CARRIAGE HOUSE SECTION  
1/8" SC.



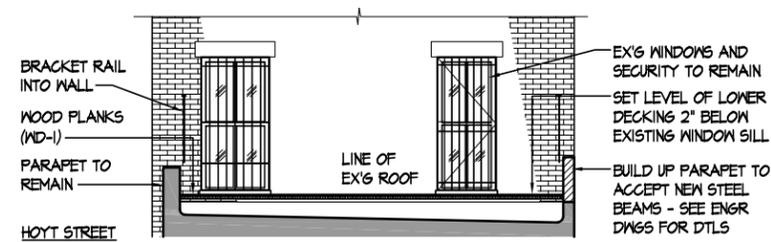
4 CARRIAGE HOUSE SECTION  
1/8" SC.



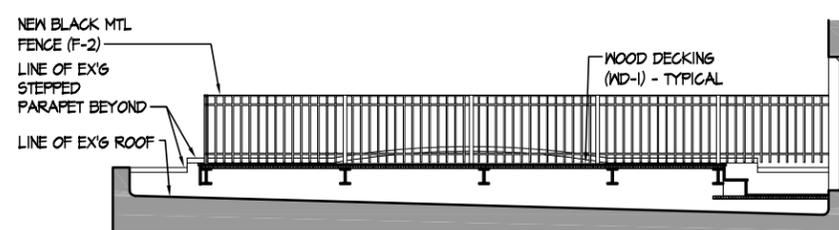
7 ROOFTOP - N



8 ROOFTOP - W



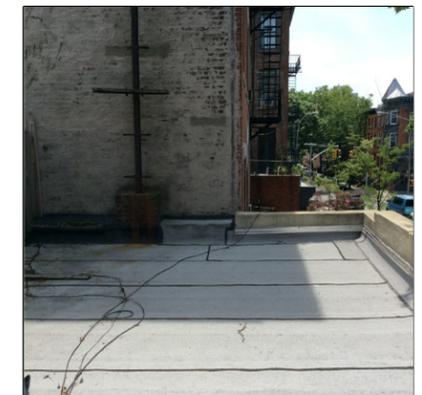
5 CARRIAGE HOUSE SECTION  
1/8" SC.



6 CARRIAGE HOUSE SECTION  
1/8" SC.



9 CARRIAGE HSE - N



10 CARRIAGE HSE - S

Sections & Pictures

A.010





1 FRONT VIEW



2 SW VIEW

- NOTES:
1. PARAPET EXTENSIONS SIGNIFIED BY FRAMING WRAPPED IN ORANGE MESH
  2. NEW RAILINGS SIGNIFIED BY FRAMING WRAPPED IN CHICKEN WIRE (FAINT)
  3. EXISTING METAL RAILING TO BE REMOVED - DISREGARD IN PHOTOS
  4. CARRIAGE HOUSE PARAPETS TO REMAIN - NO EXTENSIONS REQUIRED



3 FRONT



4 NW CORNER

Pictures

A.012

brutus park llc  
ARCHITECTURE



5 W FACADE



6 CARRIAGE HOUSE

Pictures

A.013

brutus park llc  
ARCHITECTURE



7 SW CORNER



8 REAR ELEVATION

Pictures

A.014





1 133A HOYT STREET



2 140 BERGEN STREET

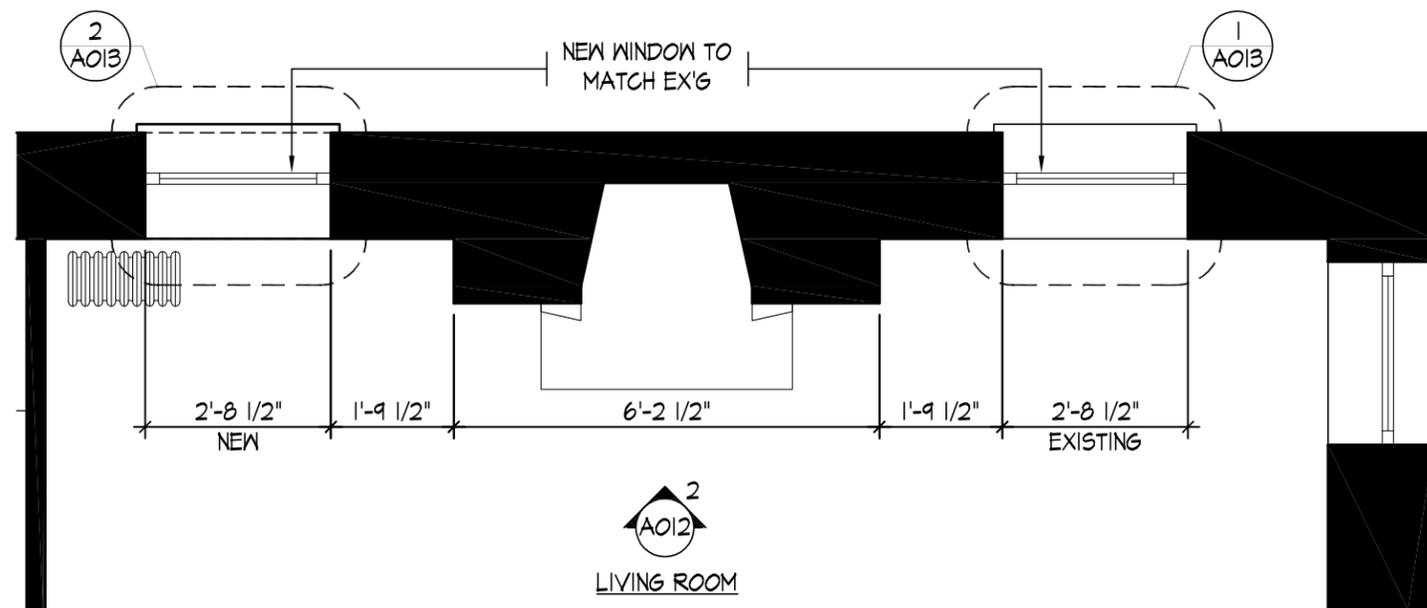
## Comparables in the Historic District

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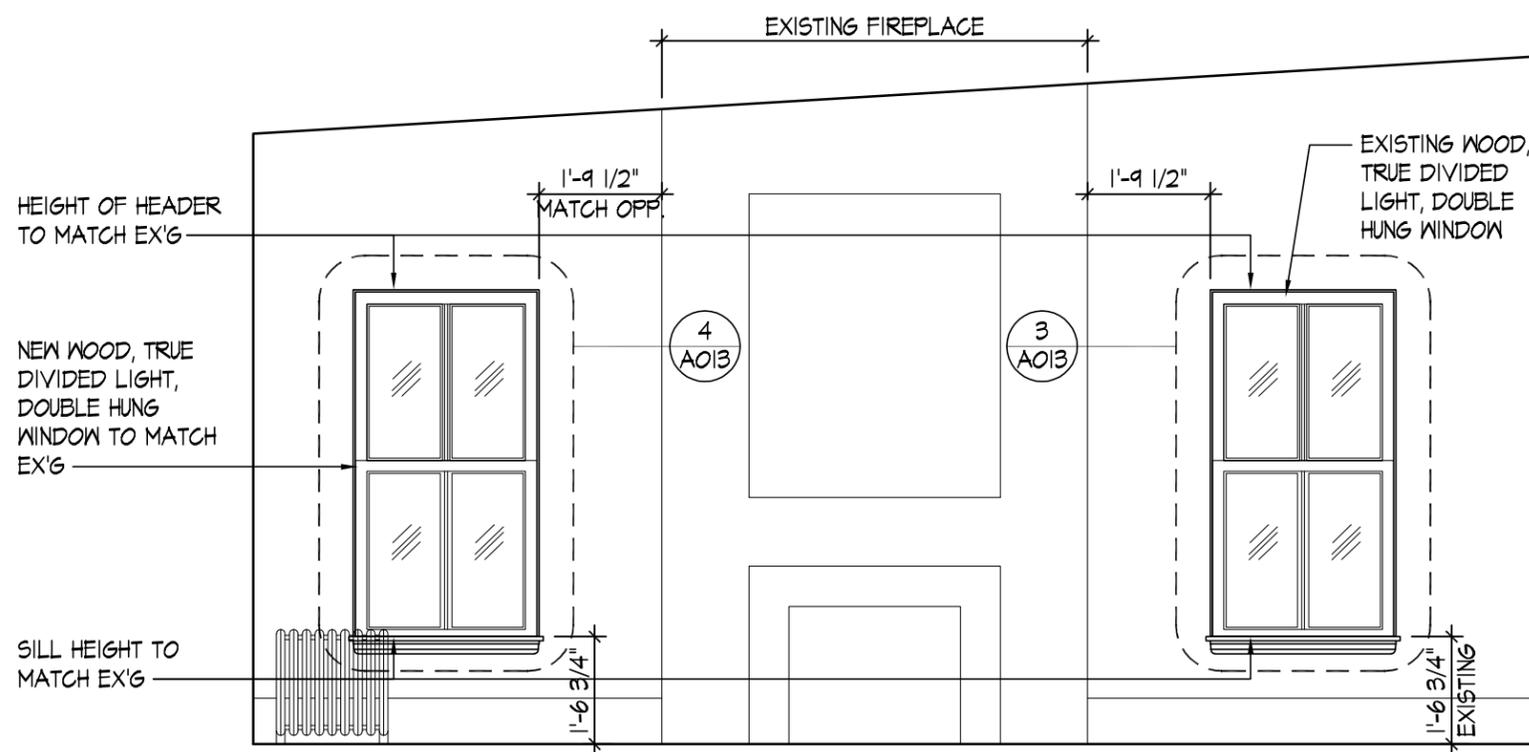
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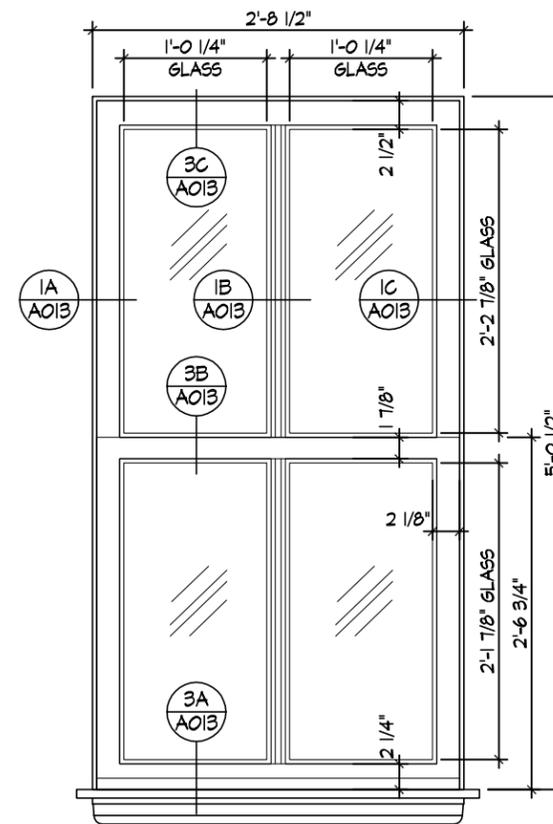
**brutus park** llc  
ARCHITECTURE



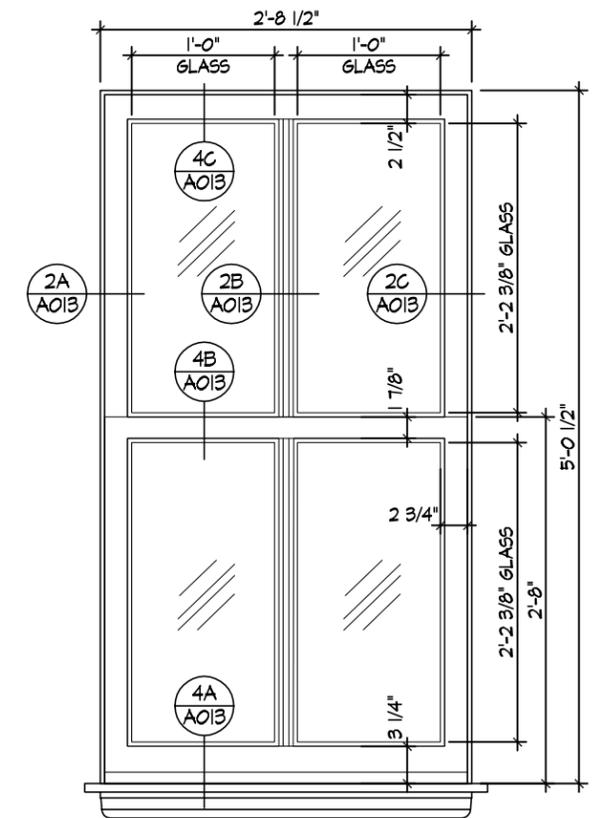
1 PROPOSED LIVING ROOM PLAN  
3/8" SC.



2 PROPOSED LIVING ROOM ELEV.  
3/8" SC.



3 EXISTING WINDOW ELEV.  
3/4" SC.

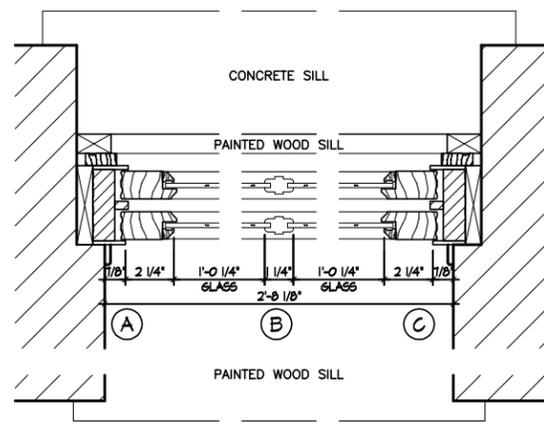


4 PROPOSED WINDOW ELEV.  
3/4" SC.

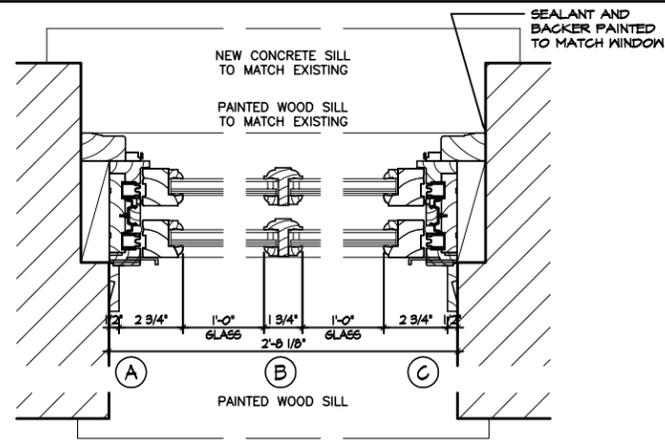
## Proposed 4th Floor Window

A.012

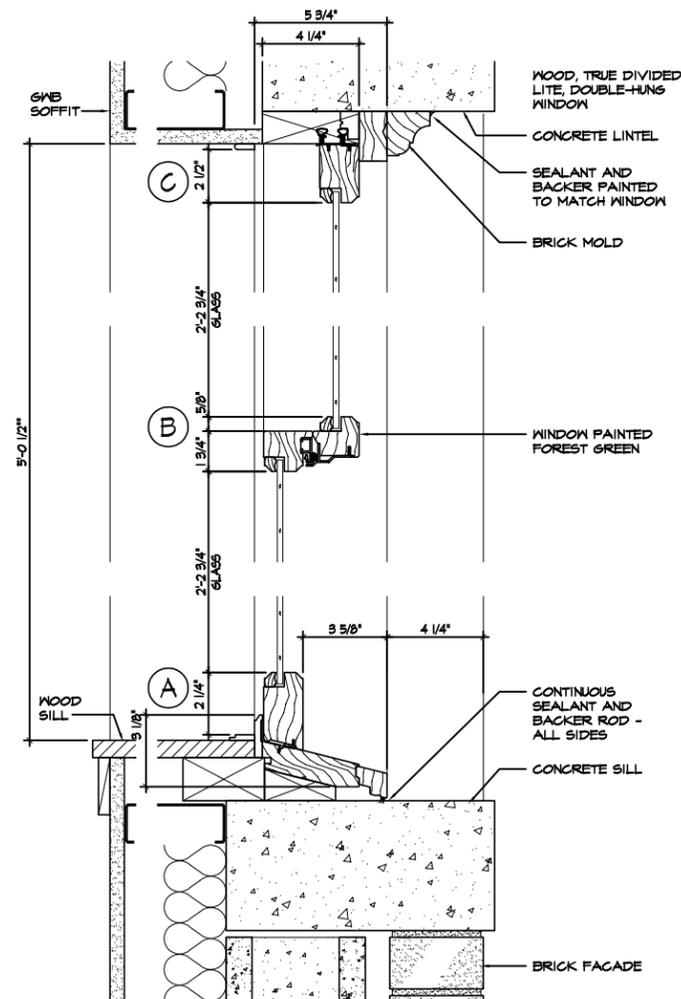
**brutus park** llc  
ARCHITECTURE



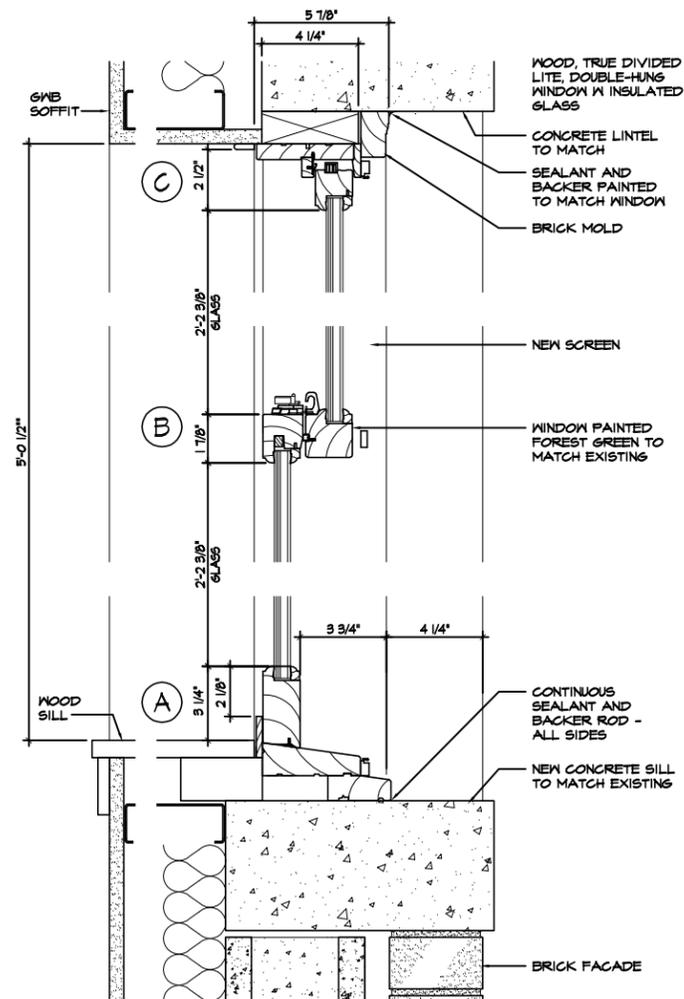
1 EXISTING WINDOW PLAN  
3" SC.



2 PROPOSED WINDOW PLAN  
1 1/2" SC.



3 EXISTING WINDOW SECTION  
3" SC.



4 PROPOSED WINDOW SECTION  
1 1/2" SC.



5 WEST ELEV.



6 WEST WALL



7 WINDOW TO MATCH



8 WINDOW TO MATCH



9 DETAIL



10 DETAIL

## Proposed 4th Floor Window

A.013

brutus park llc  
ARCHITECTURE