
839 ST. MARK'S AVENUE

CROWN HEIGHTS, NEW YORK 11213

EXTERIOR RESTORATION AND REAR/SIDE YARD ADDITION

CROWN HEIGHTS HISTORIC ASSOCIATION
FEBRUARY 25, 2016



1929, NYPL

DattnerARCHITECTS

1385 BROADWAY, 15TH FLOOR
NEW YORK, NY 10018
212-247-2660 TEL
DATTNER.COM

EASTONARCHITECTS

20 WEST 44TH STREET, SUITE 604
NEW YORK, NY 10036
212-779-9570 TEL
EASTONARCH.COM

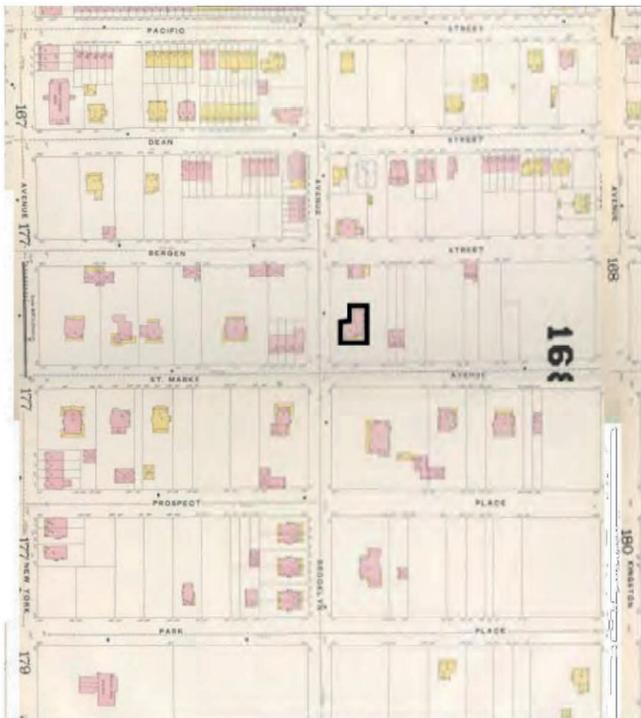


BUILDING INFORMATION

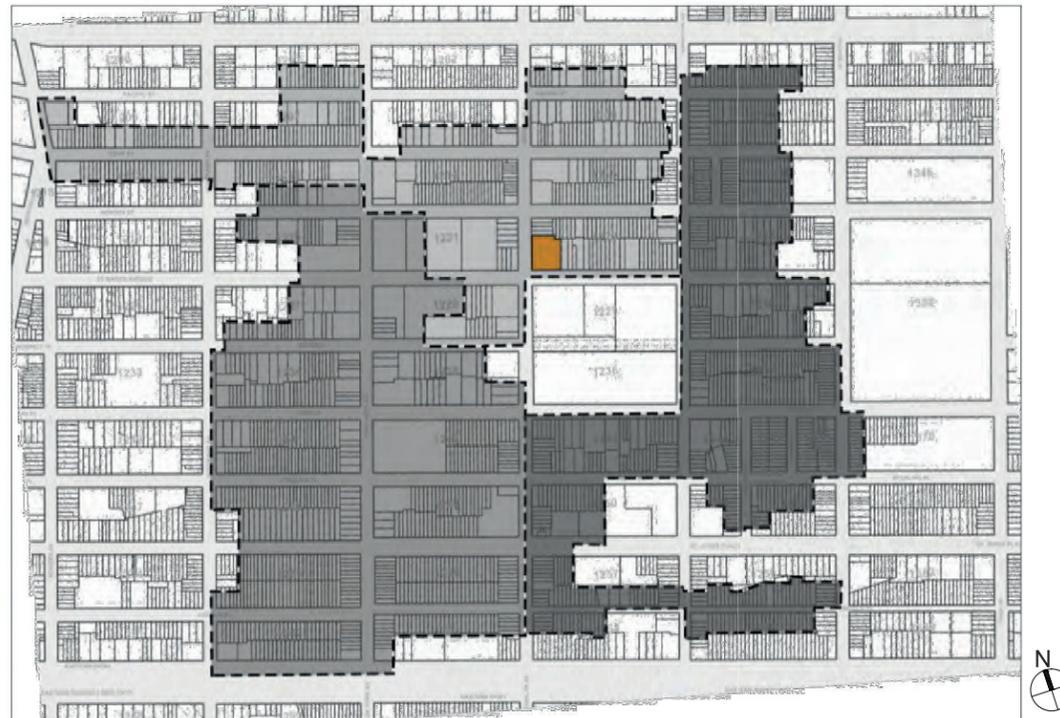
BUILDING NAME: DEAN SAGE RESIDENCE
TAX MAP BLOCK/LOT: 1222/1
DATE: 1870, WITH 20TH CENTURY ADDITION
ARCHITECT: RUSSEL STURGIS
CURRENT OWNER: INSTITUTE FOR COMMUNITY LIVING
TYPE: FREE STANDING HOUSE
FAÇADE: ASHLAR STONE WITH A TAN BRICK ADDITION
NUMBER OF STORIES: TWO-AND-A-HALF STORIES

ONE OF THE OLDEST AND MOST IMPORTANT NINETEENTH-CENTURY MANSIONS REMAINING IN THE CROWN HEIGHTS NORTH DISTRICT, THE DEAN SAGE RESIDENCE WAS CONSTRUCTED SHORTLY AFTER SAGE ACQUIRED THE PARCEL ALONG BROOKLYN AVENUE FROM ST. MARK'S AVENUE TO BERGEN STREET IN MAY OF 1868. SAGE, A WEALTHY BROOKLYN LUMBER DEALER, HIRED RUSSELL STURGIS, THE PROMINENT NINETEENTH-CENTURY ARCHITECT AND CRITIC WHO HAD OPENED HIS ARCHITECTURAL PRACTICE IN NEW YORK CITY IN 1865, TO DESIGN THIS HOUSE. ALTHOUGH SOME CHANGES HAVE BEEN MADE TO THE MANSION, INCLUDING THE REMOVAL, BETWEEN 1929 AND 1940, OF ITS FRONT PORCH, IT REMAINS REMARKABLY INTACT. IT REMAINED A PRIVATE RESIDENCE THROUGH THE 1930S. AFTER THE 1930S, A SINGLE-STORY, BRICK PROJECTING BAY WITH ASHLAR STONE VENEER WAS CONSTRUCTED AT THE EASTERN END OF THE MAIN FAÇADE. THE TAN-BRICK ADDITION THAT EXTENDS FROM THE NORTH FAÇADE OF THE MANSION APPEARS TO HAVE BEEN ADDED AFTER THE PROPERTY WAS CONVERTED TO INSTITUTIONAL USE IN 1975, WHEN THE COMPLEX WAS OCCUPIED BY THE ST. LOUIS SENIOR CITIZEN CENTER. TODAY THE PROPERTY IS A RESIDENCE FOR PEOPLE WITH MENTAL AND DEVELOPMENTAL DISABILITIES OPERATED BY THE NOT-FOR-PROFIT INSTITUTE FOR COMMUNITY LIVING.

④ 1929 - 839 ST. MARK'S AVENUE (NYPL)

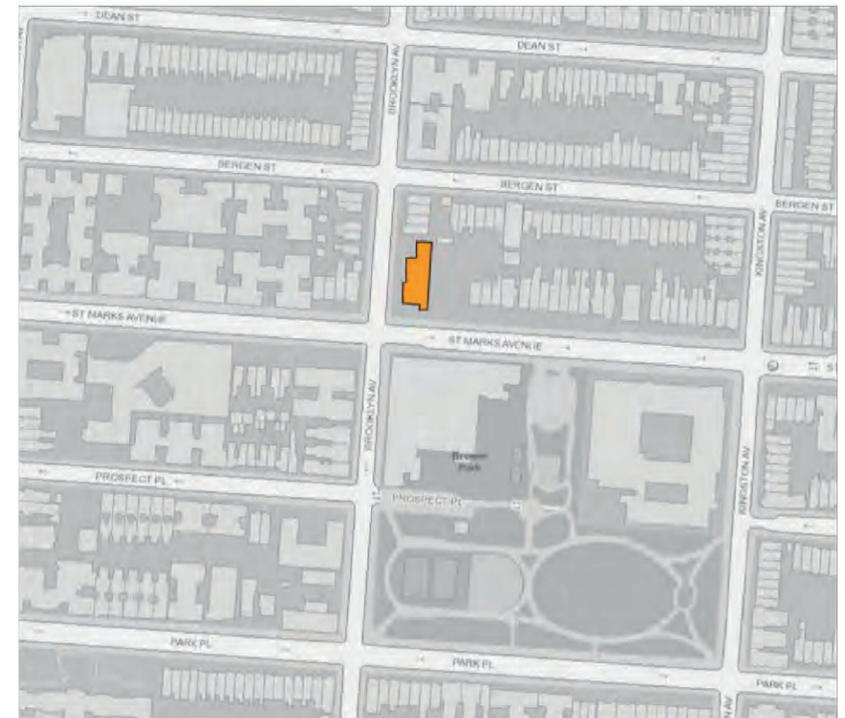


① 1888 SANBORN MAP
SCALE: N.T.S.



② NYC LPC CROWN HEIGHTS NORTH HISTORIC DISTRICT MAP
SCALE: N.T.S.

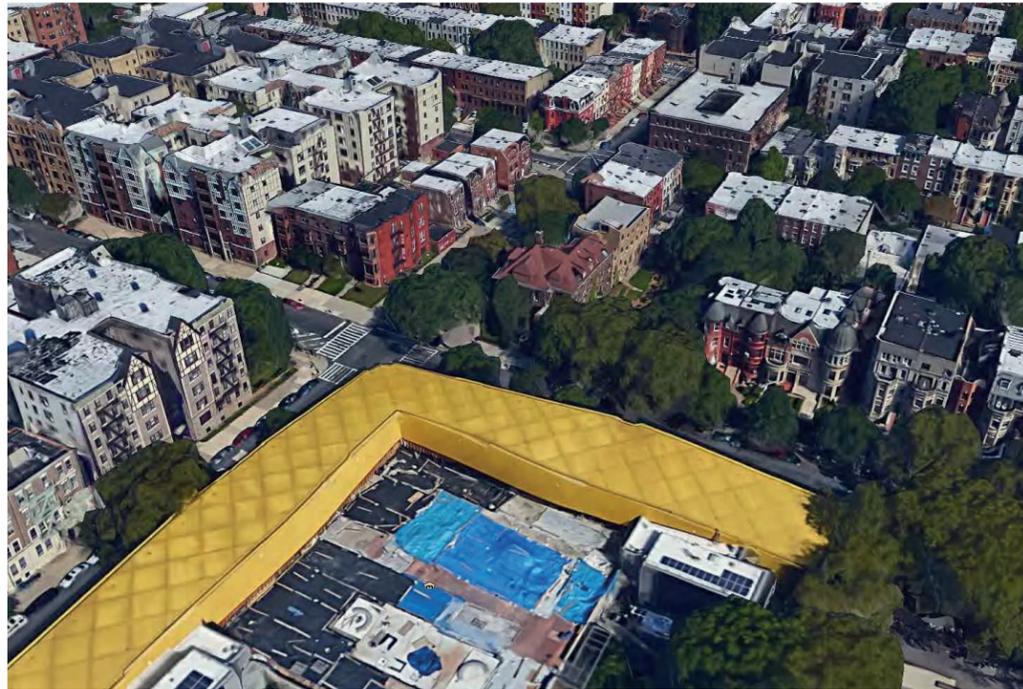
--- HISTORIC DISTRICT BOUNDARY
 839 ST. MARK'S AVENUE
 PHASE I - 2007
 PHASE II - 2011
 PHASE III - 2015



③ 2015 GIS SITE PLAN - CITY OF NEW YORK
SCALE: N.T.S.



③ AERIAL IMAGE OF EXISTING MANSION WITH PROPOSED ADDITION



① AERIAL IMAGE OF EXISTING MANSION



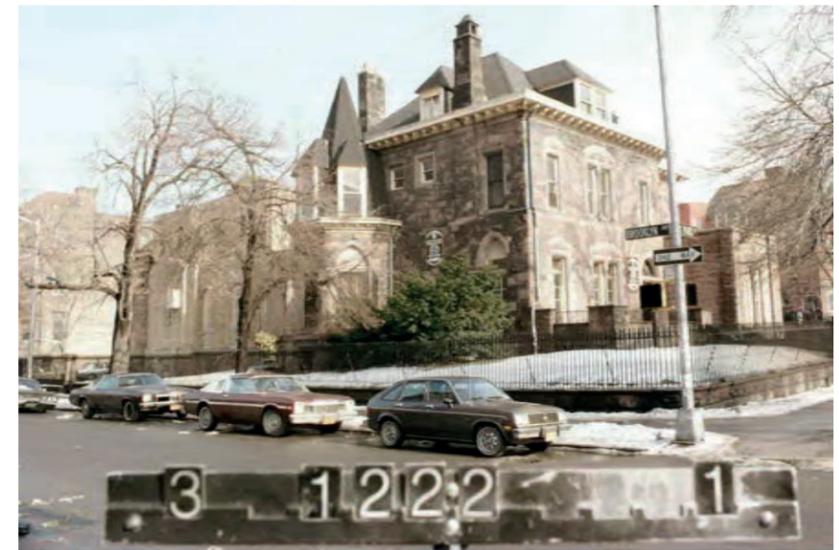
② STREET-VIEW RENDERING LOOKING NORTHEAST FROM THE INTERSECTION OF BROOKLYN AVENUE AND ST. MARK'S AVENUE



③ OVERALL PHOTO OF WEST ELEVATION
DATE: 03.24.2015



④ 1940S TAX PHOTO



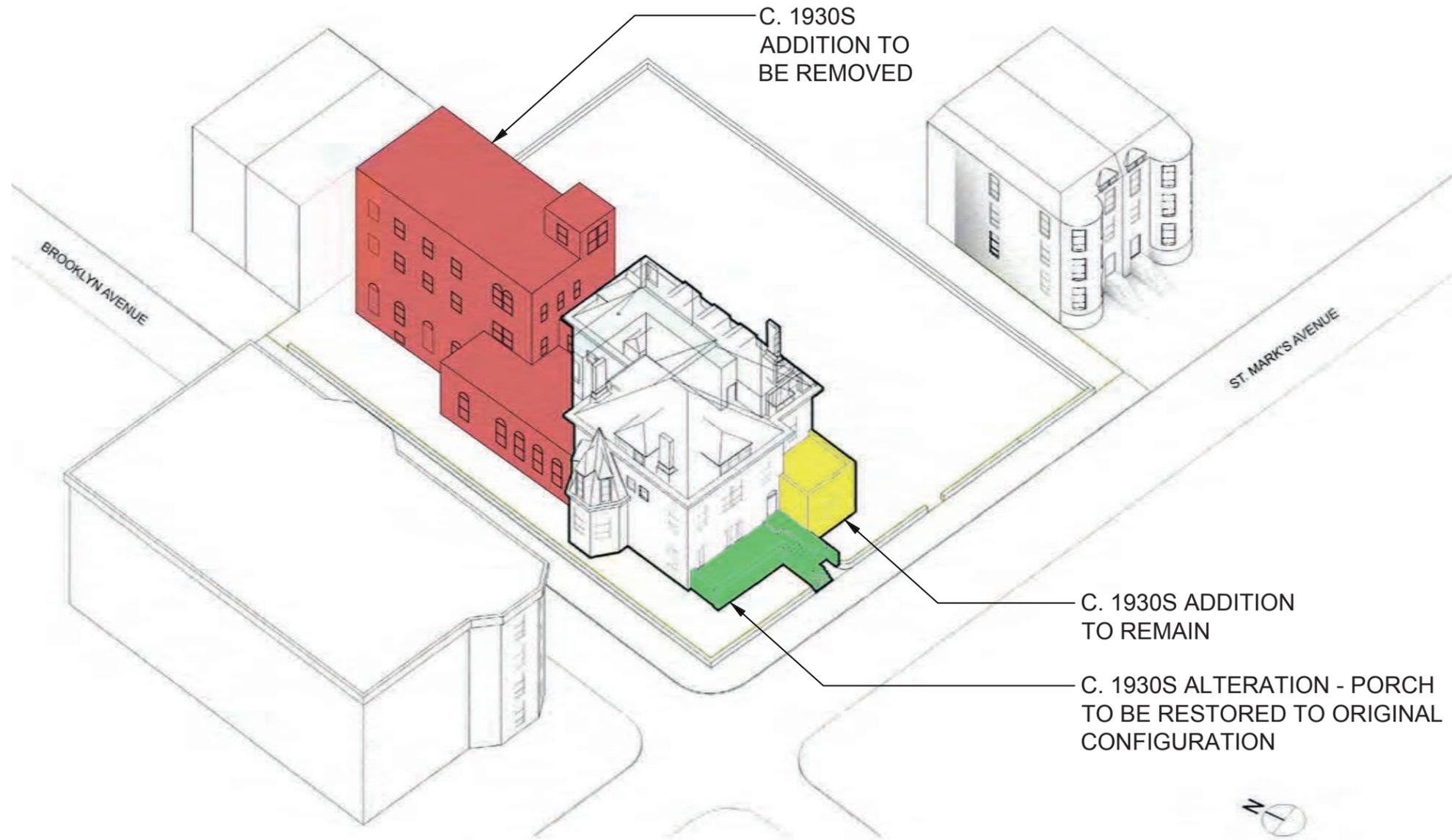
⑤ 1980S TAX PHOTO



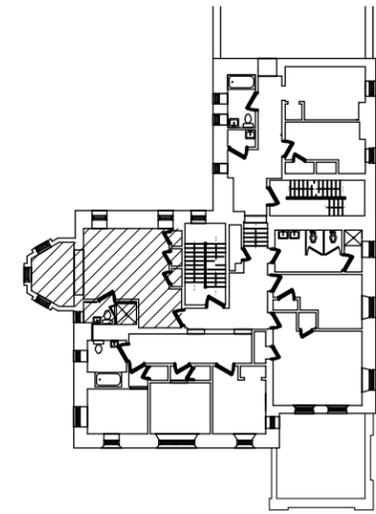
① OVERALL PHOTO OF SOUTH ELEVATION
DATE: 11.18.2015



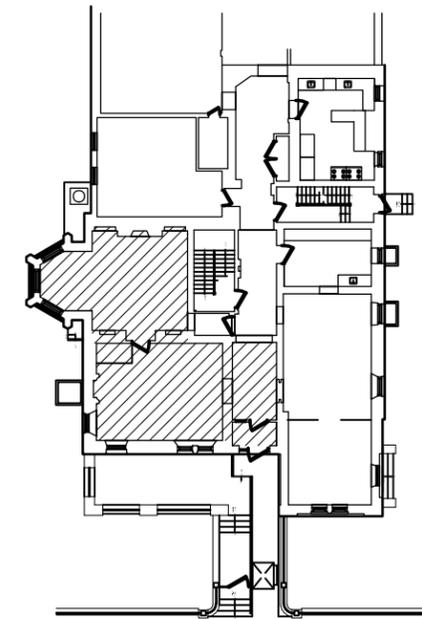
② OVERALL PHOTO OF EAST ELEVATION
DATE: 02.02.2016



1 AXONOMETRIC VIEW OF CURRENT BUILDING



3 EXISTING SECOND FLOOR PLAN
 SCALE: 1/32" = 1'-0"



2 EXISTING FIRST FLOOR PLAN
 SCALE: 1/32" = 1'-0"



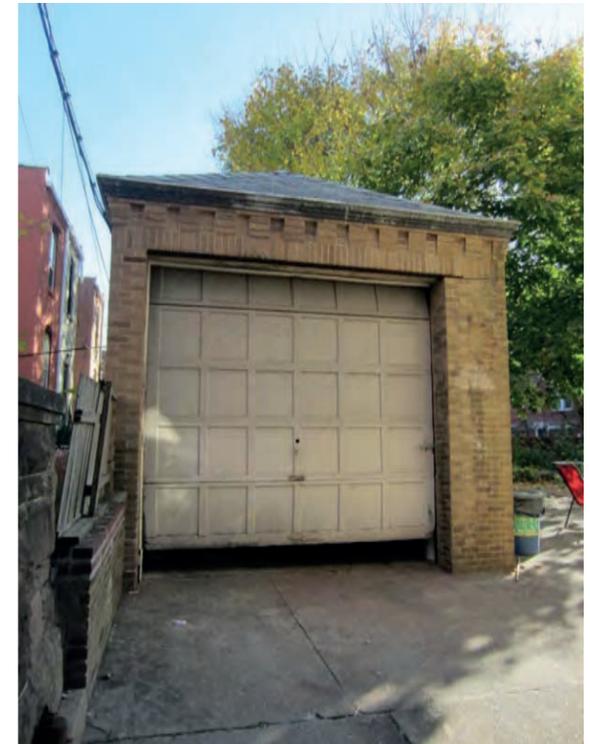
REAR ALLEY WAY AT NORTH SIDE OF BUILDING

4 PHOTOGRAPHED: 11.18.2015



EAST FACADE

5 PHOTOGRAPHED: 11.18.2015



ONE STORY GARAGE ADDITION AT NORTH SIDE OF BUILDING

6 PHOTOGRAPHED: 11.18.2015



SOUTHWEST CORNER OF 839 ST. MARK'S AVENUE

1 PHOTOGRAPHED: 03.24.2015

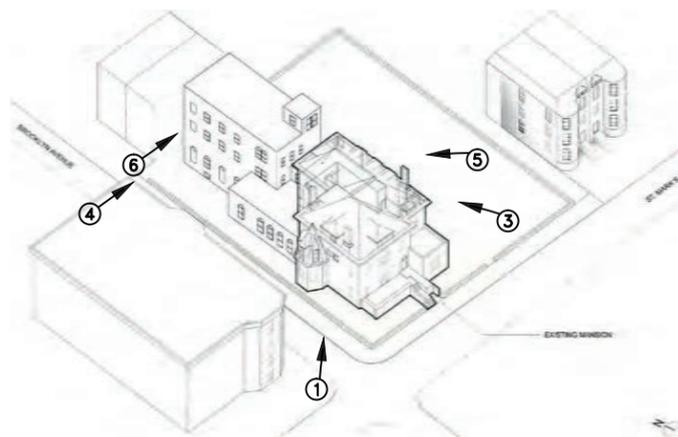


PHOTO KEY



SIDE YARD GARDEN LOOKING NORTH

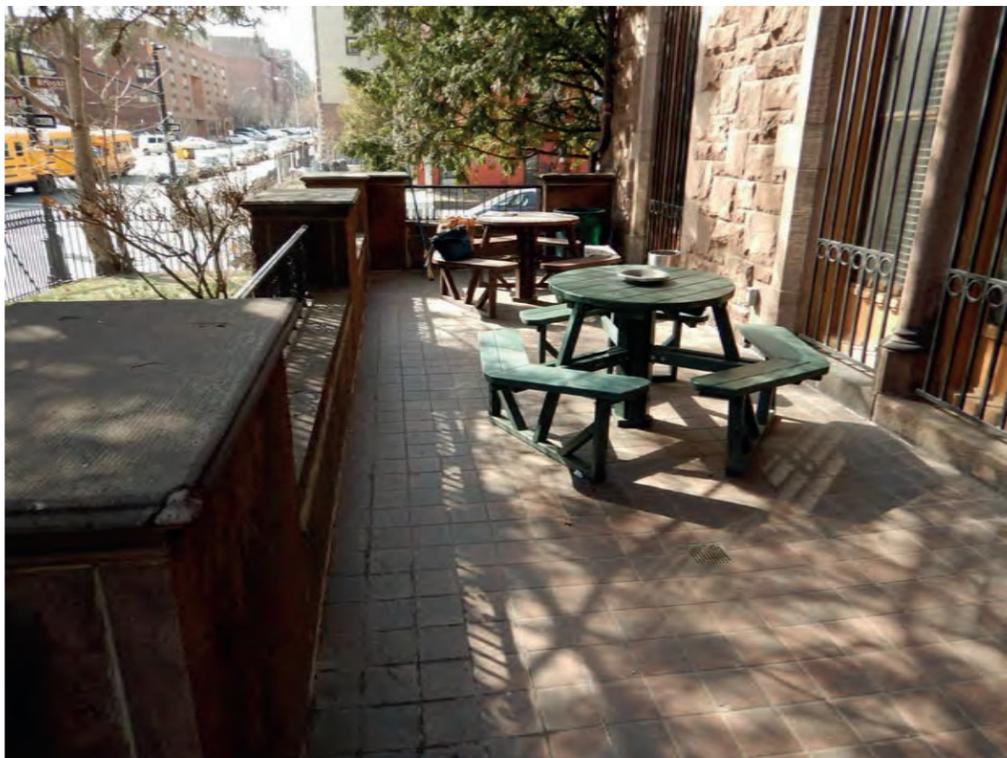
3 PHOTOGRAPHED: 03.24.2015



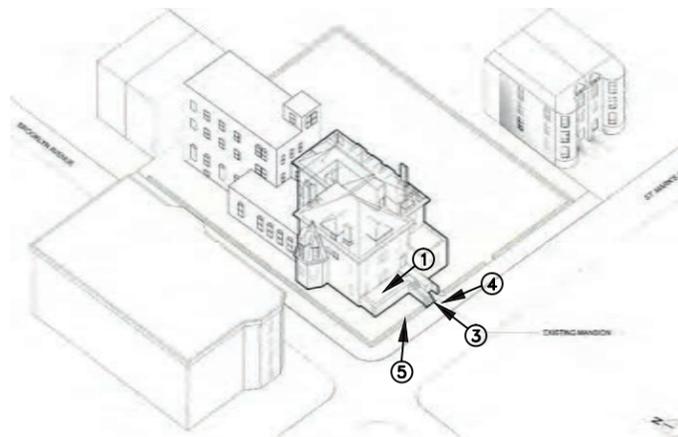
4 FRONT YARD KNEEWALL AT MAIN ENTRANCE
PHOTOGRAPHED: 05.05.2015



5 FRONT YARD AT MAIN ENTRANCE
PHOTOGRAPHED: 03.24.2015



1 FRONT PORCH (ALTERATION)
PHOTOGRAPHED: 03.24.2015



2 PHOTO KEY



3 PREVIOUS LOCATION OF HANDICAP LIFT AT MAIN ENTRANCE
PHOTOGRAPHED: 11.18.2015



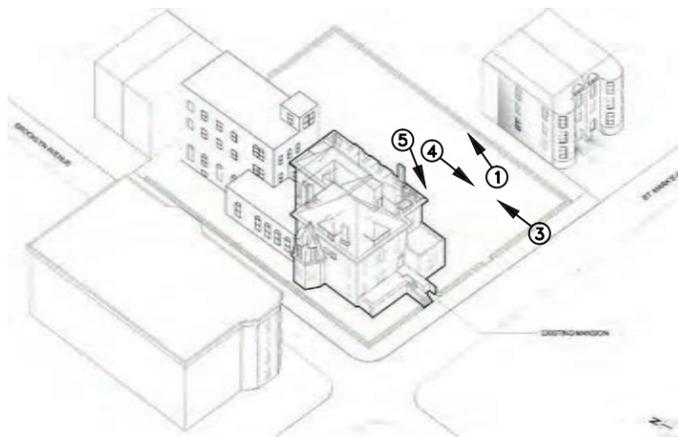
④ SIDE YARD GARDEN LOOKING SOUTH
PHOTOGRAPHED: 05.05.2015



⑤ SIDE YARD GARDEN LOOKING SOUTHWEST
PHOTOGRAPHED: 11.18.2015



① SIDE YARD GARDEN WALL
PHOTOGRAPHED: 05.05.2015



② PHOTO KEY



③ SIDE YARD GARDEN LOOKING NORTH
PHOTOGRAPHED: 11.18.2015



② ONE STORY ADDITION (C. 1930S)
PHOTOGRAPHED: 03.24.2015



③ SOUTH ELEVATION
PHOTOGRAPHED: 11.18.2015



④ SOUTH ELEVATION
PHOTOGRAPHED: 11.18.2015



① SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

RESTORATION SCOPE OF WORK NOTES

GENERAL NOTES

- G1 Contractor is responsible to document and photograph all existing conditions within the scope of work area prior to any disassembly and cutting of masonry elements.
- G2 Prior to resetting all salvaged masonry, masonry shall be cleaned of foreign substances, i.e. mortar bitumen, etc.
- G3 Contractor shall notify architect and structural engineer one week prior to all disassembly, reassembly of portions of masonry for inspection.
- G4 Where new or existing masonry is to be installed, mason shall verify in field the structural integrity of the interface as required, minor or local repairs shall be made with brick mortar type "N" or as approved by architect.
- G5 The contractor shall protect all existing surfaces for the duration of the contract and shall repair any damage to surfaces resulting from work at no extra cost or contract time. All damage resulting from the removals shall be documented by contractor on drawings. Such items shall be repaired or replaced to the satisfaction of the architect and owner.
- G6 These documents do not indicate cutting, patching and protection of interior spaces or features, which is the responsibility of the contractor.
- G7 The property has been determined to possess historic and architectural significance, the contractor shall recognize that all aspects of the property may potentially contribute to the significance and the contractor shall not judge the relative significance of any features nor the impact of any or all proposed work, the responsibility shall rest solely with the architect. Consequently no deviations from the contract documents shall be performed and no features shall be altered, removed, reused or taken from the premises without the written approval of the architect as being consistent with the requirements of the contract documents. All work shall comply with the secretary of the interior standards for the treatment of historic properties.

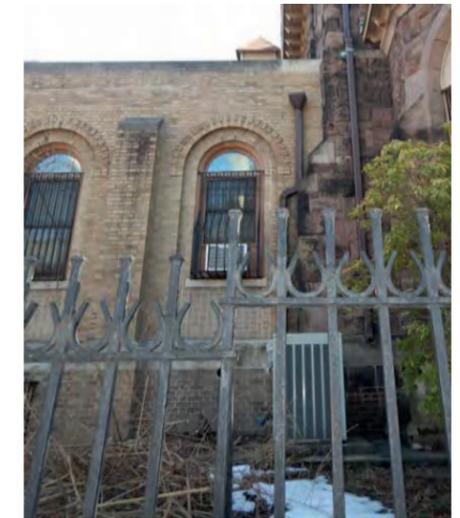
ARCHITECTURAL NOTES

- A1 Provide shoring and bracing of all building components and features to remain in place during the course of construction. Refer to specification section 02040.
- A2 Provide and install new sandstone masonry units identified for replacement. New units to match original in texture, profile dimension and color. Refer to specification section 04200.
- A3 Cut out and repoint mortar joints of existing masonry including all horizontal and vertical surfaces and projections. (100%) Repointing mortar to match original in composition, color, tooling, etc. Refer to specification section 04510.
- A4 Perform masonry repairs required at areas identified on drawings including but not limited to removal of coatings and inappropriate repair materials and workmanship; perform composite patching repairs in areas of mechanical damage and minor surface deterioration as indicated on drawings (allowance = 100 SF) and crack repairs (allowance = 50 LF) and Dutchman repairs in areas of sever deterioration and surface loss. Refer to specification section 04520.
- A5 Perform masonry repairs to stabilize the garden wall including select disassembly and reassembly of portions of displaced masonry. Refer to specification section 04520.
- A6 Remove vegetation & plant growth rooted in exterior masonry. Refer to specification section 04900.
- A7 Remove biological growth and general soiling from existing masonry at all facades. (100%) Refer to specification section 04900.
- A8 Repair and restore the wrought iron fence and gate surrounding the perimeter garden wall. Remove all surface corrosion and paint down to bare metal, perform repairs and select area replacement units, prime and paint. Secure to garden wall using stainless steel connections. Refer to specification sections 05720 and 09900.
- A9 Repair and restore wrought iron grilles and window guards as indicated on drawings. Remove all surface corrosion and paint down to bare metal, perform repairs and select area replacement units, prime and paint. Secure to masonry surrounds using stainless steel connections. Refer to specification sections 05720 and 09900.
- A10 Repair and restore the wood cornice and box gutter including all moldings, dentils and trim, new wood Dutchman to match existing wood species, reline box gutter with copper, securely attach to building structure insuring proper pitch to drainage elements. Scrape, prime and paint all wood surfaces, color to be approved by Architect and NYCLPC. Refer to specification sections 06200 and 09900.
- A11 Repair and restore wood dormers including moldings, panels and trim. new wood Dutchman to match existing wood species. Scrape, prime and paint all wood surfaces, color to be approved by Architect and NYCLPC. Refer to specification sections 06200 and 09900.
- A12 Repair and restore the existing pitched roof including main roof, dormers and tower roofs with new wood shingle roof to match historic material and appearance. Provide new underlayment, ice and water shield and copper flashing. Refer to specification sections 07160, 07210, 07460 and 07620.
- A13 Replace flat roofing membrane waterproofing with new cold fluid applied waterproofing and flashing. Refer to specification section 07121.
- A14 Repair or replace the existing skylights on the small dormer and flat roof sections. Refer to specification section 07720.
- A15 Replace windows with new wood sash and frame units to match the original configuration based on historic documentation. Color to be approved by Architect and NYCLPC. Refer to specification sections 08550 and 09900.
- A16 Replace all exterior drainage components including but not limited to downspouts, gutters, leaders and fasteners with new copper components. Refer to specification sections 07620 and 15020.
- A17 Perform conservation testing and paint analysis for the interior spaces retaining historic features (Rooms 101, 102, 104, 106 and 206). Refer to specification section 09900.
- A18 Repair and restore existing flat and ornamental plaster and prime and paint in the interior spaces retaining historic features (Rooms 101, 102, 104, 106 and 206). Refer to specification sections 09220 and 09900.
- A19 Restore the existing fireplaces, hearths and ornamental surrounds in the interior spaces retaining historic features (Rooms 101, 102, 104, 106 and 206). Refer to specification sections 04520 and 09220.
- A20 Restore the existing wood plank flooring in Room 101. Refer to specification section 09640.
- A21 Remove existing inappropriate flooring and perform repairs to the underlayment, replace with wood plank floors to match existing remaining wood in species, size and finish. Refer to specification section 09640.

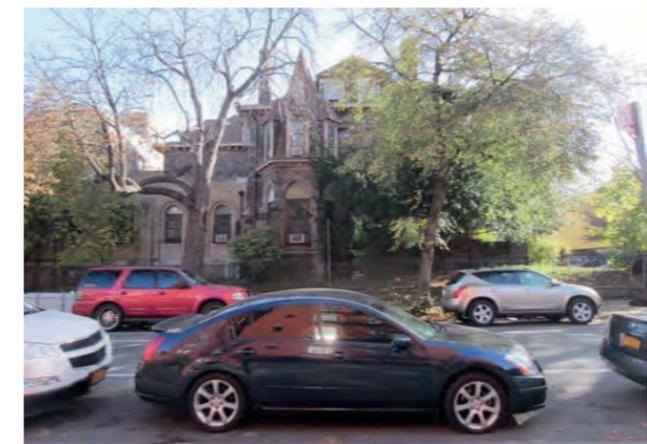


① WEST ELEVATION
 SCALE: 1/8" = 1'-0"

AREA OF ADDITION REMOVED



④ WEST ELEVATION
 PHOTOGRAPHED: 11.18.2015



③ WEST ELEVATION
 PHOTOGRAPHED: 11.18.2015



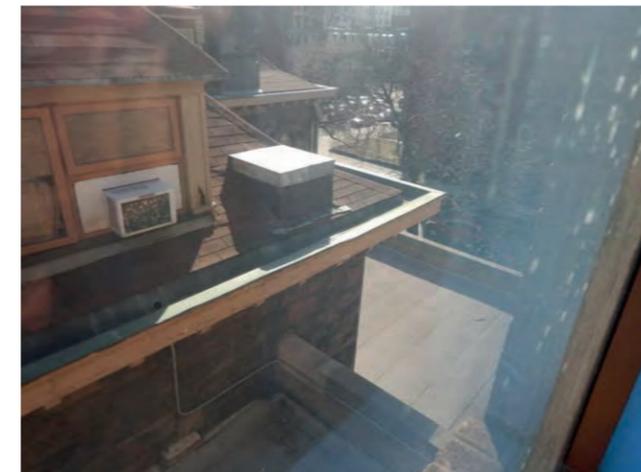
② WEST ELEVATION
 PHOTOGRAPHED: 03.24.2015



① NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



④ NORTH ELEVATION
 PHOTOGRAPHED: 03.24.2015



③ NORTH ELEVATION
 PHOTOGRAPHED: 03.24.2015



② NORTH ELEVATION
 PHOTOGRAPHED: 03.24.2015



① EAST ELEVATION
SCALE: 1/8" = 1'-0"



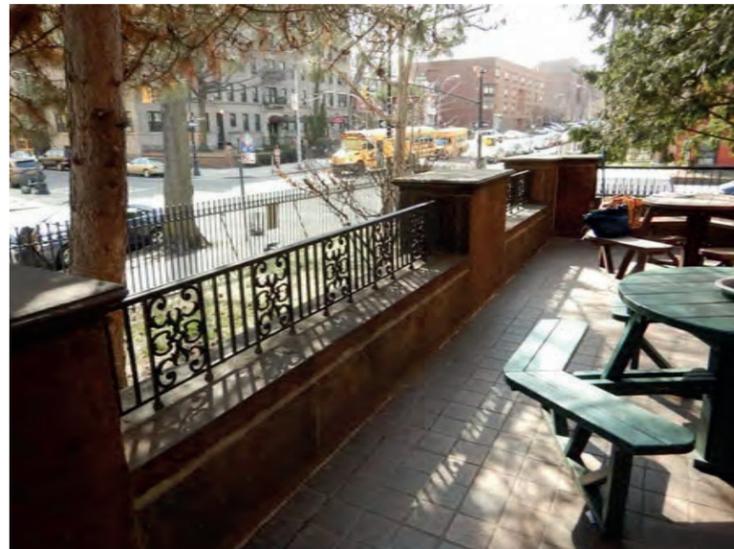
④ EAST ELEVATION
PHOTOGRAPHED: 11.18.2015



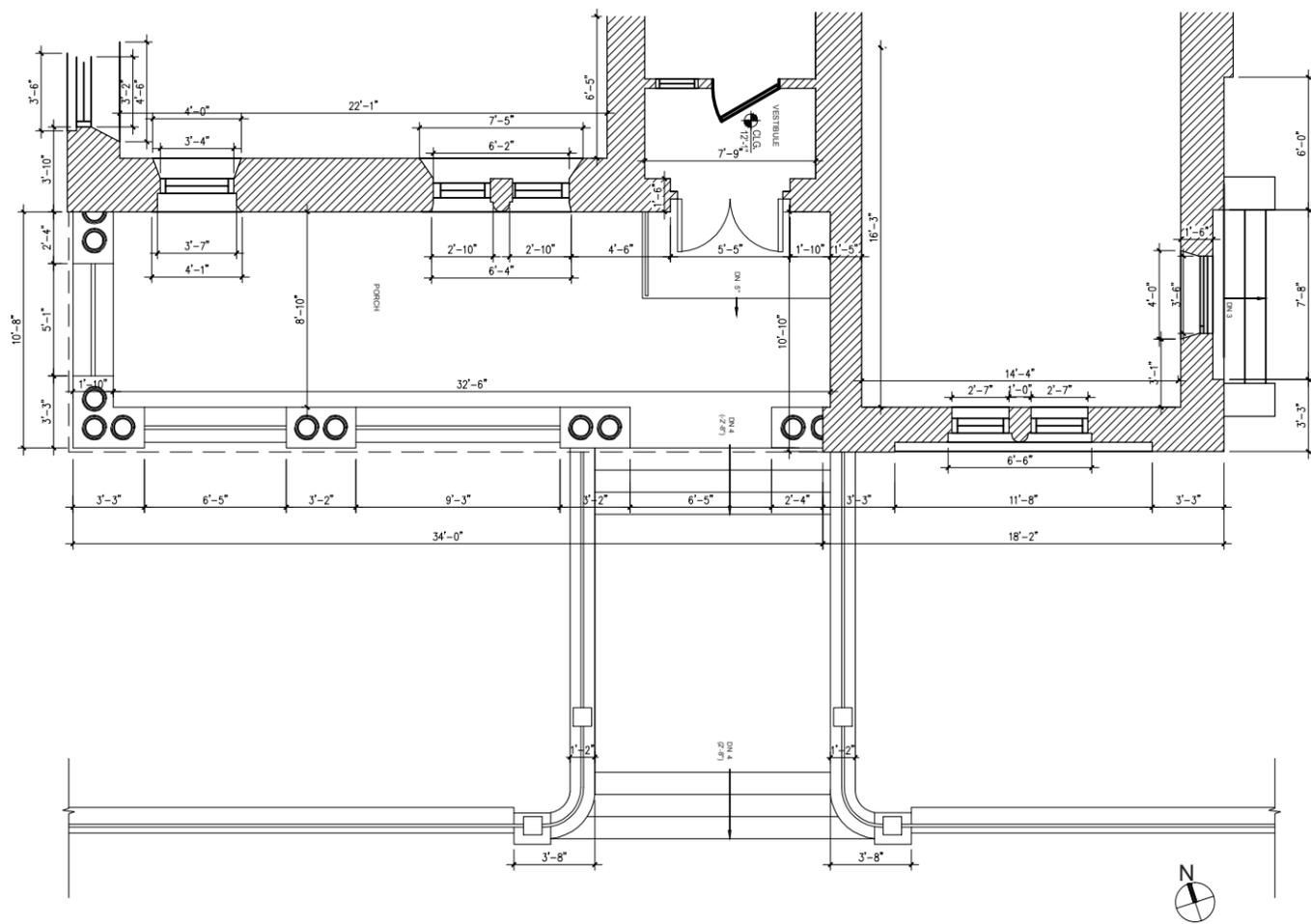
③ EAST ELEVATION
PHOTOGRAPHED: 03.24.2015



② EAST ELEVATION
PHOTOGRAPHED: 03.24.2015



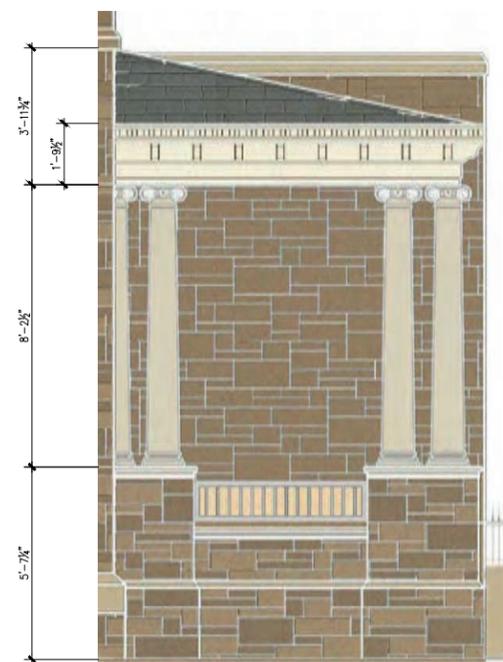
3 EXISTING FRONT PORCH
PHOTOGRAPHED: 03.24.2015



1 FRONT PORCH PLAN
SCALE: 1/8" = 1'-0"



4 FRONT PORCH SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



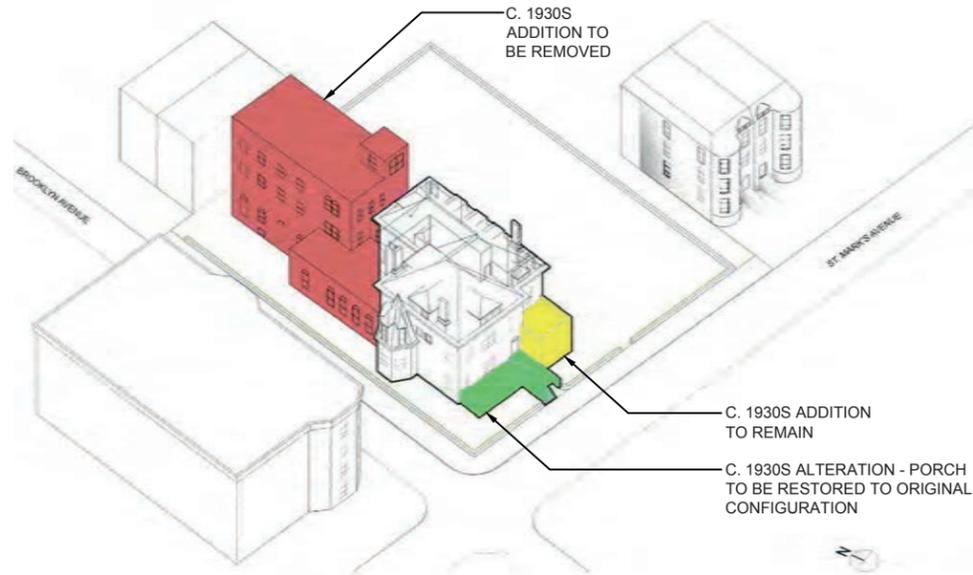
2 FRONT PORCH WEST ELEVATION
SCALE: 3/16" = 1'-0"



③ WEST SIDE OF BROOKLYN AVENUE BETWEEN ST. MARK'S AVENUE AND BERGEN STREET



④ EAST SIDE OF BROOKLYN AVENUE BETWEEN DEAN STREET AND BERGEN STREET



① AXONOMETRIC VIEW OF CURRENT BUILDING



② EAST SIDE OF BROOKLYN AVENUE BETWEEN ST. MARK'S AVENUE AND BERGEN STREET



3 WEST ELEVATION
SCALE: 1/16" = 1'-0"



4 WEST ELEVATION OF ADDITION
PHOTOGRAPHED: 11.18.2015



1 EAST ELEVATION
SCALE: 1/16" = 1'-0"



2 EAST ELEVATION OF ADDITION
PHOTOGRAPHED: 11.18.2015



3 WEST ELEVATION OF ADDITION
PHOTOGRAPHED: 02.02.2016



4 WEST ELEVATION OF GARAGE ADDITION
PHOTOGRAPHED: 11.18.2015



1 WEST ELEVATION OF ADDITION
PHOTOGRAPHED: 02.02.2016



2 SOUTH ELEVATION OF GARAGE ADDITION
PHOTOGRAPHED: 11.18.2015



* Windows can not provide legal light and air for dwelling units. Typical for cellar windows.

* Different elevations does not provide handicap access to full floor.

* Different elevations does not provide handicap access to full floor.
 ** Original mansion side does not have access to elevator.

CELLAR FLOOR

FIRST FLOOR

SECOND FLOOR

THIRD FLOOR

UNIT COUNT

FLOOR	STUDIO	1 BEDROOM	TOTAL
CELLAR	0	0	0
FIRST FLOOR	3	1	4
SECOND FLOOR	0	2	2
THIRD FLOOR	0	2	2
TOTAL	3	5	8 UNITS

* TOTAL BUILDING EXTENSION SQUARE FOOTAGE = 10,639 SF
 ** TOTAL MANSION SQUARE FOOTAGE = 8,390 SF

ASSESSMENT

1. ONLY 8 UNITS CAN BE PROVIDED
2. NOT HANDICAP ACCESSIBLE AT CELLAR, SECOND AND THIRD FLOOR
3. UNITS ARE NOT VERY EFFICIENT DUE TO EXISTING BUILDING SIZE

SUMMARY

DUE TO EXISTING BUILDING SIZE/CONFIGUARTION IT WAS DEEMED TOO INEFFICIENT TO RENOVATE THE EXISTING EXTENSIONS.

LEGEND

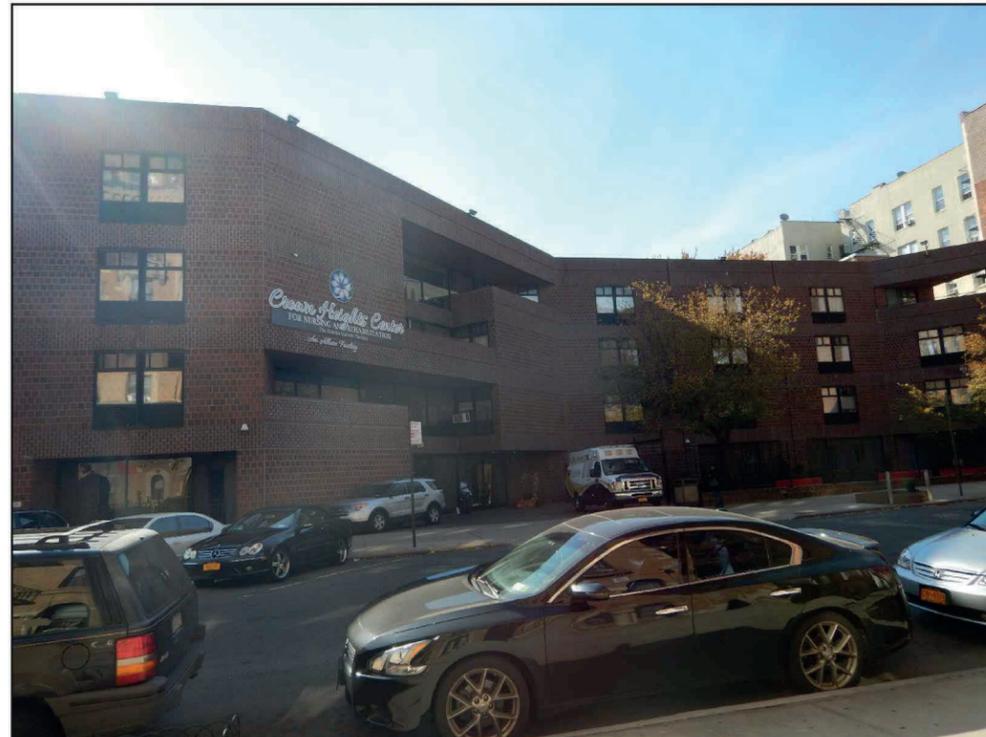
- PROPOSED DWELLING UNITS
- EXISTING AREAS
- EXIT STAIRS
- CORRIDOR
- ELEVATOR



② BROOKLYN CHILDREN'S MUSEUM -
 145 BROOKLYN AVENUE



③ GEORGE V. BROWER SCHOOL -
 900 ST. MARK'S AVENUE



① CROWN HEIGHTS CENTER FOR NURSING AND REHABILITATION -
 800 ST. MARK'S AVENUE

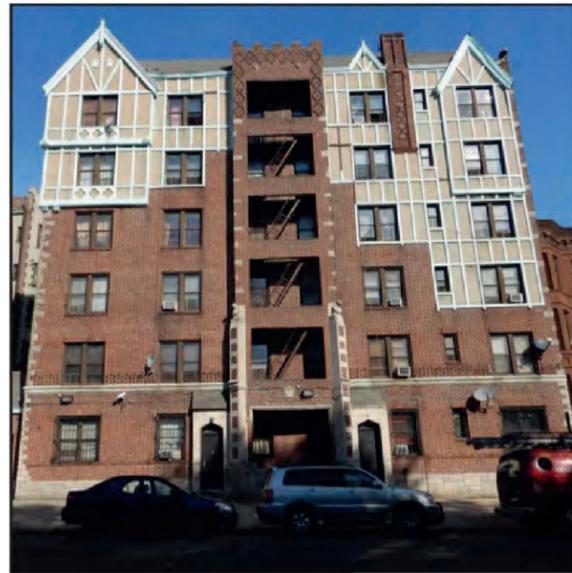


ORANGE SQUARE: SITE
 TEAL SQUARE: STUDY BUILDING

THERE IS A CONCENTRATION OF INSTITUTIONAL BUILDINGS WITHIN THE CONTEXT OF THE BLOCK SURROUNDING 839 ST. MARK'S AVENUE, WHICH ITSELF HAS A HISTORY OF INSTITUTIONAL COMMUNITY LIVING.



⑤ 769 ST. MARK'S AVENUE



⑥ 805 ST. MARK'S AVENUE



⑦ 97 BROOKLYN AVENUE



⑧ 115 BROOKLYN AVENUE



③ 789 ST. MARK'S AVENUE



④ 777 ST. MARK'S AVENUE



① 840 ST. MARK'S AVENUE



② 780 ST. MARK'S AVENUE



ORANGE SITE

TEAL STUDY BUILDING

DASHED LINE NYC LPC HISTORIC DISTRICT BOUNDARY

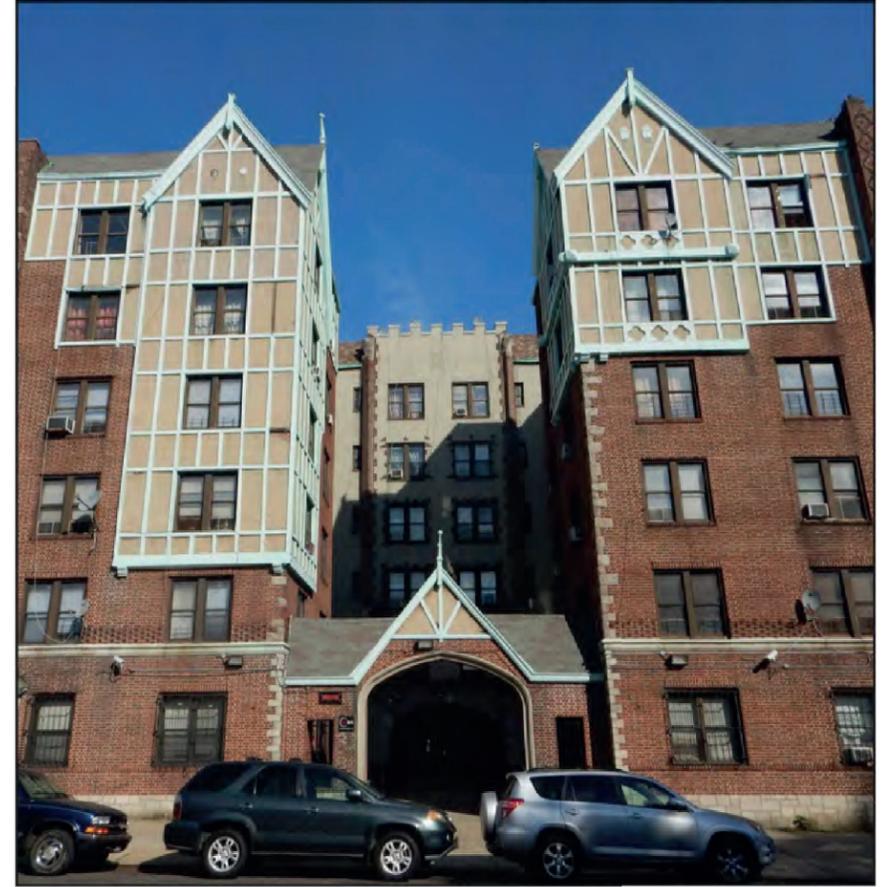
THE HEIGHTS OF THE APARTMENT BUILDINGS IN THE ADJACENT BLOCKS OF 839 ST. MARK'S AVENUE PROVIDE A CONTEXT FOR THE HEIGHT OF THE PROPOSED ADDITION TO THE ORIGINAL MANSION.



③ 780 ST. MARK'S AVENUE



④ 789 ST. MARK'S AVENUE



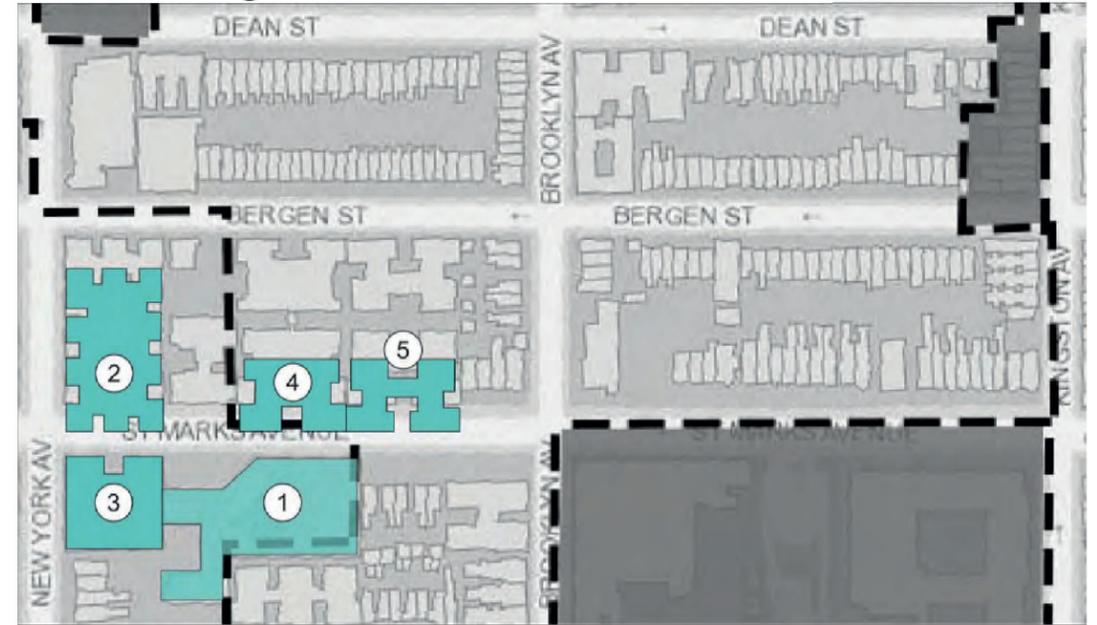
⑤ 805 ST. MARK'S AVENUE



① 800 ST. MARK'S AVENUE



② 769 ST. MARK'S AVENUE




 SITE
  STUDY BUILDING
 NYC LPC HISTORIC DISTRICT BOUNDARY

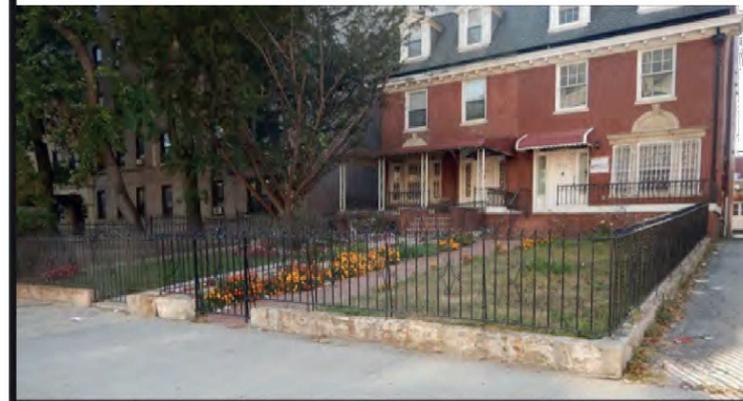
THE ENTRANCES TO SEVERAL APARTMENT BUILDINGS ARE RECESSED FROM THE SIDEWALK. THIS FEATURE COULD BE A WAY IN WHICH THE PROPOSED ADDITION TO 839 ST. MARK'S AVENUE CALLS ATTENTION TO ITS POINT OF ENTRY WITHOUT TAKING EMPHASIS AWAY FROM THE ENTRY OF THE ORIGINAL MANSION.

FRONT YARD SETBACKS



851-905 ST. MARK'S AVENUE

MANY OF THE TOWN HOUSES HAVE FRONT GARDENS WHICH SETBACK THE FRONT OF THE BUILDINGS. THE PROPOSED ADDITION TO 839 ST. MARK'S AVENUE WILL SIMILARLY BE SETBACK FROM THE SIDEWALK BY A FRONT GARDEN AREA.



828-838 ST. MARK'S AVENUE



825-833 ST. MARK'S AVENUE



ORANGE SITE

TEAL STUDY BUILDING

DASHED LINE NYC LPC HISTORIC DISTRICT BOUNDARY



125 BROOKLYN AVENUE



839 ST. MARK'S AVENUE

① BROWNSTONE

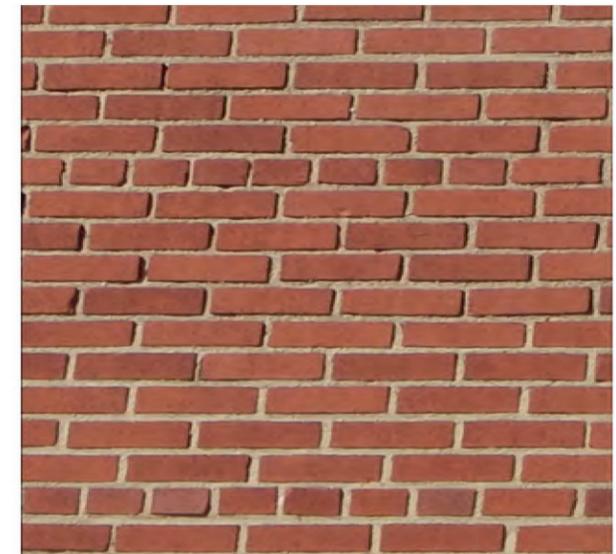


125 BROOKLYN AVENUE

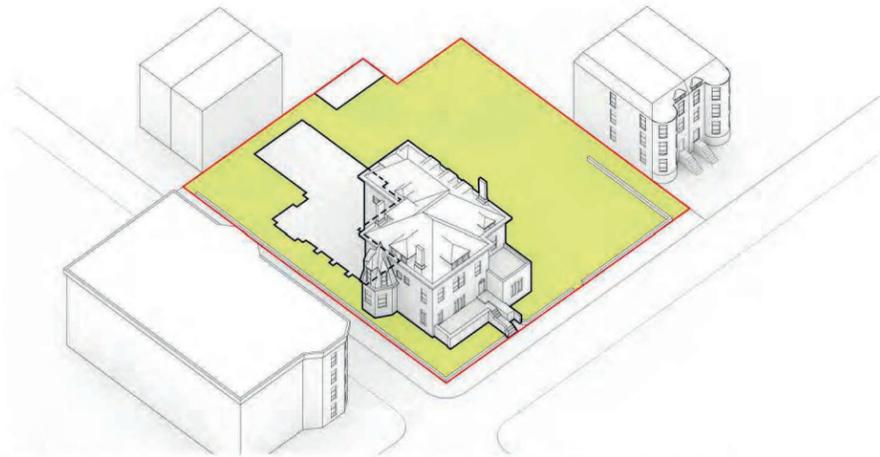
② BRICK



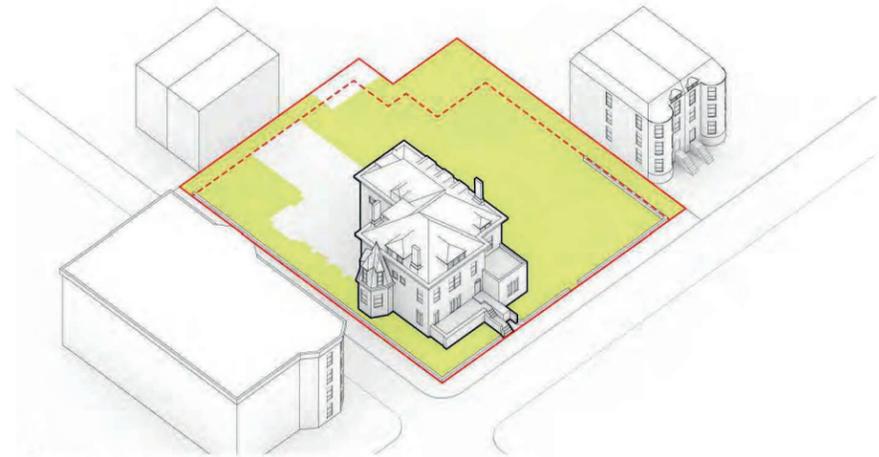
125 BROOKLYN AVENUE



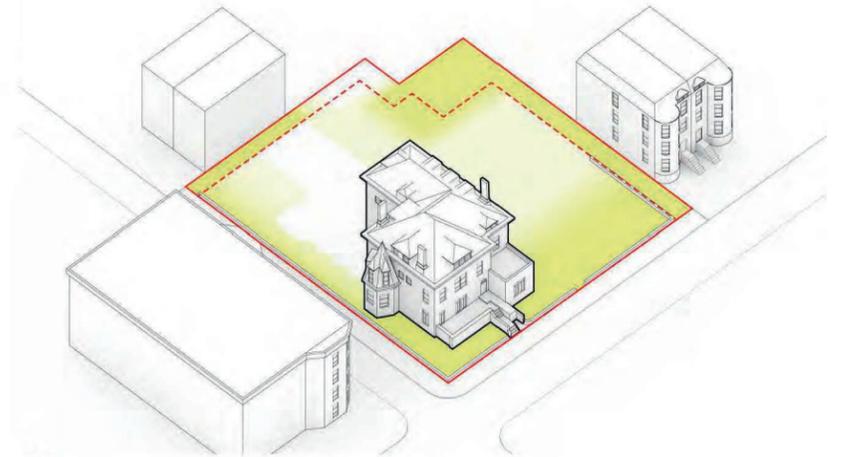
112 BROOKLYN AVENUE



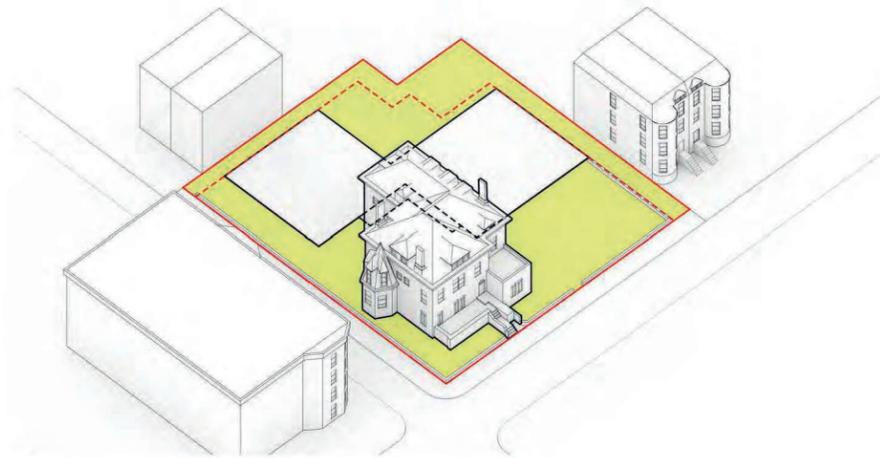
1 SITE + EXISTING BUILDINGS TO REMAIN AND TO BE REMOVED



2 SETBACKS



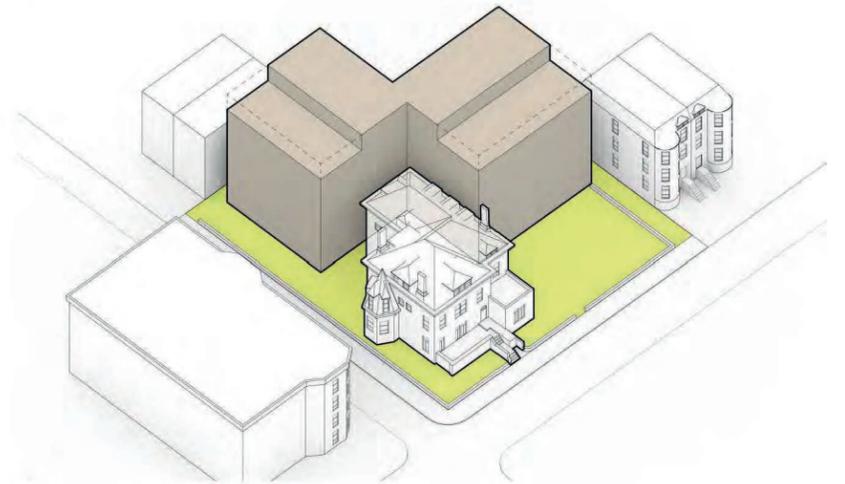
3 MAINTAINING GREEN + OPEN SPACE



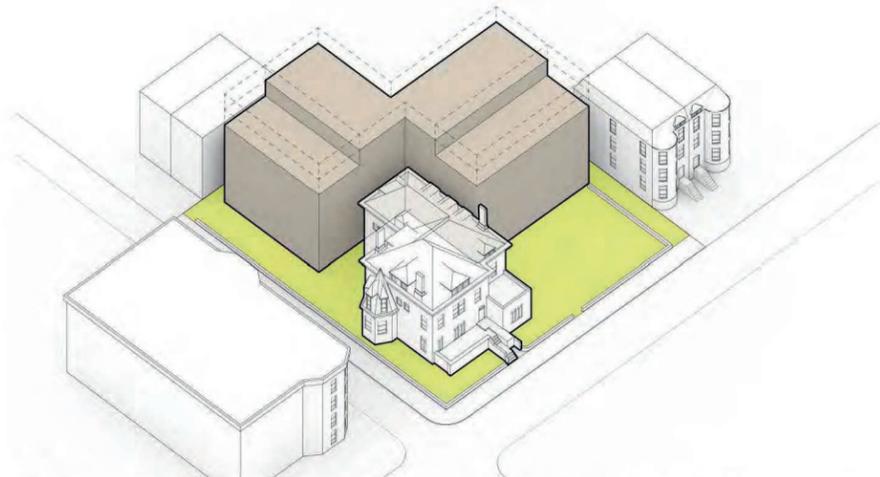
4 NEW BUILDING FOOTPRINT



5 FLOOR AREA RATIO : 2.43



6 CONSIDERING ZONING REGULATIONS : 60 FT OR 6 STORIES



7 SCALE DOWN CONSIDERING NEIGHBOR HEIGHTS: 52 FT AND 5.5 STORIES



8 CONNECTION BETWEEN EXISTING + NEW BUILDING



9 ELEVATION SCALE DOWN FIT TO NEIGHBOR SCALE

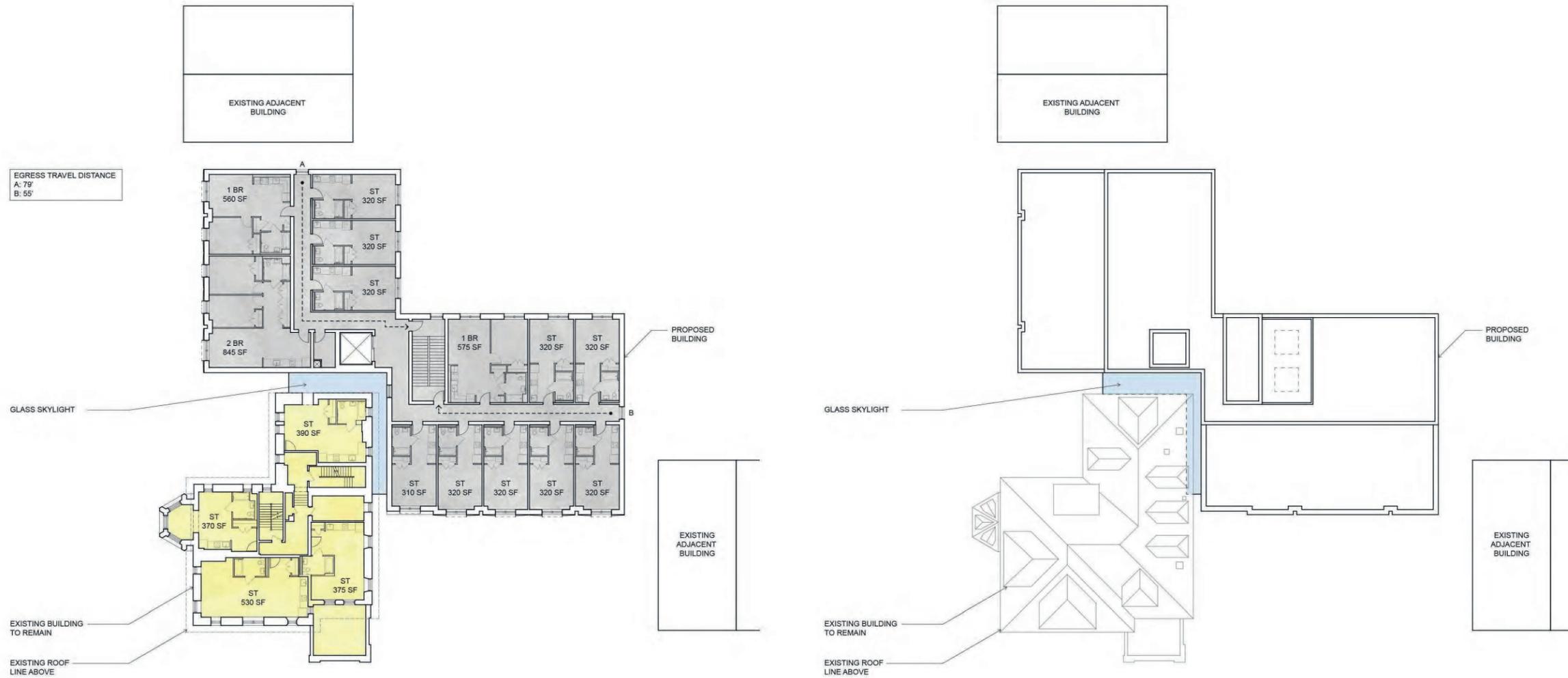


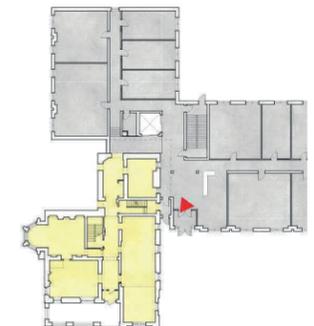
**SITE PLAN /
GROUND FLOOR**

ZONING INFORMATION	
EXISTING LOT SIZE	23,270 SF
FLOOR AREA RATIO (FAR) AT R-6 DISTRICT	2.43
ALLOWABLE SQUARE FOOTAGE	56,546 SF
EXISTING BUILDING TO REMAIN	8,390 SF
NEW ALLOWABLE ZONING SF	48,156 SF
NEW BUILDING GROSS SF	41,421 SF
NEW BUILDING ZONING SF (1.5% DEDUCTION)	40,800 SF
ALLOWABLE BUILDING HEIGHT	60 FT OR 6 STORIES
PROPOSED BUILDING HEIGHT	52 FT AND 5.5 STORIES

DWELLING UNIT COUNT							
FLOOR	RENOVATION			NEW			TOTAL UNITS
	ST	1BR	2BR	ST	1BR	2BR	
6	-	-	-	5	1	-	6
5	-	-	-	10	2	1	13
4	-	-	-	10	2	1	13
3	2	-	-	10	2	1	15
2	4	-	-	10	2	1	17
1	-	-	-	6	2	1	9
BASE	-	-	-	-	-	-	-
TOTAL	6	-	-	51	11	5	73





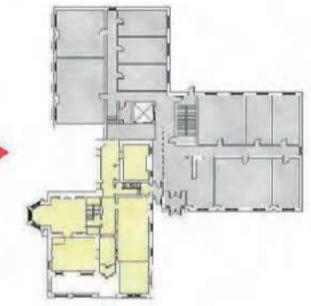






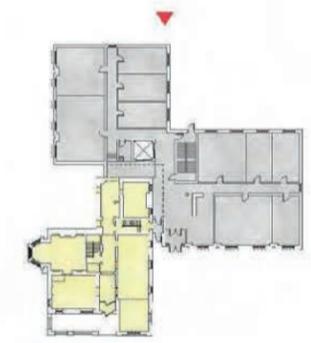








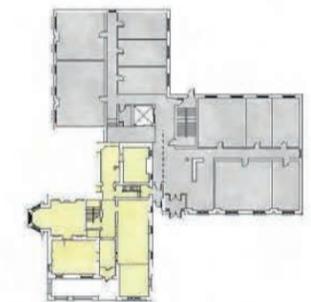
BROOKLYN AVE





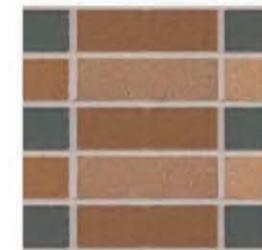
ST. MARK'S AVE

STREET LEVEL

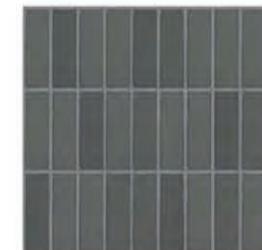




1 BRICK



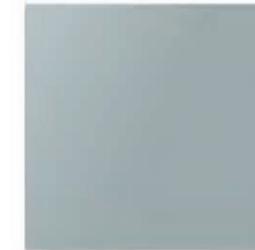
2 BRICK 2



3 DARK BRICK



4 GLASS



5 METAL HANDRAIL POST



6 METAL PANEL



7 METAL FRAME

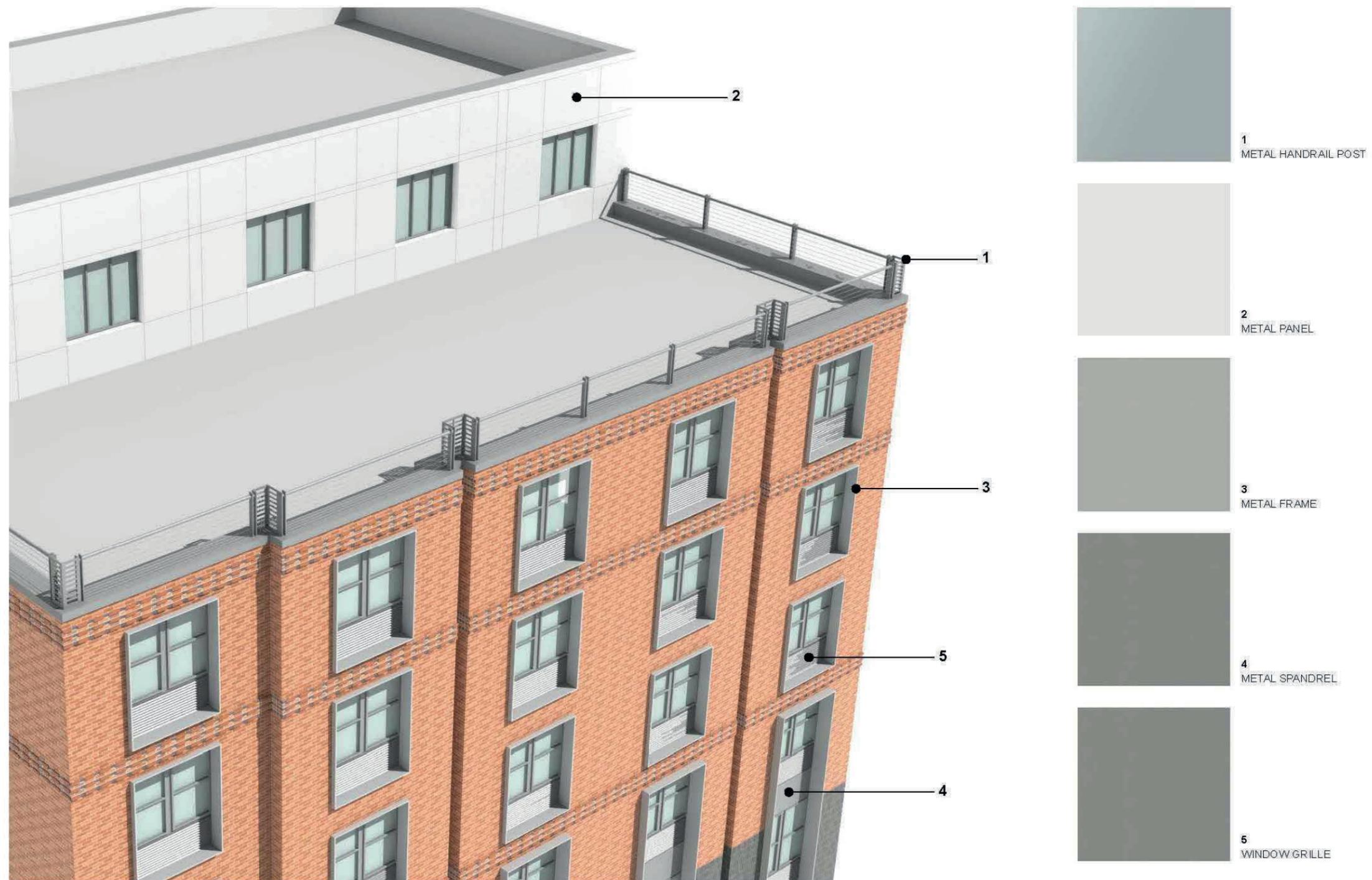


8 METAL SPANDREL



9 WINDOW GRILLE







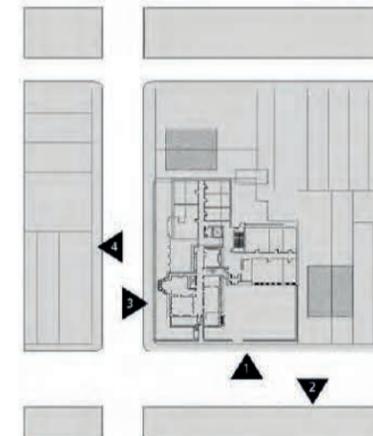




1 St. Mark's North Elevation



2 St. Mark's South Elevation

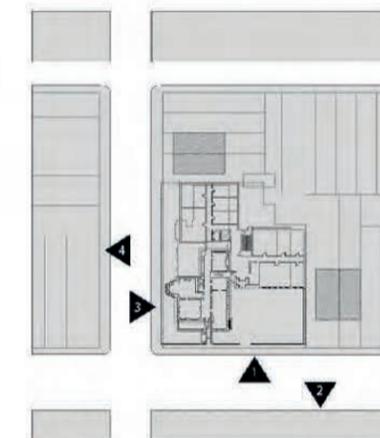




3 Brooklyn Ave. East Elevation



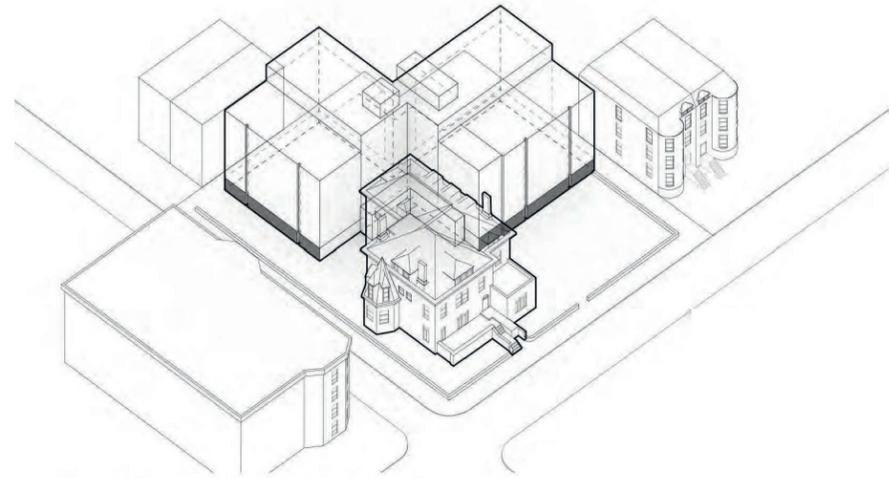
4 Brooklyn Ave. West Elevation



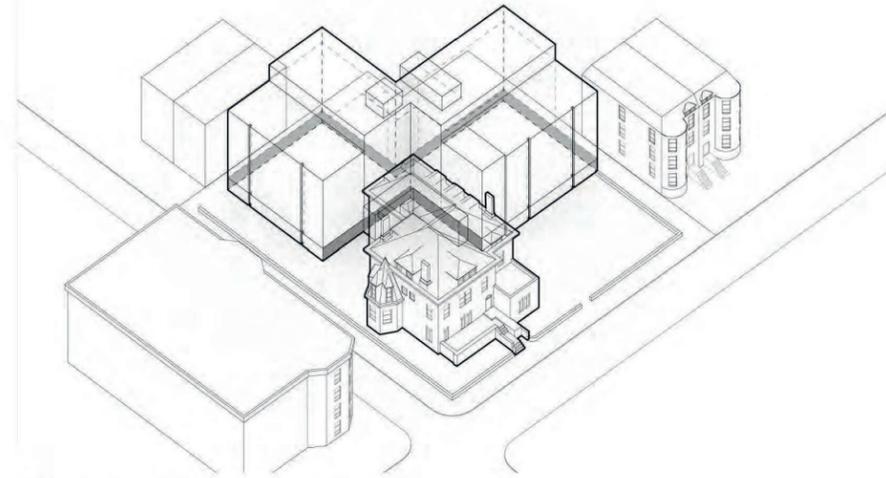




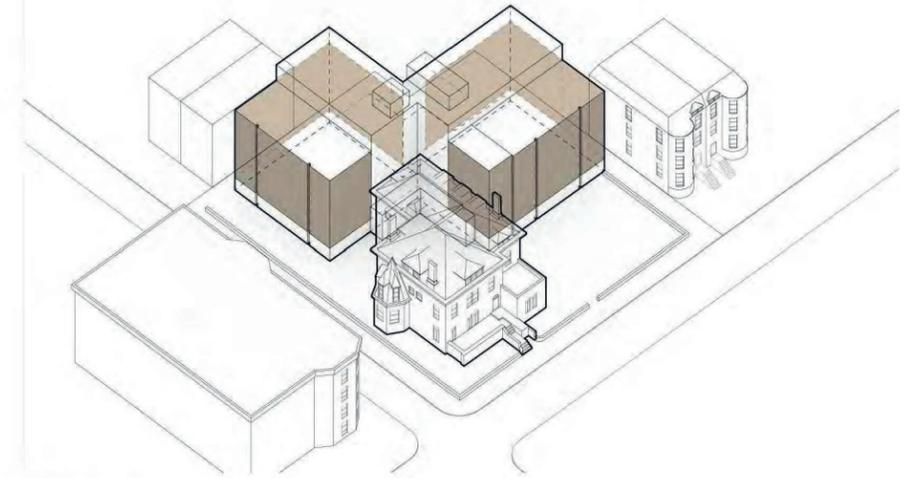




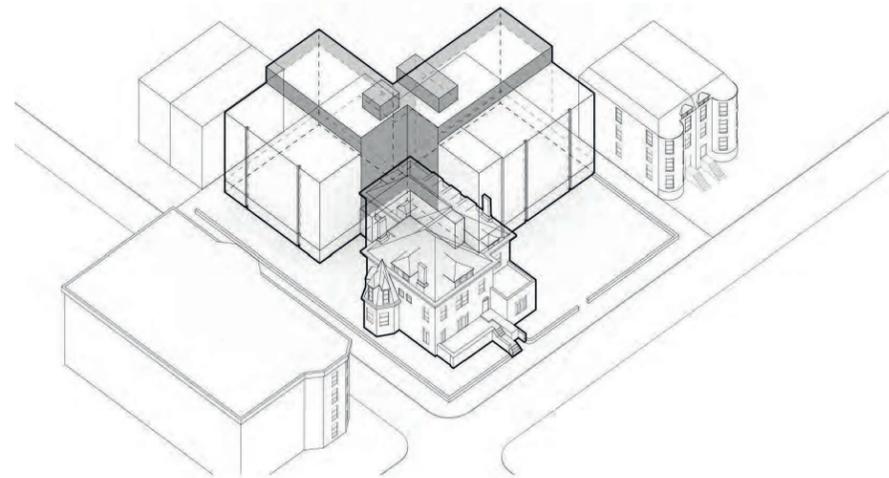
TEXTURED STONE OR DARK BRICK



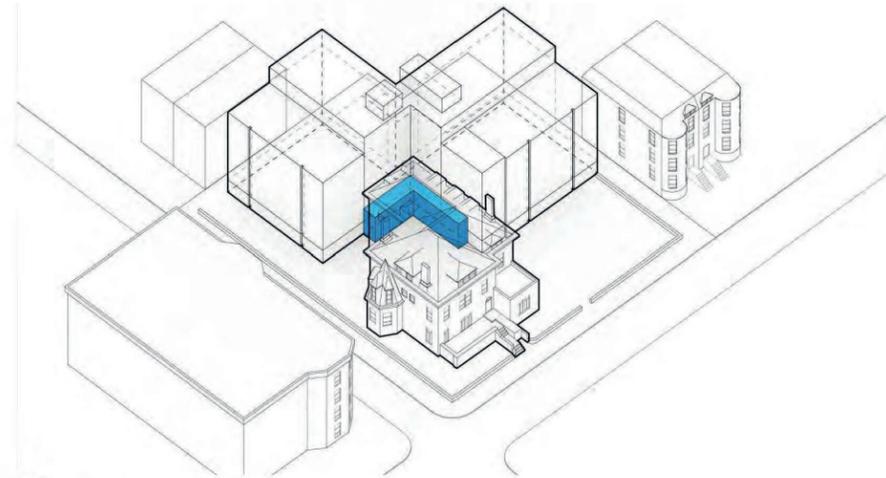
2 CAST STONE OR DARK BRICK



3 BRICK



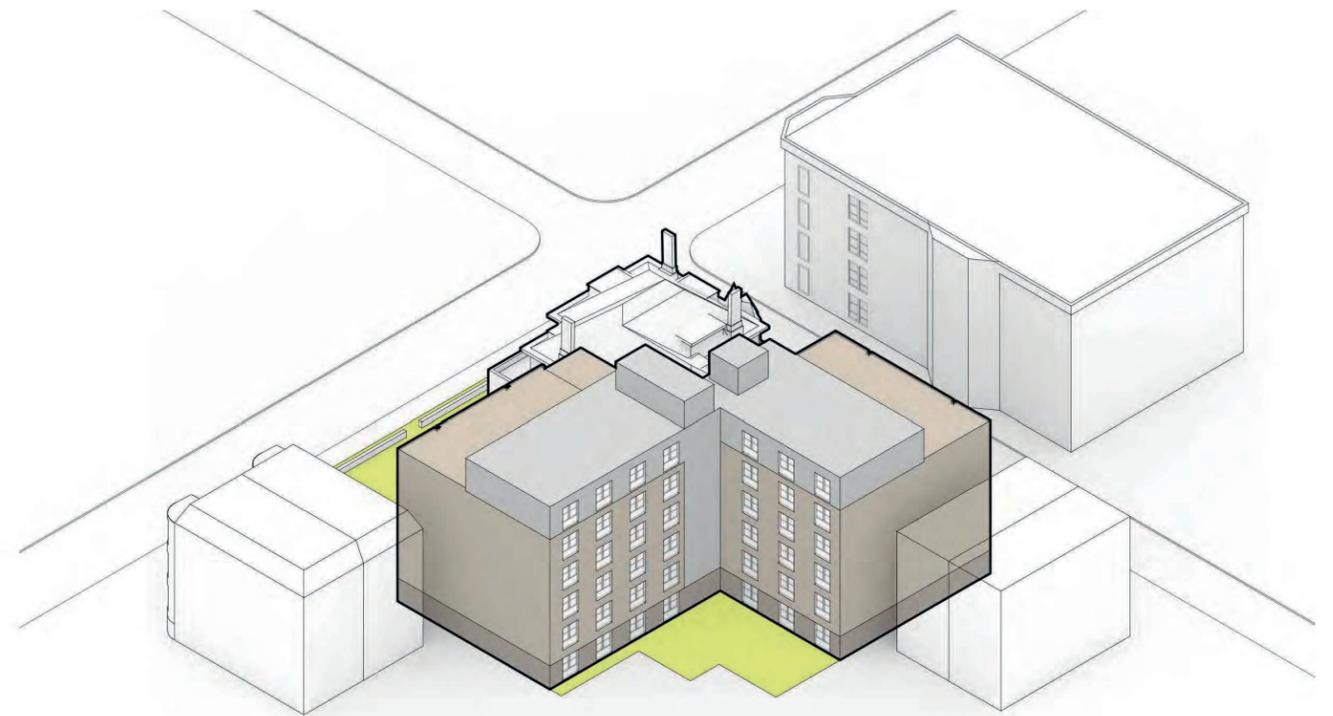
METAL



5 GLASS



1 FRONT



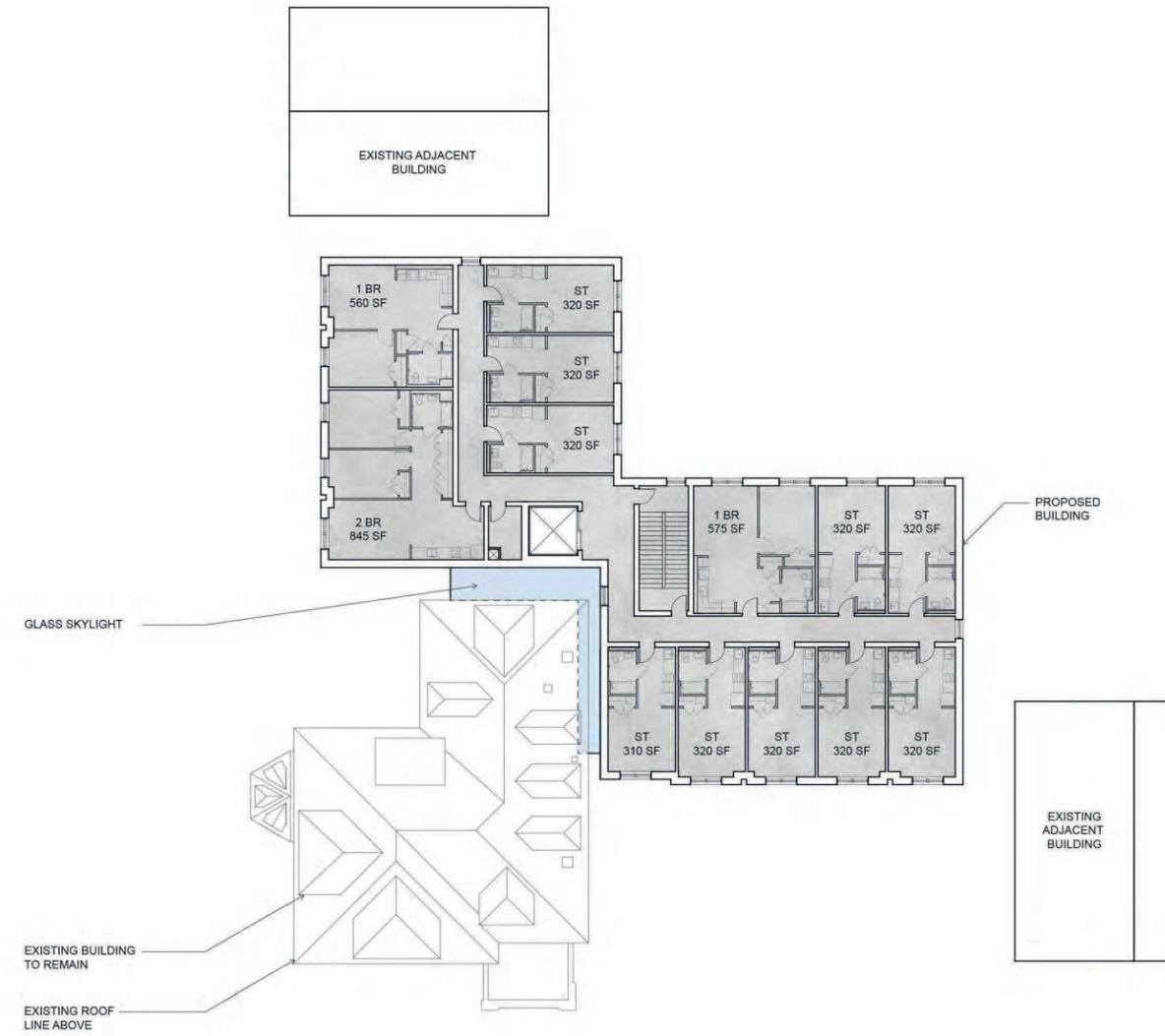
2 BACK



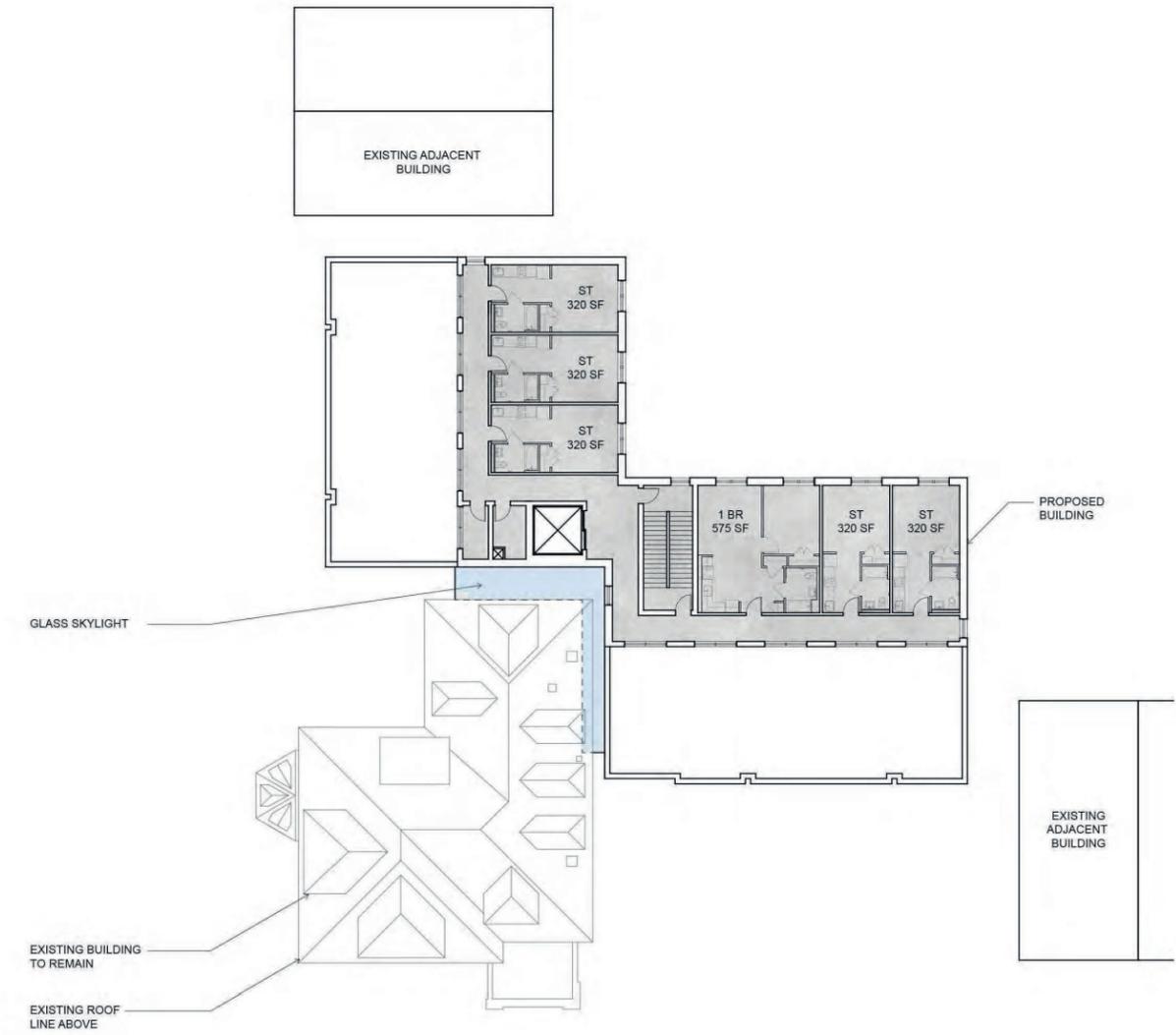
THIRD FLOOR



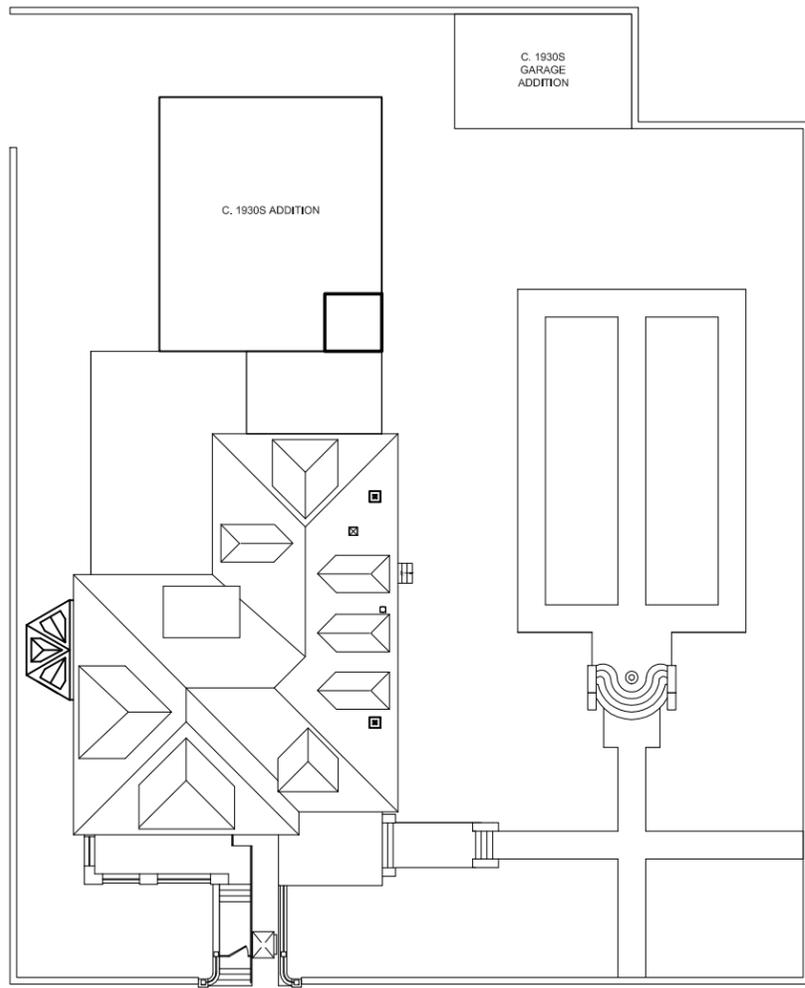
FOURTH FLOOR



FIFTH FLOOR



SIXTH FLOOR



1 EXISTING CONDITION SITE PLAN
SCALE: 1/32" = 1'-0"



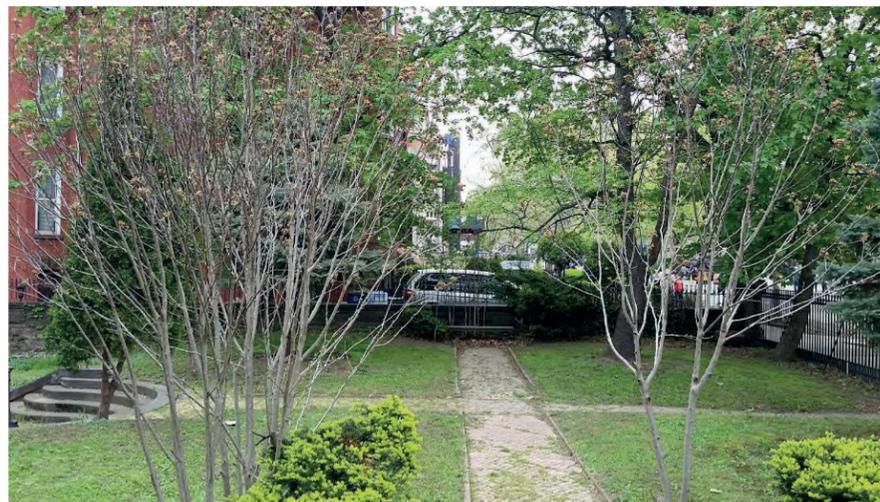
4 VIEW OF GARDEN LOOKING
SOUTHWEST
PHOTOGRAPHED: 10.22.2015



5 VIEW OF GARDEN LOOKING WEST
PHOTOGRAPHED: 11.18.2015



6 VIEW OF GARDEN LOOKING
SOUTHEAST
PHOTOGRAPHED: 11.18.2015



2 VIEW OF GARDEN LOOKING EAST
PHOTOGRAPHED: 05.05.2015



3 VIEW OF GARDEN LOOKING EAST
PHOTOGRAPHED: 05.05.2015