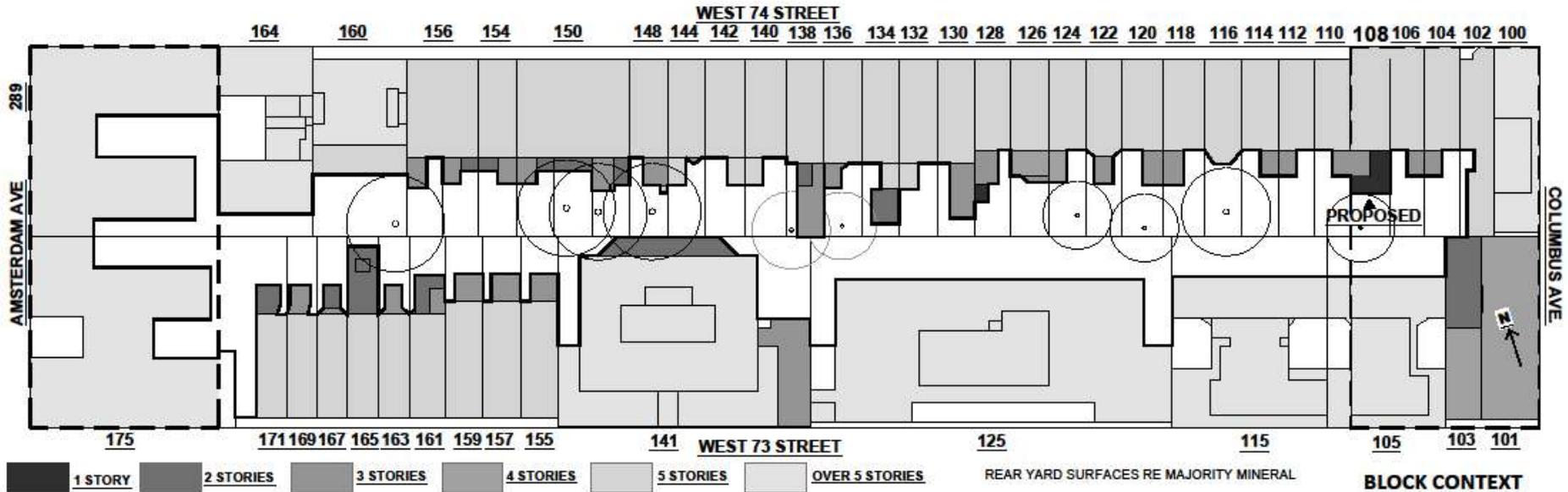
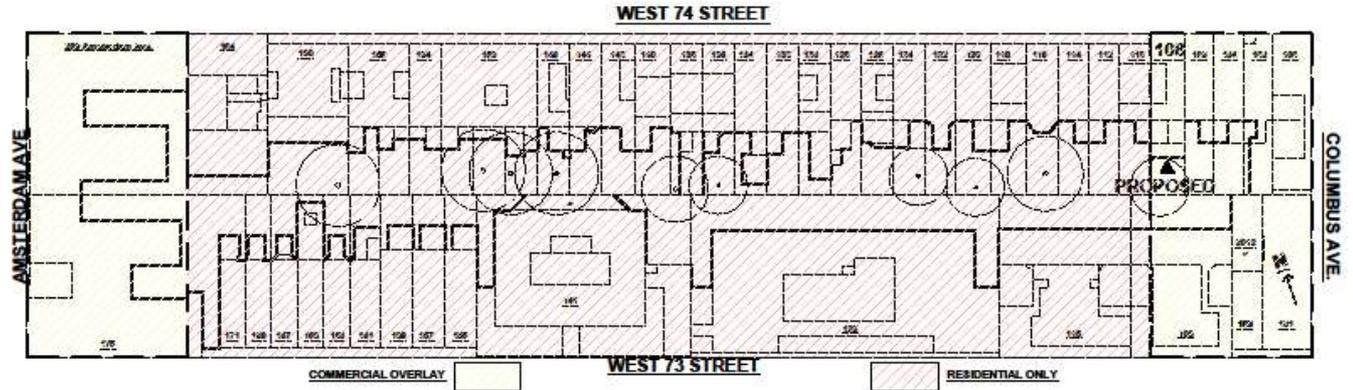


108 WEST 74 STREET - PROPOSED COMMERCIAL ENCLOSURE OF REAR TERRACE

- **PURPOSE** The rear yard terrace was built full lot width for outdoor dining; now we request its enclosure to preserve calm in the yard. Furthermore, we request relocation of the existing 7' tall hvac unit to an existing vault; all high concrete walls will be replaced by lower wood fencing. The Community Board voted 7-0 unanimously in favor of the proposal citing it as an appropriate garden-like structure, one of the best seen in years.
- **VETTING** Sited in commercial overlay zoning the DOB's Deputy Commissioner has affirmed the design's code and zoning compliance.
- **IMPACT ON BUILDING FEATURES** The proposal does not damage historic features. It covers only the existing terrace, and does not reduce the rear yard or lot area. The building and yard would entirely retain the scale and character of a rowhouse.
- **COMMERCIAL PRECEDENT** The 2012 two-story addition at 103 West 73 Street is a windowless mass, covers 100% of the lot, and offers no clue to its function as a martial arts studio. Residents made this point at the Community Board presentation.
- **COMPARISON TO ADDITIONS BLOCKWIDE** Lowest first floor addition block wide. The proposed side wall, less than 40 .sf., most minimal profiles permitted (5'-3" above the existing wall) adds 15% surface area to the existing walls.
- **PHYSICAL FEATURES** Pumpkin-tinted stucco covers the concrete terrace for a grounded, monolithic effect. Flat-seam bare copper covers the roof. Mill and ironwork are painted black to match the storefront. Triple-glazed, fixed sashes eliminate noise; the entire south façade entirely glazed. A persimmon tree will be planted to replace a diseased oak; figs will fill the wall planter. Permeable crushed mineral and organic surfaces in the rear yard will alleviate existing drains. The wood fencing is 6 feet high with a natural finish.
- **COMMERCIAL HERITAGE** Commercial zoning overlays many blocks throughout the district. In this instance, a tailor's shop and apartment occupied #108; dance studios occupied all upper floors. A haberdasher and his family worked and lived next door at #106. Business turn-over destroys historic storefronts, signage, lighting, awnings, hardware, and entry mosaics. Ground level commercial architecture within a residential block creates variety and tension-of-purpose to row houses where basement curtains would be drawn for privacy. Ground level commerce invites exploration of otherwise exclusively residential blocks. The new storefront at #108 was reconstructed from tax photos and debris from the original tailor's storefront. The proposed enclosure is designed along these lines more in keeping with district morphology, scale, and architectural language than many existing additions.
- **THE REAR YARD COMMONS** The architectural polemic across this Rear Yard Common is 19th century row houses overshadowed by towering elevator buildings. Material, architectural vocabulary, finish color, hard ground cover, and vegetation accentuate what is literally an architectural canyon. Massing, scale, and projections of all kinds encroach throughout the length of the rear yard corridor. The row houses' 3-story projections frequently occupy the entire lot width and generally run 35 feet in height. Beyond al proportion the elevator buildings feature concrete garden walls running 12 feet high; the ground is fully paved. A 60 foot façade stands on a lot line; another mid-rise steps back just 15 feet before rising to 120 feet. Compounding this straitened condition, 138 West 74 Street and 141 West 173 Street seems to almost connect in the middle of the block, and rising to 33 feet and 66 feet respectively, their visual juncture seemingly bisects the Common.
- The proposed enclosure at 108 West Street raises the standard of sensitive, sensible architecture in the Rear Yard Common contributing to collective social life on the block, - both without and within.



BLOCK CONTEXT
 COMMERCIAL REAR
 TERRACE ENCLOSURE
 108 WEST 74 ST

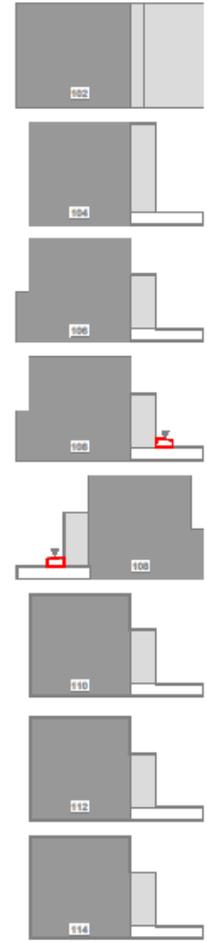
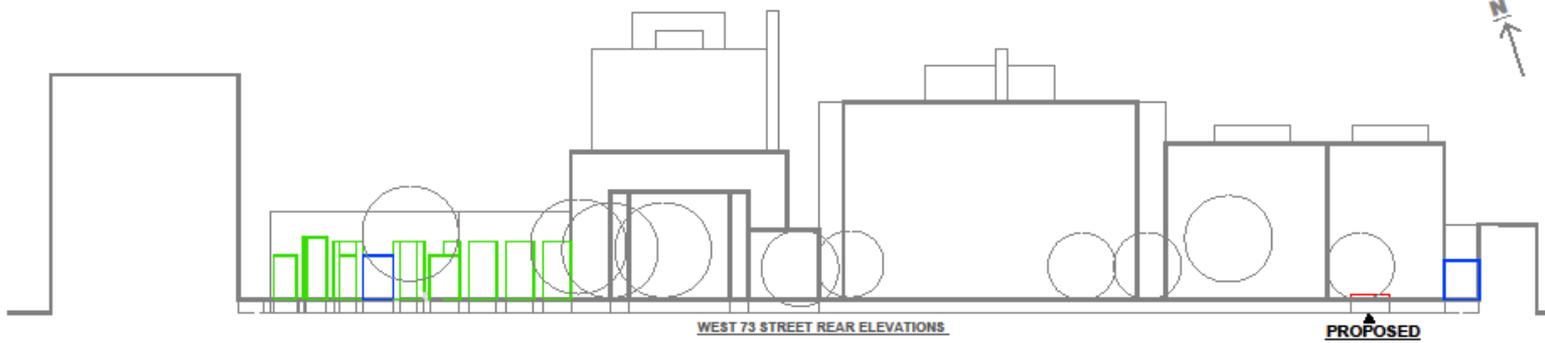
LPC-02

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□ ROWHOUSES WITH ORIGINAL PROJECTIONS BASED ON TAX MAPS

□ ROWHOUSES WITH ADDITIONS BASED ON TAX MAPS



BLOCK ELEVATIONS
COMMERCIAL REAR
TERRACE ENCLOSURE
 108 WEST 74 ST
 LPC-03

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108 West 74 St
rear enclosure fenestration derived
from restored storefront



103 West 73 St
100% lot coverage
built 2012

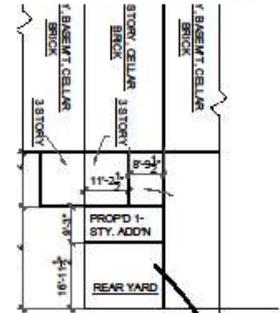


108 West 74 St
before construction of
existing terrace

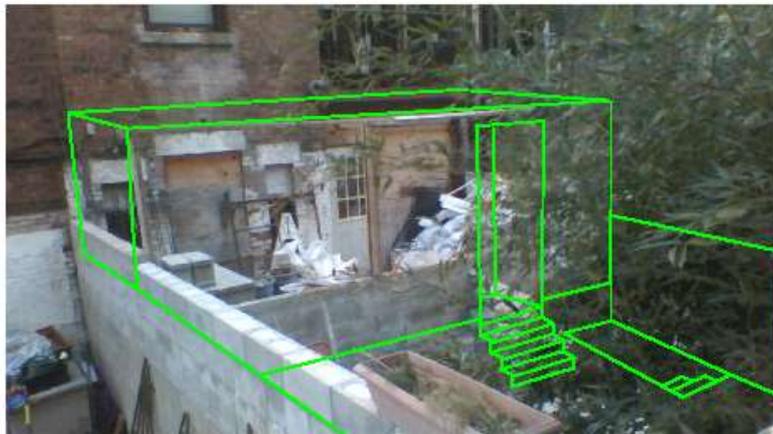


108 West 74 St
before construction of
existing terrace

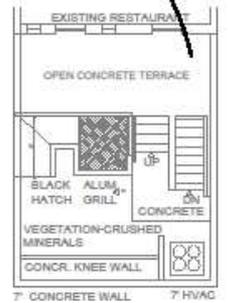
108 West 74 St
rear yard looking West



Massing of proposed enclosure over existing terrace



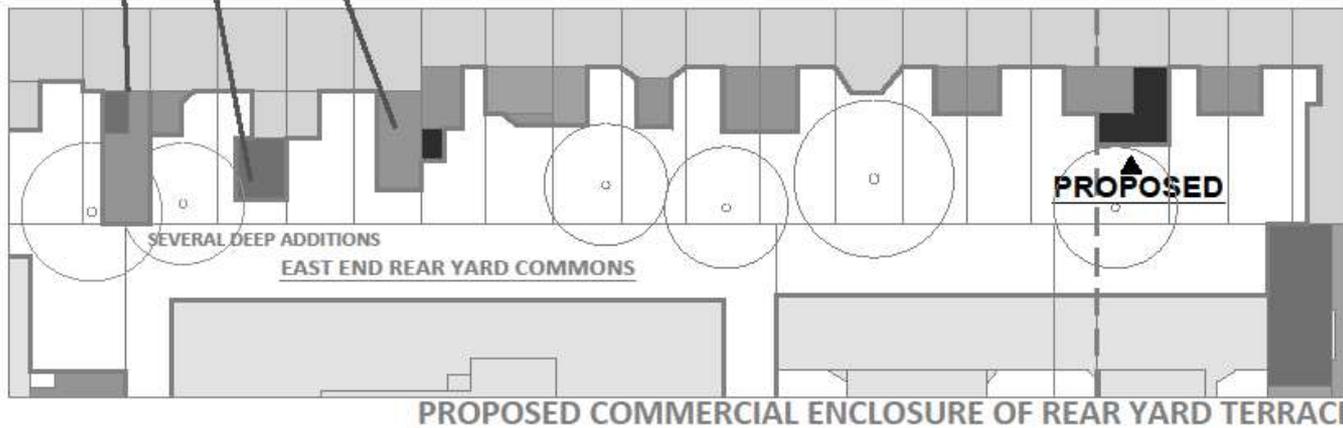
Massing of proposed enclosure over existing terrace



REAR YARD PHOTOS
COMMERCIAL REAR
TERRACE ENCLOSURE
108 WEST 74 ST

LPC-04

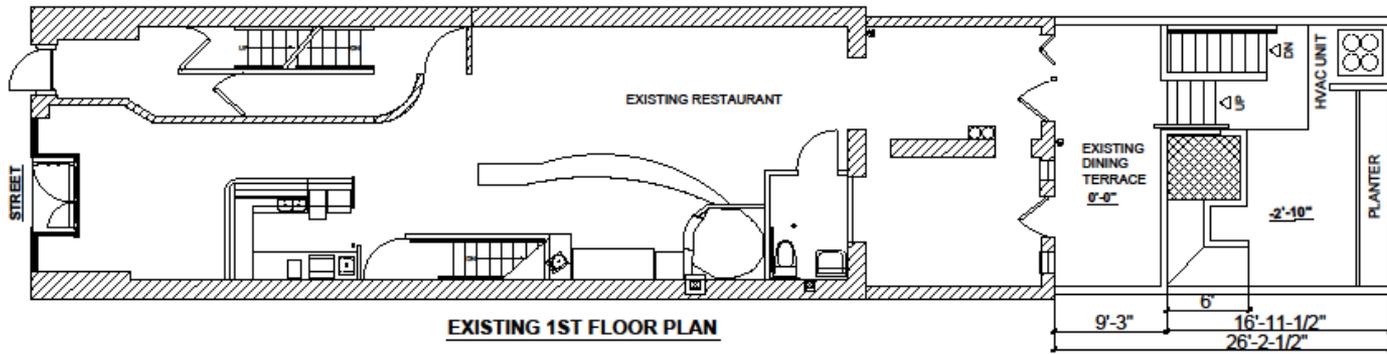
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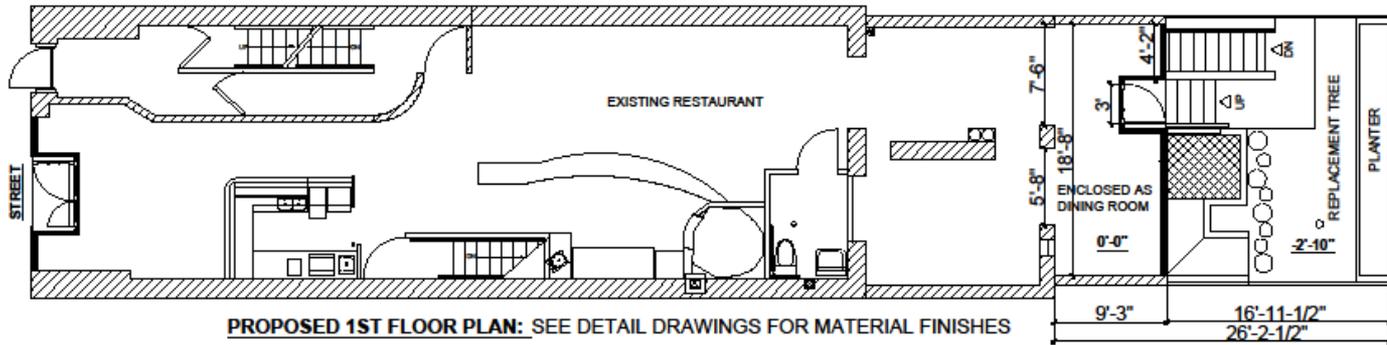
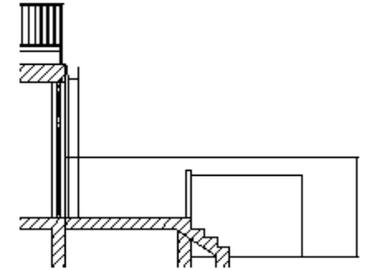
BLOCK PHOTOS
COMMERCIAL REAR
TERRACE ENCLOSURE
 108 WEST 74 ST

LPC-05

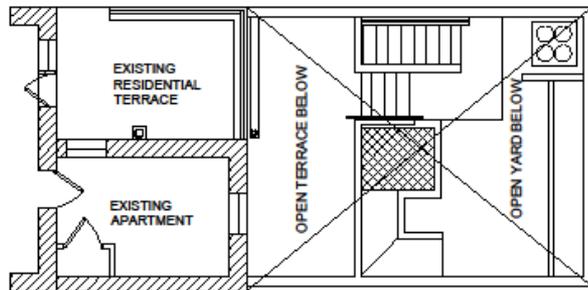
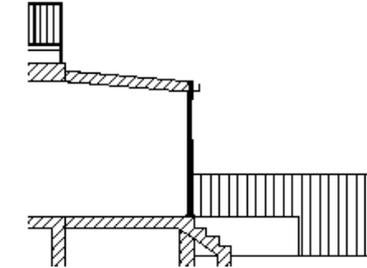
John Ellis, R.A. N.Y.C. & D.p.l.g. Paris
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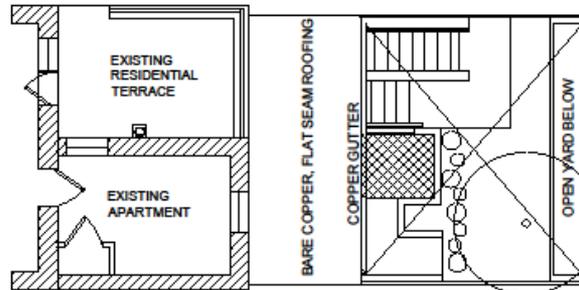
EXISTING 1ST FLOOR PLAN



PROPOSED 1ST FLOOR PLAN: SEE DETAIL DRAWINGS FOR MATERIAL FINISHES



EXISTING 2ND FLOOR PLAN



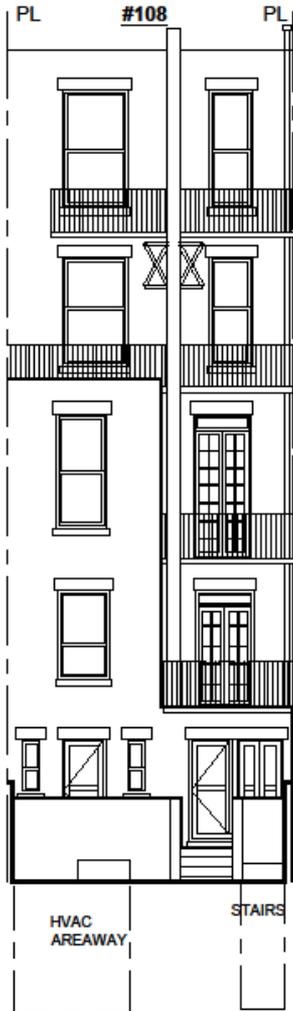
PROPOSED 2ND FLOOR PLAN

COMPARISON OF FLOOR PLANS

**COMMERCIAL REAR TERRACE ENCLOSURE
108 WEST 74 ST**

LPC-06

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EXISTING REAR FACADE



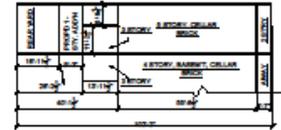
PROPOSED REAR FACADE



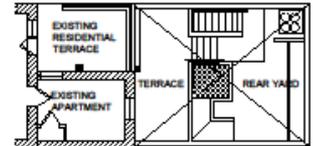
PROPOSED EAST

PROPOSED REAR FACADE VIEWED BY NEIGHBOR

PROPOSED WEST



EXISTING 2ND FLOOR PLAN



PROPOSED 2ND FLOOR PLAN

COMPARISON OF REAR ELEVATIONS

**COMMERCIAL REAR TERRACE ENCLOSURE
108 WEST 74 ST**

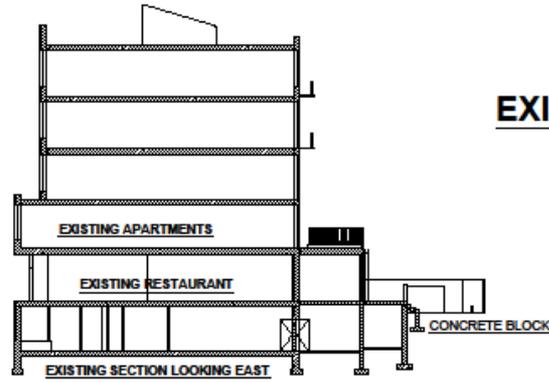
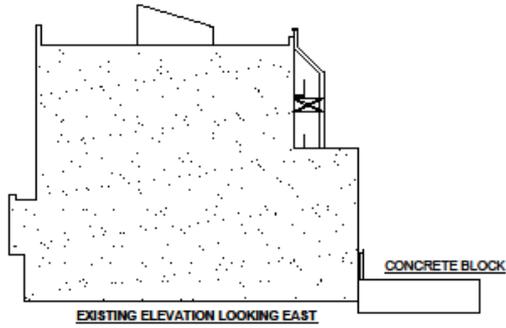
LPC-07
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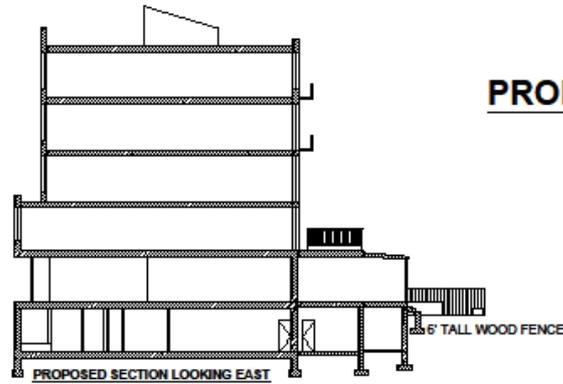
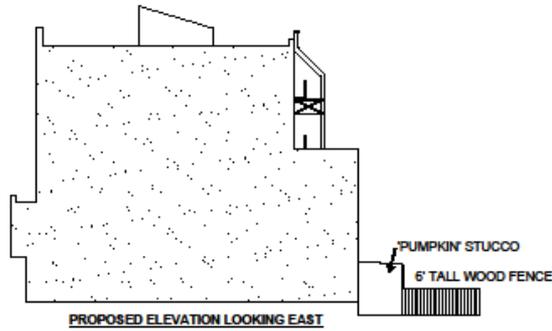
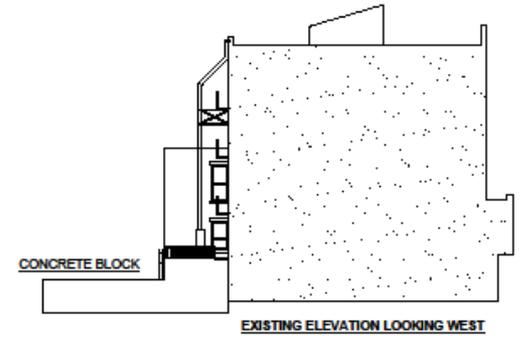
EXISTING EAST

EXISTING REAR FACADE VIEWED BY NEIGHBOR

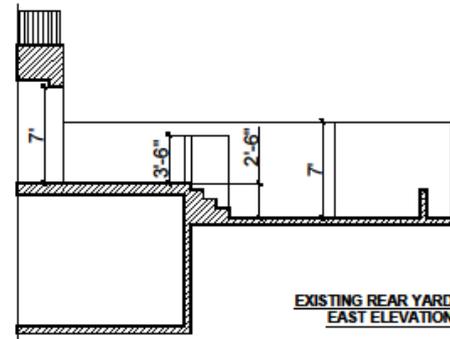
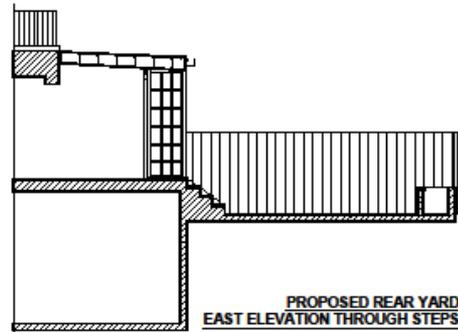
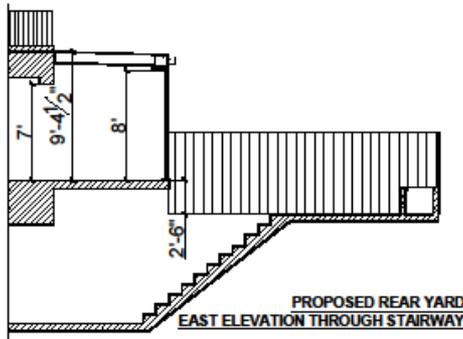
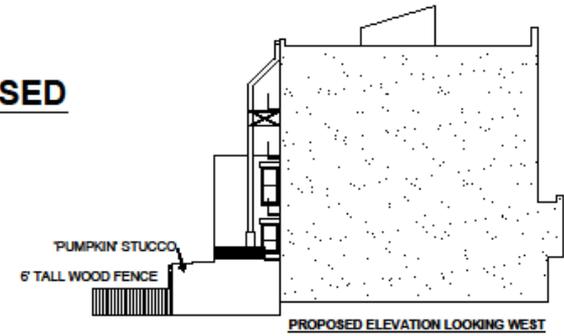
EXISTING WEST



EXISTING



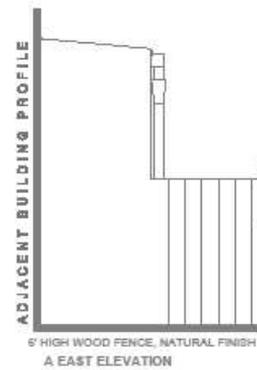
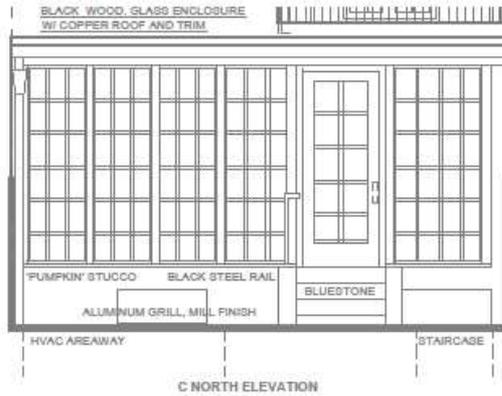
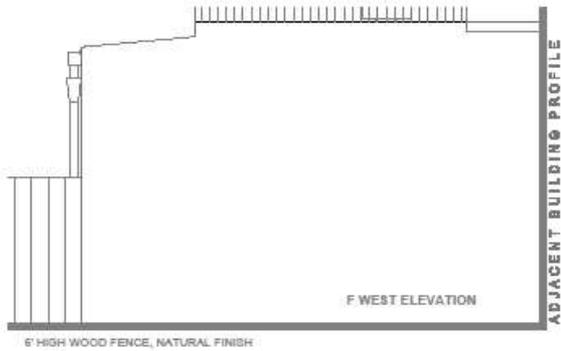
PROPOSED



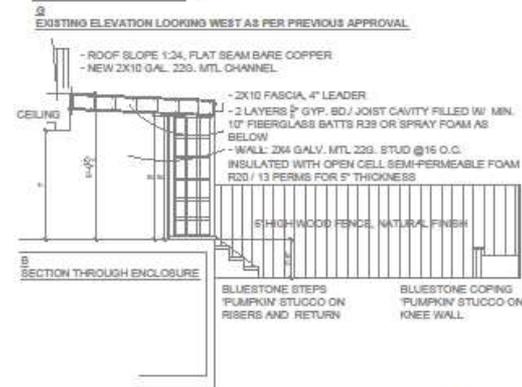
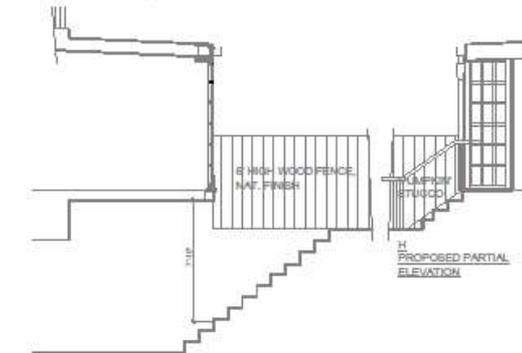
COMPARISON OF SECTION AND ELEVATIONS

COMMERCIAL REAR TERRACE ENCLOSURE
108 WEST 74 ST

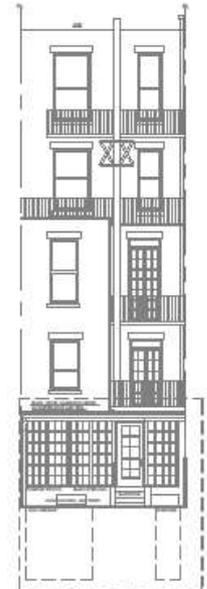
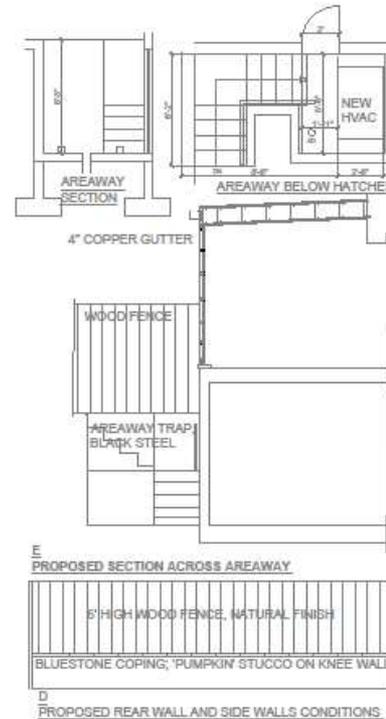
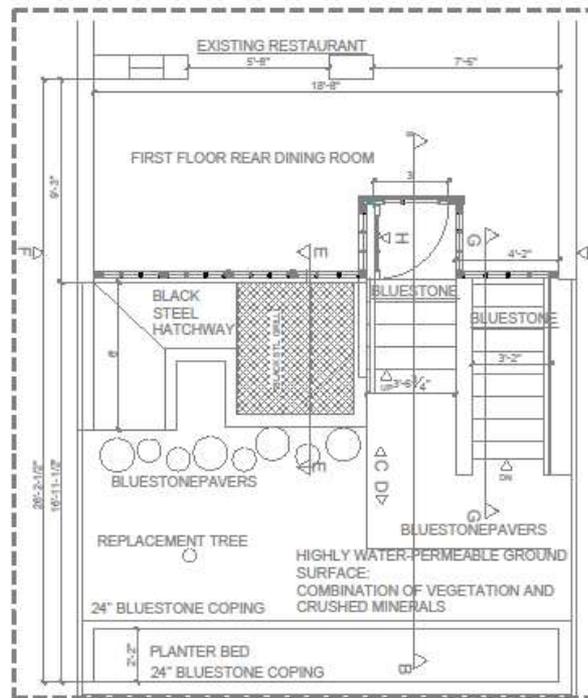
LPC-08
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108 West 74 St
rear enclosure fenestration derived
from restored storefront

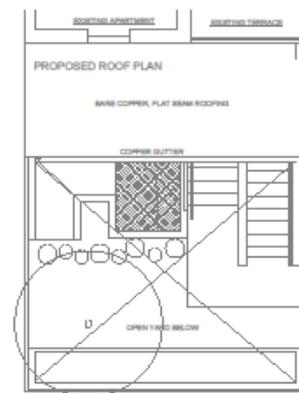
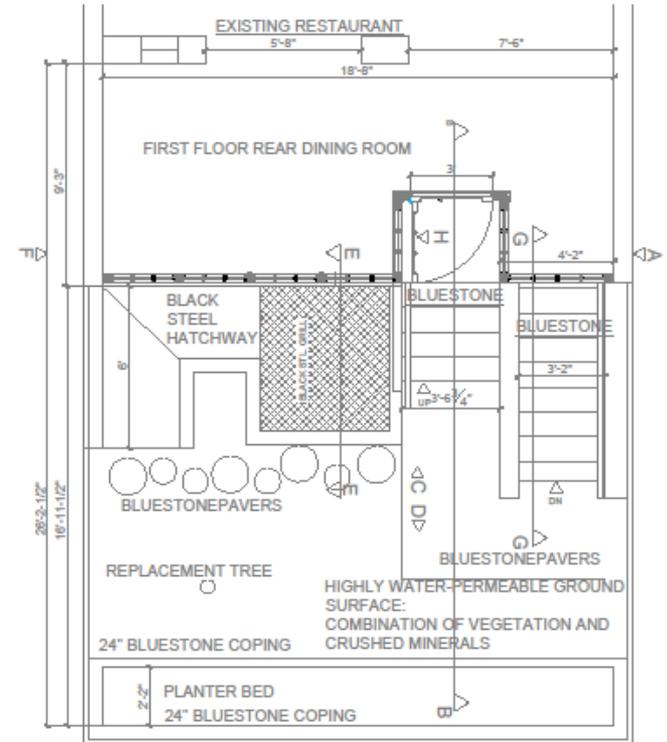


PROPOSED REAR YARD CONDITIONS n.t.s.



COMMERCIAL REAR
TERRACE ENCLOSURE
108 WEST 74 ST

LPC-10



**PROPOSAL
COMMERCIAL REAR
TERRACE ENCLOSURE
108 WEST 74 ST**

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105 West 73 St
rear yard looking West
10' fence, no vegetation



125 West 73 St
rear yard looking West
12' high walls, no vegetation



108 West 74 St
rear yard before
construction of terrace

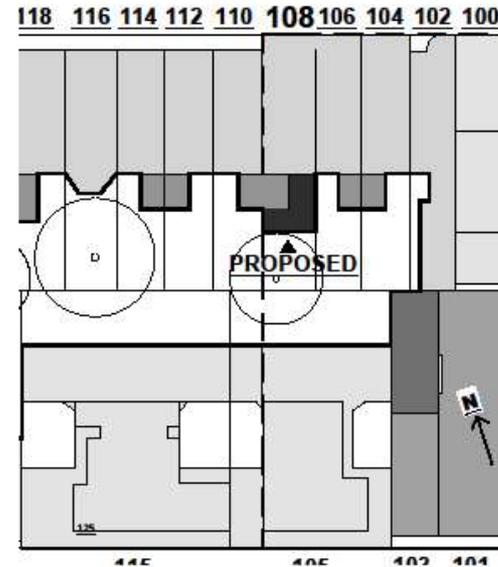
108 West 74 St
rear yard looking Southwest
toward 92 foot wall of 115
West 73 St



FRAMING LUMBER REPRESENTS ONLY THE PROPOSED HEIGHT,
NOT PROPOSED FOOTPRINT



108 West 74 St
rear yard before
construction of terrace



PHOTOS
COMMERCIAL REAR
TERRACE ENCLOSURE
108 WEST 74 ST

LPC-12
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WEST END



MIDDLE OF BLOCK



EAST END



NOTABLY DEEP ADDITIONS



**100% REAR YARD 1-STORY ADDITION
165 WEST 73 STREET**

**PHOTOS
COMMERCIAL REAR
TERRACE ENCLOSURE
108 WEST 74 ST**

LPC-13
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RECENT PANORAMIC VIEWS ABOVE THE PROPOSED ROOF LINE: WOOD FRAME MOCK-UP REPRESENTS BOTH PROPOSED HEIGHT AND DEPTH



PHOTOS
COMMERCIAL REAR
TERRACE ENCLOSURE
108 WEST 74 ST

LPC-14
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108 WEST 74 ST ADDITIONAL PHOTOS

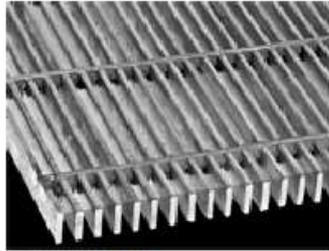


108 WEST 74 ST
ADDITIONAL PHOTOS





COPPER FLAT SEAM



ALUM GRILL



'STO' PUMPKIN STUCCO



BLUESTONE



WOOD FENCE



FACADE MILLWORK



PERSIMMON TREE



FIG BUSHES IN PLANTER



MINERAL AND GROUND VEGETATION

MATERIALS
COMMERCIAL REAR
TERRACE ENCLOSURE
108 WEST 74 ST

LPC-15

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