

# 190 Columbia Heights, Brooklyn, NY 11201

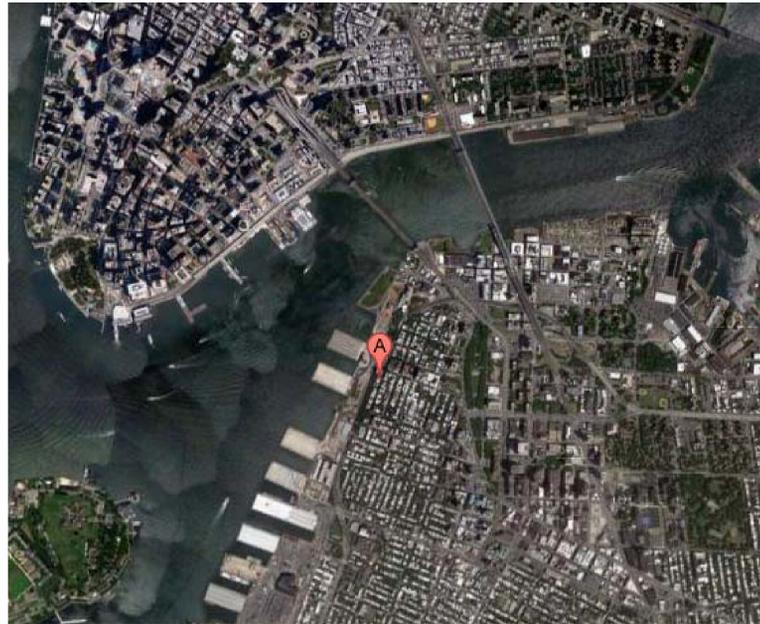
## Block: 208 Lot: 317



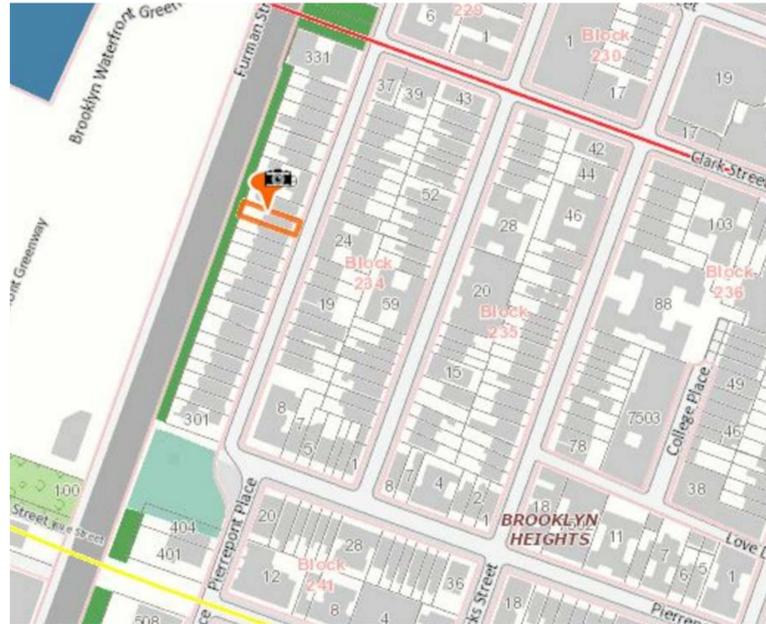
**John H. Hatheway, Jr.**  
**ARCHITECT**

114 Clinton Street, #1H  
Brooklyn, NY, 11201  
tel. 718 855 4414  
fax. 718 855 8680

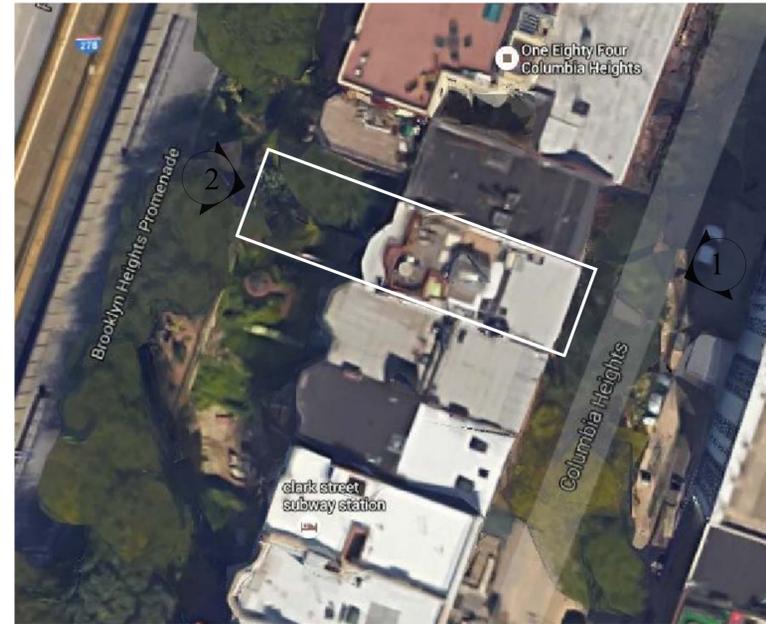
**Owner:**  
**Diane Keehner**  
190 Columbia Heights  
Brooklyn, NY 11201



City Context Map



Neighborhood Map



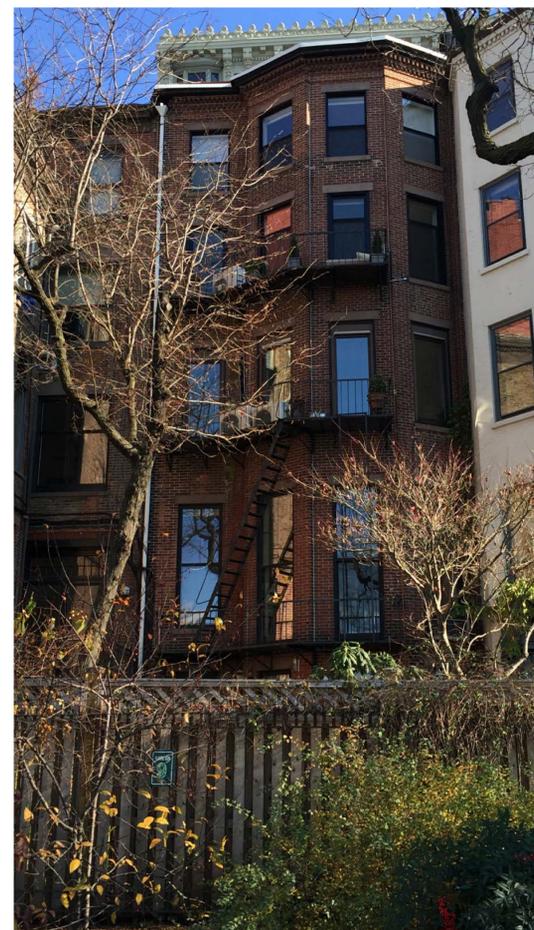
Block Map



Brooklyn Heights Historic District Map



1 Existing front facade



2 Existing rear facade

### Scope of Work:

#### General / Exterior

- Legalize existing tilt/turn windows (4) with roll-down storm shutters at 2nd floor rear facade (aka 3rd floor by LPC).
- Legalize existing single hung windows (3) and tilt/turn window (1) at 3rd floor rear facade (aka 4th floor by LPC).
- Modify AC installation at 2nd floor rear balcony and legalize AC installation at 3rd floor rear balcony (AC compressors to be changed so as to eliminate window obstructions).
- Remove existing exterior AC refrigerant piping at 2nd floor.
- Paint AC units to minimize visibility.

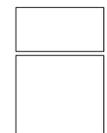
LPC SUBMISSION 05/24/16  
For: Issued:

Seal  
190 COLUMBIA HEIGHTS  
Brooklyn, NY 11201

1513

LPC MAPS, PHOTOS  
AND ELEVATIONS

LPC-001.00



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EXISTING SINGLE-HUNG WINDOWS TO REMAIN, SEE DETAILS DWG 003

EXISTING TILT/TURN WINDOWS TO REMAIN. ROLL DOWN SHUTTERS TO BE PAINTED BLACK TO MATCH ADJACENT WINDOWS, SEE DETAILS DWG 003

CONSOLIDATE EXISTING TWO HVAC UNITS INTO ONE UNIT. RELOCATE UNIT AWAY FROM WINDOW OPENING TO MATCH LOCATION OF HVAC UNIT ABOVE

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LPC SUBMISSION 05/24/16  
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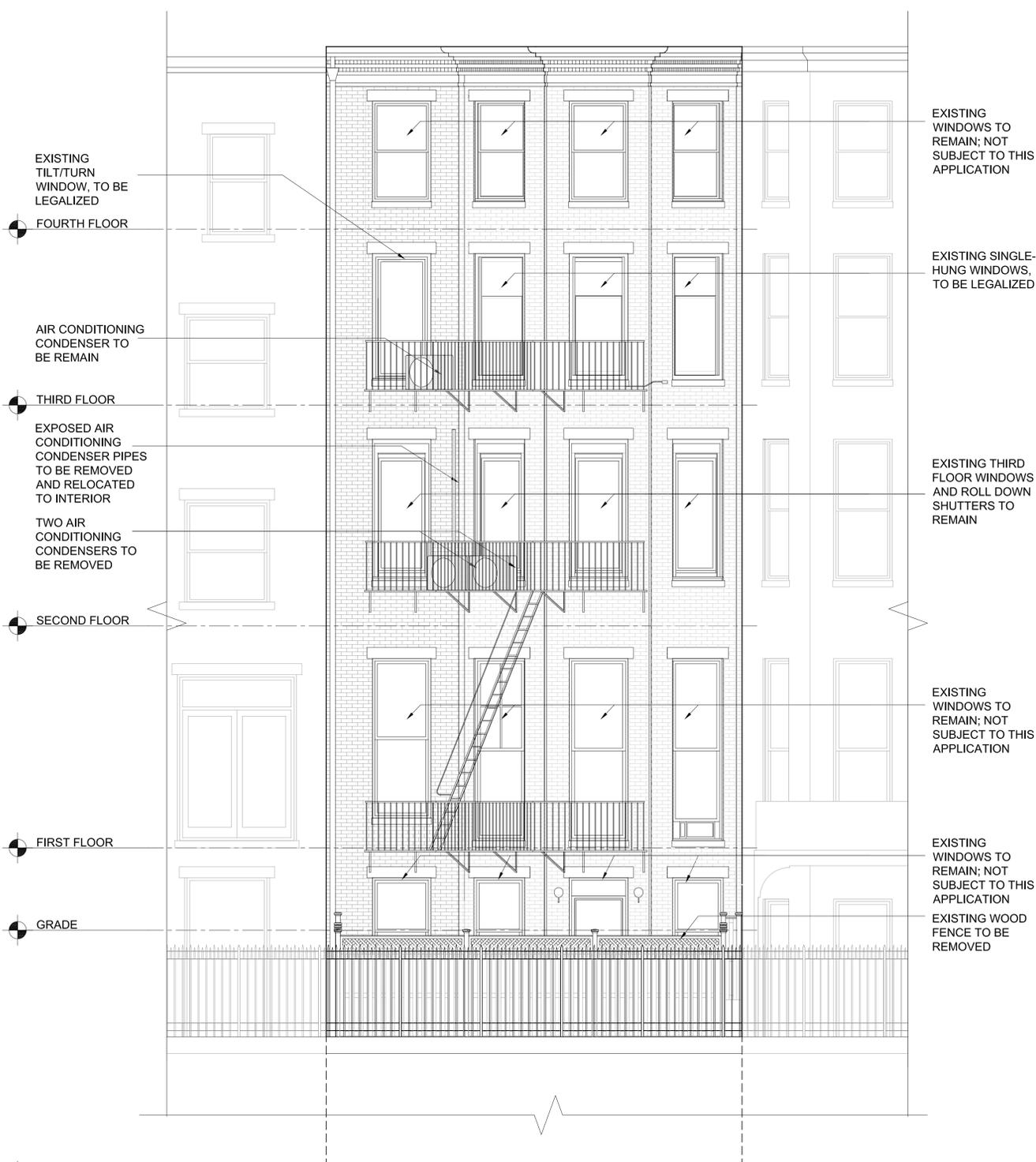
Scale

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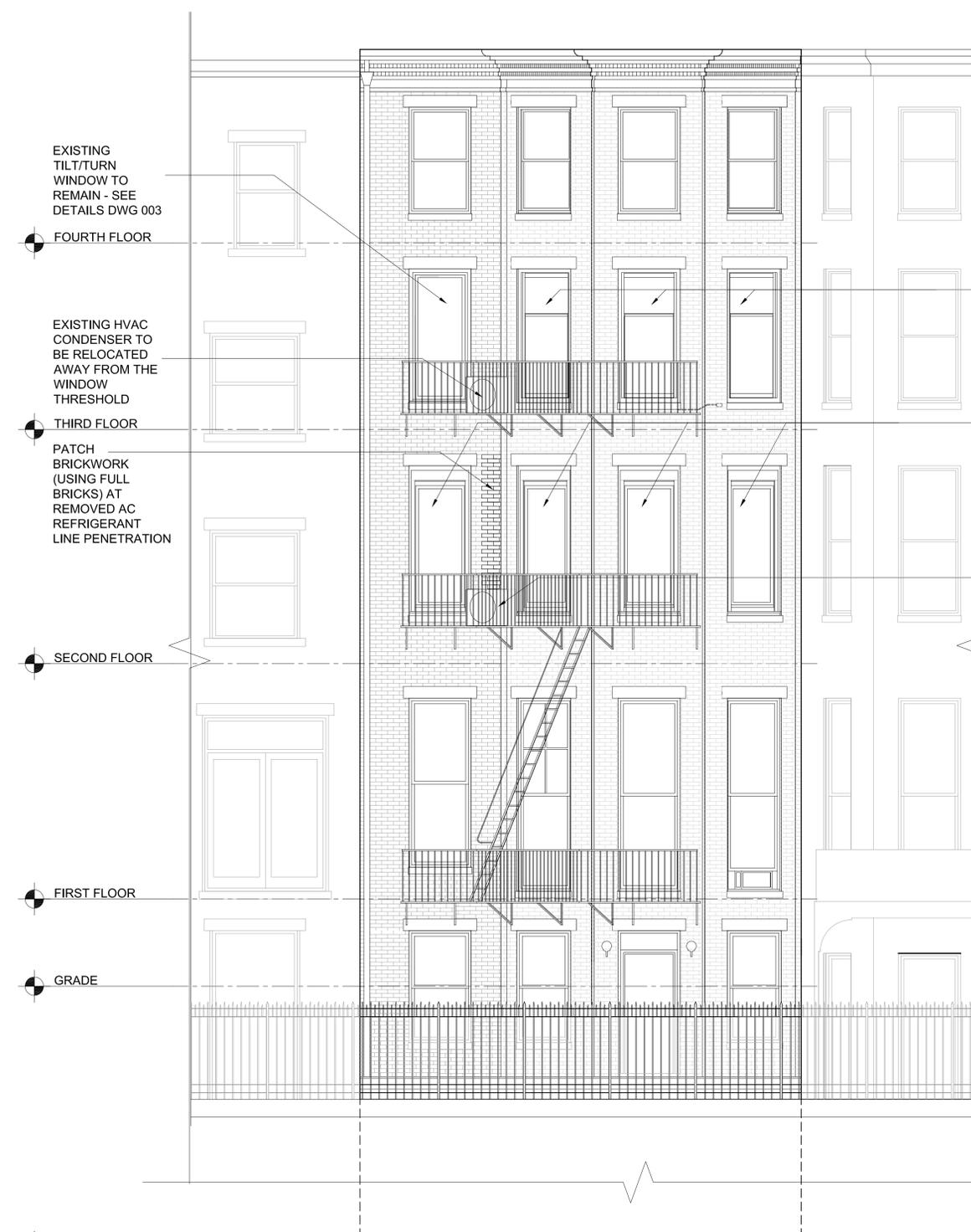
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EXIST. & PROPOSED  
REAR ELEVS.

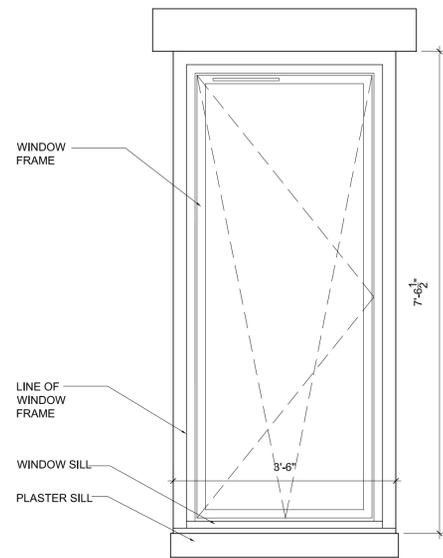
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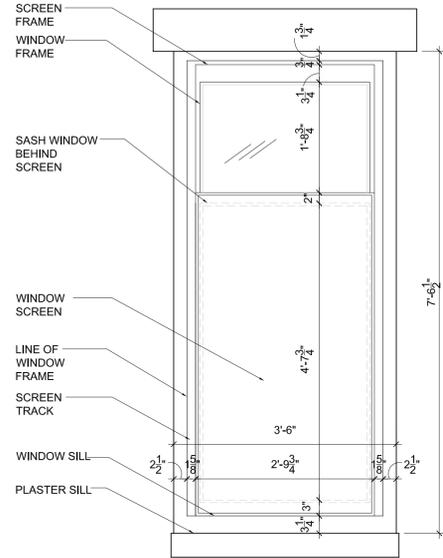
**1** EXISTING REAR ELEVATION  
Scale: 1/4"=1'-0"



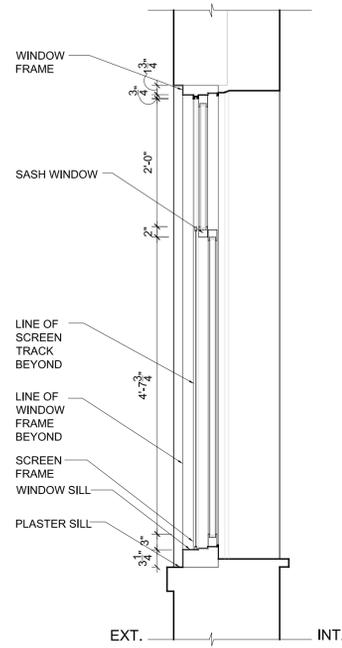
**2** PROPOSED REAR ELEVATION  
Scale: 1/4"=1'-0"



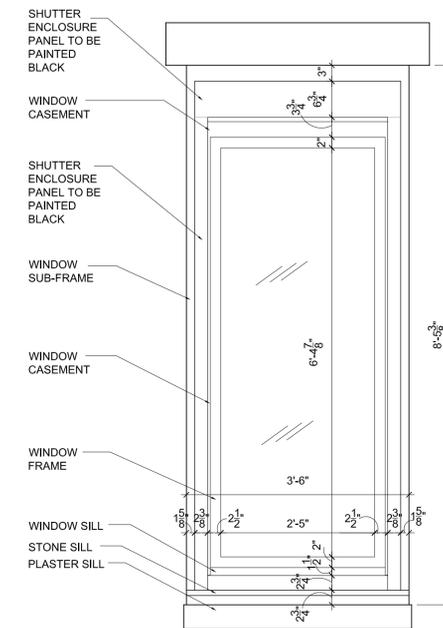
1 EXIST. T/T WINDOW/DOOR ELEV.- 3RD FLR.  
Scale: 3/4"=1'-0"



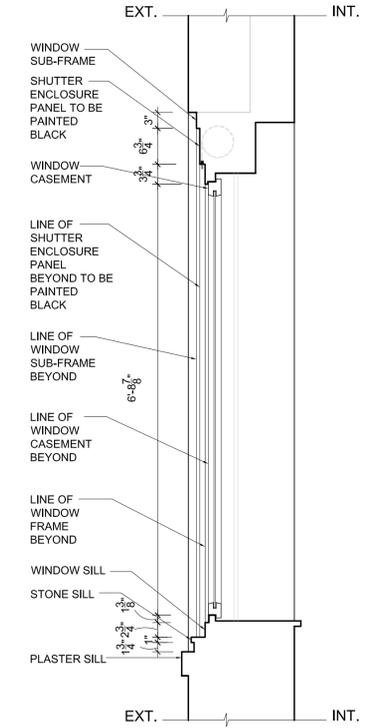
3 EXISTING S.H. WINDOW ELEVATION - 3RD FLOOR  
Scale: 3/4"=1'-0"



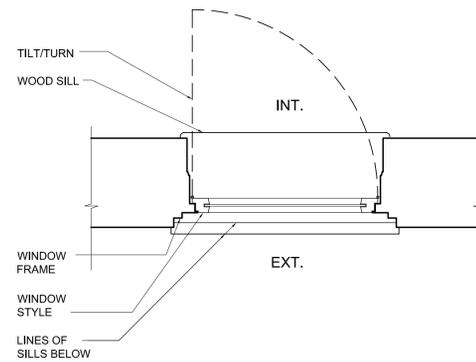
5 EXISTING S.H.WINDOW SECTION  
Scale: 3/4"=1'-0"



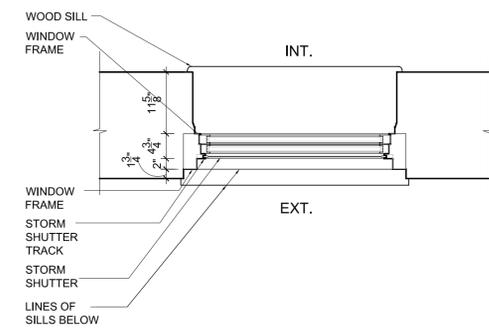
6 EXISTING T/T WINDOW ELEVATION - 2ND FLOOR  
Scale: 3/4"=1'-0"



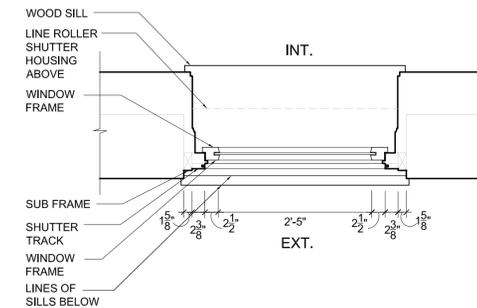
8 EXISTING WINDOW SECTION  
Scale: 3/4"=1'-0"



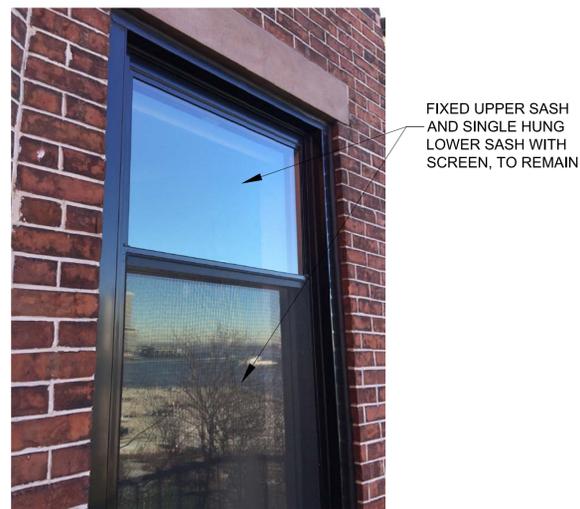
2 EXISTING T/T WINDOW PLAN  
Scale: 3/4"=1'-0"



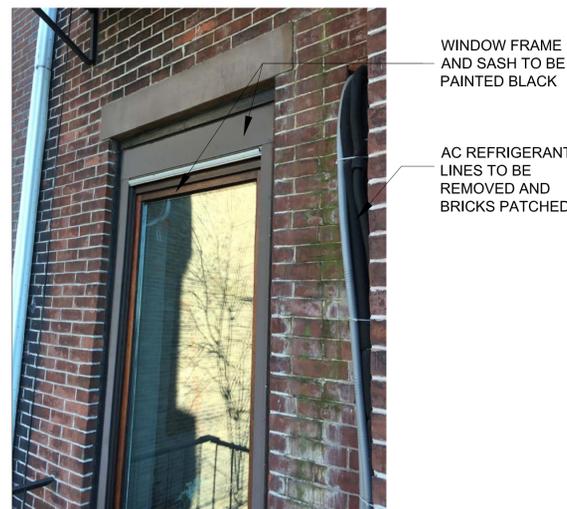
4 EXISTING S.H.WINDOW PLAN  
Scale: 3/4"=1'-0"



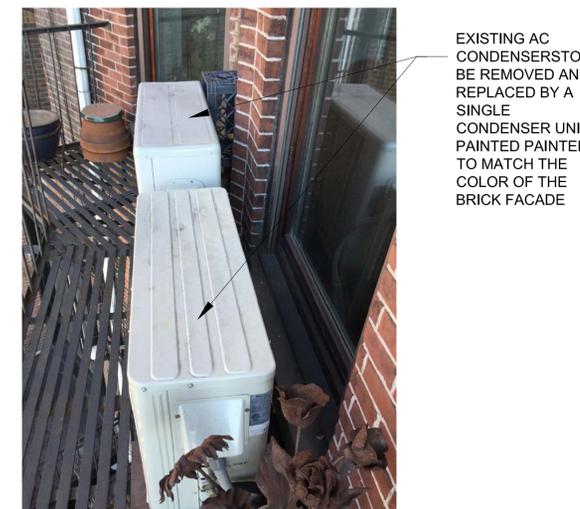
7 EXISTING T/T WINDOW PLAN  
Scale: 3/4"=1'-0"



9 EXISTING S.H.WINDOW-3RD FLOOR  
Scale: 3/4"=1'-0"



10 EXISTING T/T WINDOW-2ND FLOOR  
Scale: 3/4"=1'-0"



11 EXISTING AC UNITS-2ND FLOOR  
Scale: 3/4"=1'-0"



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REFURBISHMENT  
REAR ELEVATION  
CODE COMPLIANT

LPC-003.00

It is a violation of the New York State Education Law for any person, unless acting under the authority of a Registered Architect, to alter any item on these plans in any way. If alterations to these plans are made, they shall be made in accordance with Article 145.



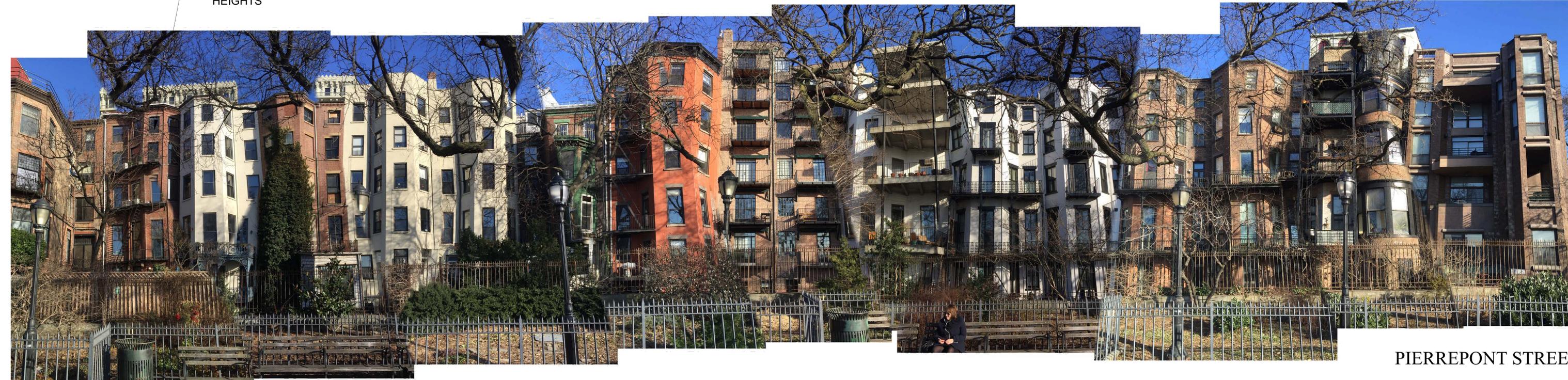
# CONTEXTUAL VIEW : REAR FACADES OF BLOCK NO. 208

190 COLUMBIA HEIGHTS



CLARK STREET

190 COLUMBIA HEIGHTS



PIERREPONT STREET

# 190 COLUMBIA HEIGHTS, 3RD FLOOR REAR - UNEVENLY DIVIDED WINDOWS AND SIMILAR INSTALLATIONS (within a one block radius fronting on the Promenade)



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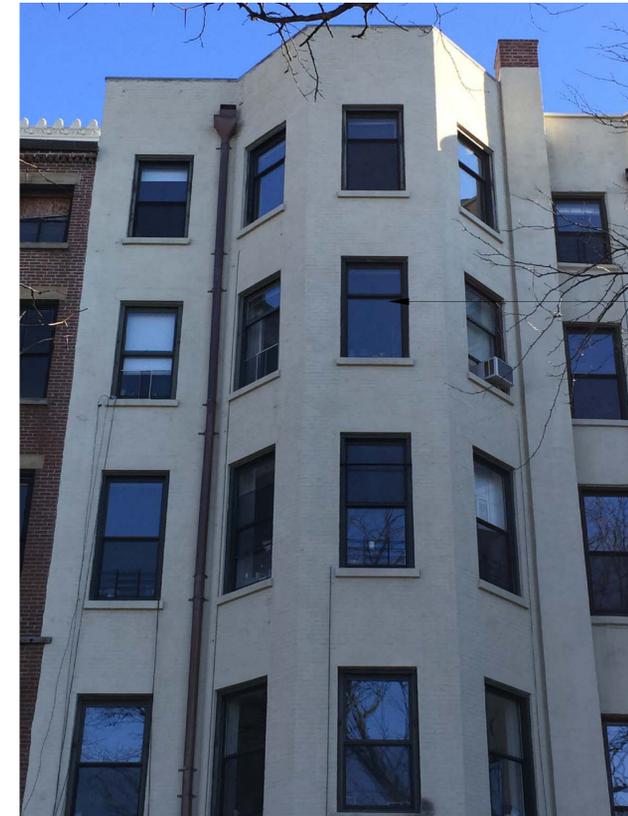


1 EXISTING 3RD FLOOR WINDOWS AT 190 COLUMBIA HTS  
 Scale: NTS



2 218 COLUMBIA HEIGHTS  
 Scale: NTS

# 218

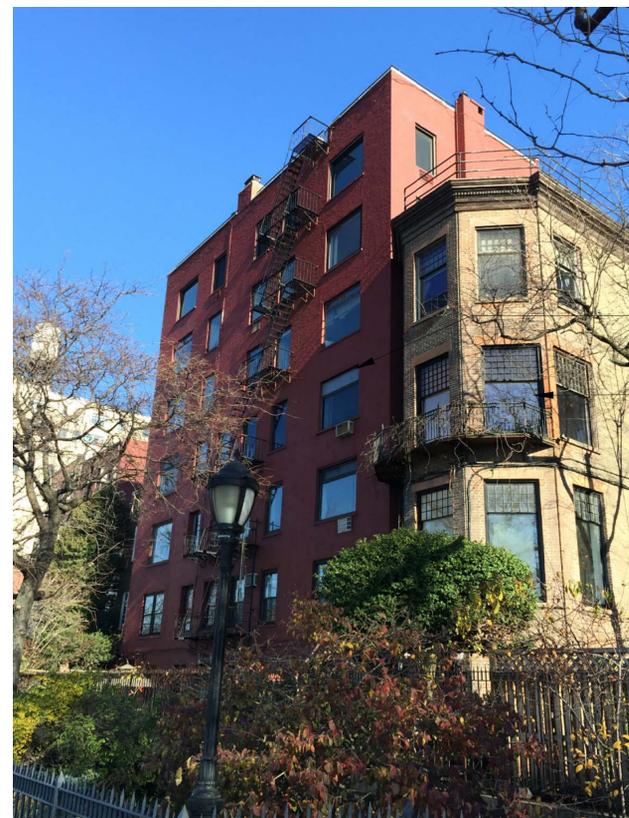


3 196 COLUMBIA HEIGHTS  
 Scale: NTS

# 196



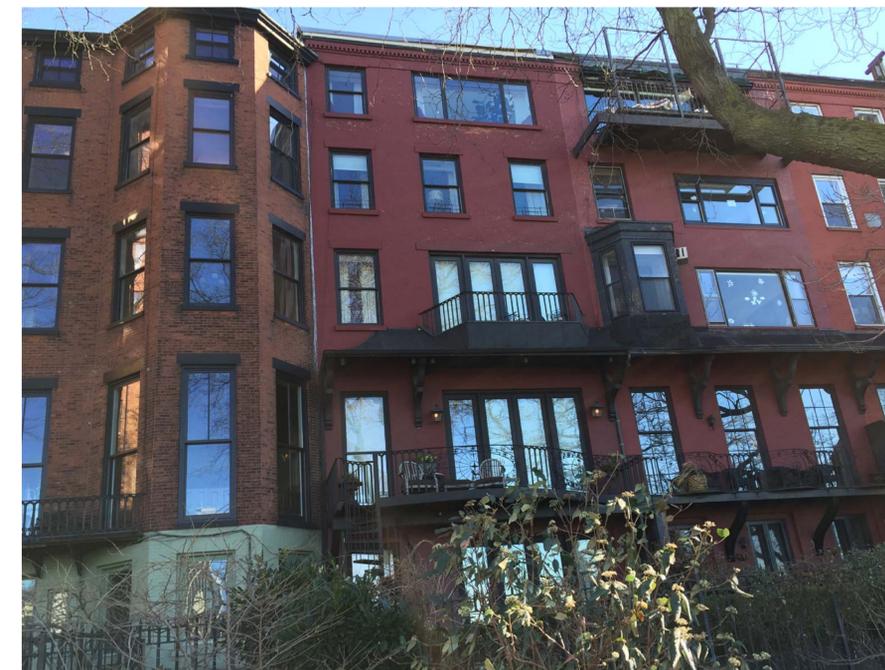
4 170 COLUMBIA HEIGHTS  
 Scale: NTS



5 184/188 COLUMBIA HEIGHTS  
 Scale: NTS

# 184

# 188



6 138-142 COLUMBIA HEIGHTS - VARIOUS INCONSISTENT WINDOW MODIFICATIONS  
 Scale: NTS

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Seal  
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LEGALIZE  
 3RD FLOOR  
 WINDOWS

LPC-005.00

This is a submission to the New York State Department of Environmental Conservation for the purpose of reviewing the proposed changes to the existing building. It is not a final approval. The Department of Environmental Conservation reserves the right to request additional information or to deny the application.



# 190 COLUMBIA HEIGHTS, 2ND FLOOR REAR - SINGLE-LITE WINDOWS AND SIMILAR INSTALLATIONS (within a one block radius fronting on the Promenade)



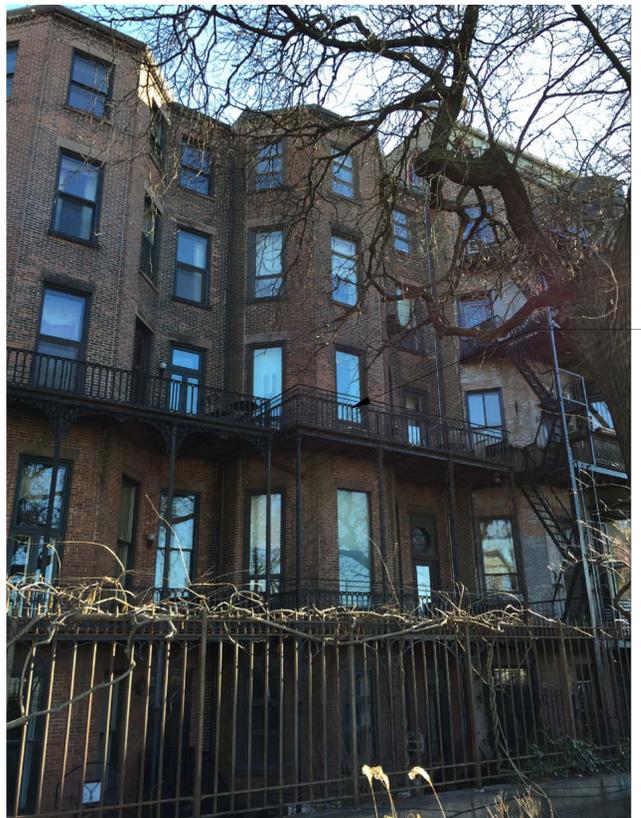
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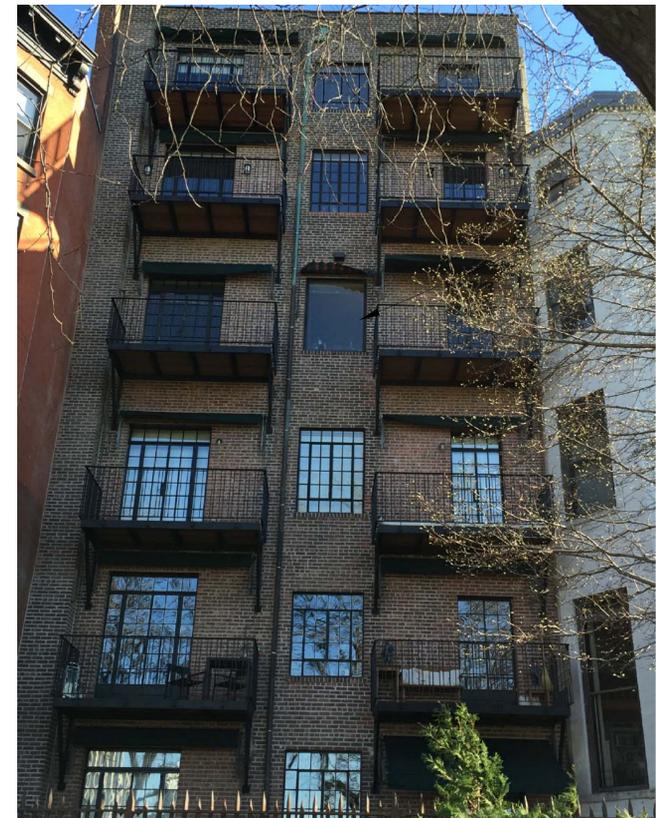
2ND FLOOR  
 SINGLE-LITE  
 WINDOWS

1 EXISTING 2ND FLOOR WINDOWS AT 190 COLUMBIA HTS  
 Scale: NTS



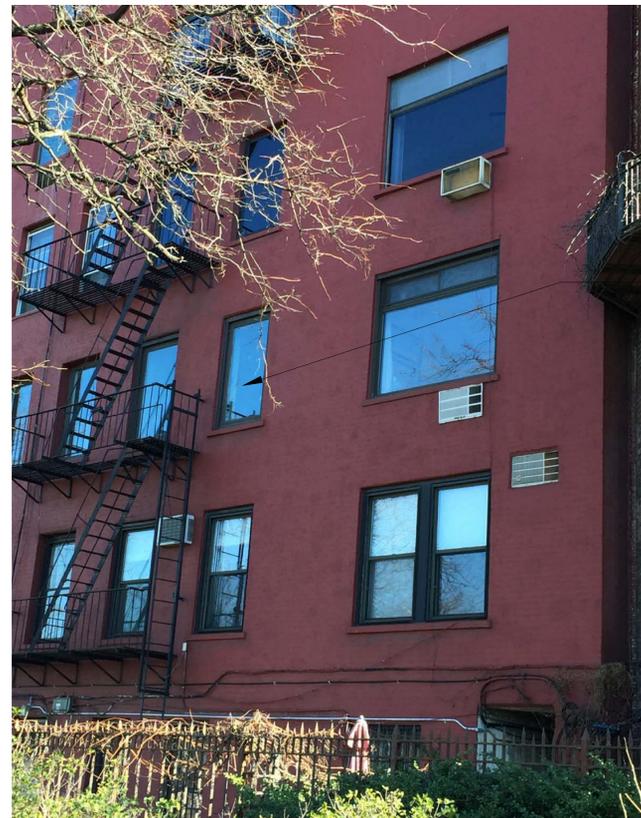
# 218

2 218 COLUMBIA HEIGHTS  
 Scale: NTS



# 204

3 204 COLUMBIA HEIGHTS  
 Scale: NTS



# 184

4 184 COLUMBIA HEIGHTS  
 Scale: NTS



# 170

5 170 COLUMBIA HEIGHTS  
 Scale: NTS



# 102

# 104

6 102 COLUMBIA HEIGHTS  
 Scale: NTS

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LEGALIZE  
 2ND FLOOR  
 WINDOWS

LPC-007.00

This is a submission to the New York State Department of Environmental Conservation for the purpose of a Request for Information. It is not a final decision. It is subject to change without notice. It is not a guarantee of any kind. It is not a contract. It is not a license. It is not a permit. It is not a certificate. It is not a plan. It is not a drawing. It is not a photograph. It is not a video. It is not a document. It is not a file. It is not a folder. It is not a drive. It is not a network. It is not a server. It is not a database. It is not a program. It is not a script. It is not a tool. It is not a utility. It is not a service. It is not a product. It is not a brand. It is not a logo. It is not a trademark. It is not a copyright. It is not a patent. It is not a trademark. It is not a copyright. It is not a patent.



