

TAX MAP PHOTO c. 1940



LPC DESIGNATION PHOTO - AUG. 1973



348 Clermont Ave.
(VACANT LOT)

IMAGE FROM SEPT. 2015

TAKEN FROM VANDERBILT AVE. LOOKING ACROSS BISHOP LOUGHLIN HIGH
SCHOOL RECREATION AREA

SHOWING 350 CLERMONT AVE. AND 174 LAFAYETTE AVE. (CORNER BLDG.)

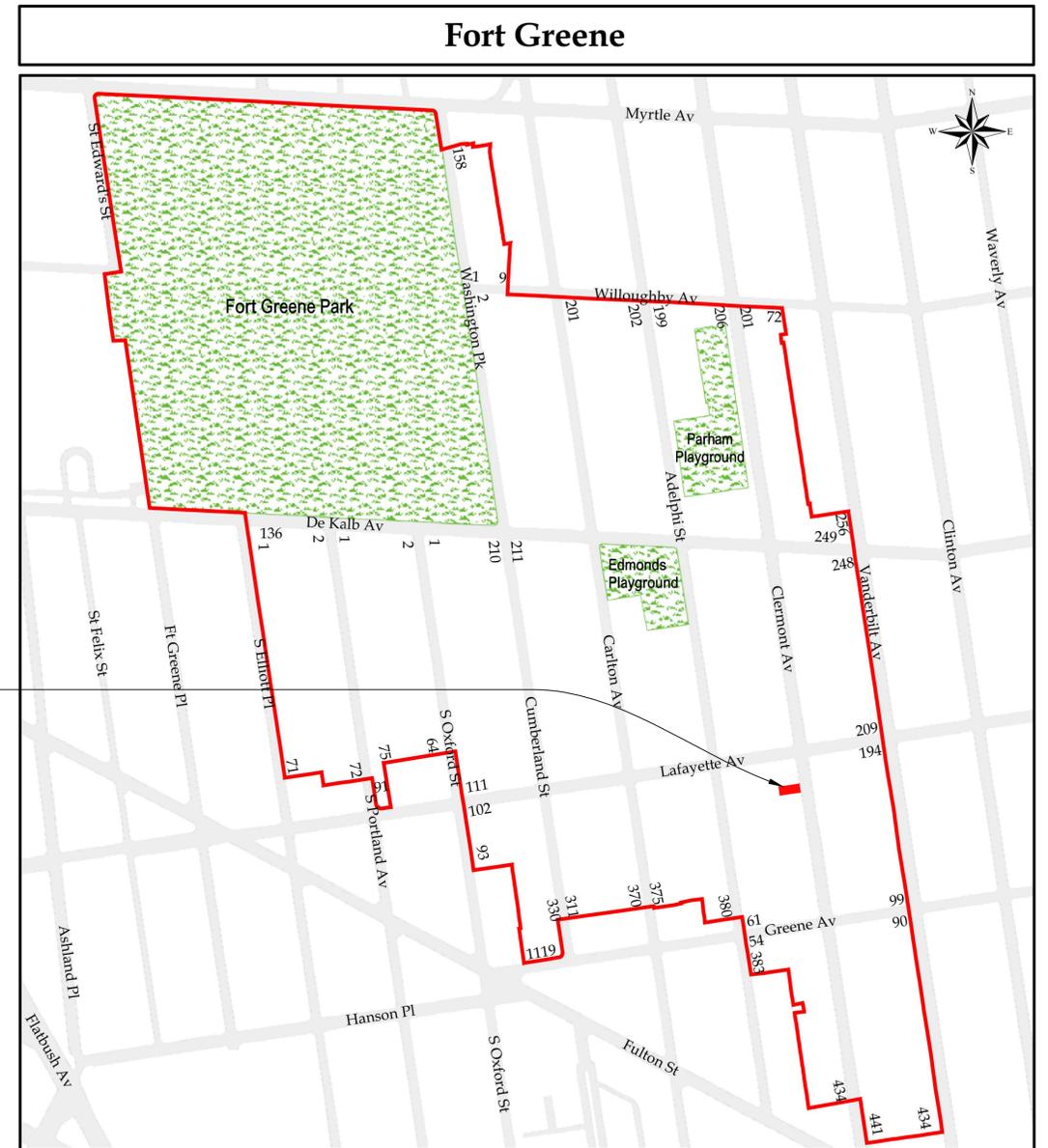


BLOCK PLAN - NOT TO SCALE

348 Clermont Ave.
Proposed:
4 Story / 3 Unit
On Vacant Lot



AERIAL PHOTO - MICROSOFT BING MAPS 2015



Fort Greene Historic District
Brooklyn
Designated September 26, 1978

■ Historic District Boundaries



LANDMARKS PRESERVATION COMMISSION MAP OF
FT. GREENE HISTORIC DISTRICT - NOT TO SCALE



◀ GREENE AVE. 378



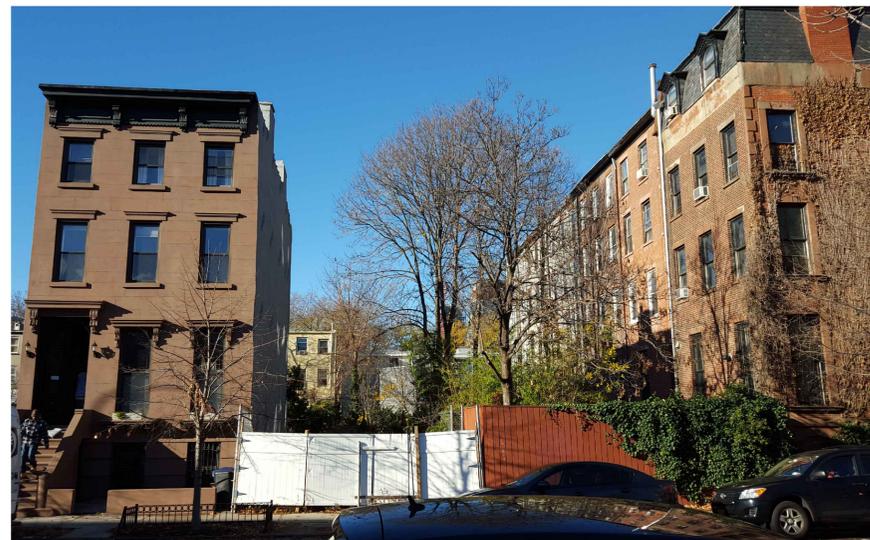
368... ..368 366 364 362...



352



352 350



350 174 Lafayette

348 Clermont



LAFAYETTE AVE.



189 Lafayette

330 Clermont...



328 - 316 Clermont

...CONTINUING ON CLERMONT ▶



Example within the Ft. Greene Historic District - Similar "Book-end" Site Condition

BUILDING LAWS AND ORDINANCES

All materials and construction shall conform to the requirements of all building and sanitary laws in force. The contractor is to be responsible for any violation of the same, and shall make all work acceptable to the Building Department. Certificates shall be furnished showing the approval of all work done by this contractor. This includes approval of electrical work, plumbing work, construction work, etc.

GENERAL CONSTRUCTION NOTES

- Plans and premises to be checked by contractor before work is started.
- All errors and omissions to be reported to the architect.
- No work is to start unless contractor obtains "Permit to Build" from the Building Department and any other approvals that may be required.
- Contractor is to arrange for and schedule all inspections as may be required by the Building Department upon completion of work, and obtain certificate of occupancy if required.
- Contractors are to verify and check all dimensions and conditions on the job before starting work. All dimensions are to finish conditions unless otherwise noted.
- Contractor is to report all discrepancies to the architect.
- Contractor to schedule job meeting(s) for layout of roughings for all trades to coordinate locations of fixtures w/ Owner or Architect.
- Contractor to maintain MEA certificates. When purchasing NYC MEA rated materials or equipment, all shipments and deliveries of such materials shall be accompanied by a certificate or label certifying that the materials shipped or delivered are equivalent to those tested and accepted for use, as provided for in Section 27-131 of the Building Code.

CARBON MONOXIDE & SMOKE DETECTING DEVICES:

- Smoke detecting devices shall conform to subchapter 17, article 6 of the building code.
- Smoke detecting devices shall receive their primary power from building wiring. There shall be no switches in the circuit other than the over current device protecting the branch circuit.
- All smoke detecting devices shall be accepted pursuant to rules and regulations promulgated by the commissioner, approved by the board of standards and appeals listed by a nationally recognized independent laboratory. No device shall be deemed to be in compliance with this provision unless it is either the ionization chamber or photoelectric type.
- Smoke detectors to be installed which meet the requirements of rs 4-6, 4.26.3, adaptable to provide flashing lights arranged to flash in conjunction with audible smoke detector alarm.
- Accessible routes to be provided between facilities, providing a minimum of 36 inches of width along the accessible route as per rs 4-6, 4.3.1, and a minimum of 32 inches of width at doorways, as per rs 4-6, 4.13.5
- Carbon monoxide and smoke detectors to comply with following:
 - installed on ceiling or wall outside of each room used for sleeping purposes and within 15 feet of such sleeping rooms
 - installed in each room used for sleeping purposes
 - installed in each story within dwelling including below-grade story.
- Smoke alarms or detectors shall be interconnected in such a manner that the activation of one alarm or detector will activate all of the alarms or detectors in dwelling unit.

PLUMBING NOTES:

- All work to be done by a licensed plumber in the new york state.
- All plumbing work shall conform to the standards of the new york state.
- Plumber shall file for all additional work not covered under this application with the proper authority and shall pay for all fees and permits.
- The plumber shall pay for and obtain all permits, inspection, etc., related to his work under this application, as required for the completion of this application.
- Contractor shall perform all plumbing work as required to complete the project in accordance with the requirements of the new york state building code and as specified herein.
- Contractor shall remove all unused and unnecessary piping and shall provide new as shown on plans.
- All piping is to be concealed in walls, soffits or hung ceilings and shall not be exposed to view unless so noted.
- Existing piping shall be modified as required to provide a complete system.
- Plumber shall perform all work as required to provide a complete system including fixtures in accordance with requirements of the new york state building code.

INSPECTION ITEMS

SPECIAL INSPECTION ITEMS:	CODE / SEC. REQ.
-Concrete Cast-In-Place	BC 1704.4
-Masonry	BC 1704.5
-Soils -Site Preparation	BC 1704.7.1
-Soils -Investigation (Borings/Test Pits)	BC 1704.7.4
-Mechanical Systems	BC 1704.15
-Structural Safety, Structural Stability	BC 1704.19
-Firestop, Draftstop, and Fireblock systems	BC 1704.25
PROGRESS INSPECTION ITEMS:	
-Footings and Foundation	BC 109.3.3
-Energy Code Compliance Inspections (TR-8)	BC 109.3.5
-Insulation placement & R values	(IA2, IA2)
-Fenestration areas	(IA5, IA5)
-Fire Resistance Rated Construction	BC 109.3.4

SCOPE OF WORK:

New 3 Family Building Application

Herewith submitting new architectural drawings

BASE PLANE CALCULATION:

From Topographical Survey by Perfect Point Land Surveying dated: Sept. 13th 2012
 $\frac{1}{2} (92.49' \text{ (Curb Height A)} + 92.60' \text{ (Curb Height B)})$
 $= 92.55' + .15' = 92.70' \text{ (Base Plane)}$

QUALITY HOUSING NOTES:

- 28-21 Apartment minimum size to be 400 SF Floor Area
- 28-22 All windows to be double glazed
- 28-23 Refuse Storage and Disposal: N/A (8 units < 9 units)
- 28-24 Laundry Facilities: N/A (8 units < 20 units)
- 28-25 Daylight in Corridors: N/A
- 28-30, 28-31, 28-32 Recreation Space: N/A (8 units < 9 units)
- 28-33 Area of lot between street line and street wall shall be planted
- 28-41 Density per Corridor: 50% of sf of corridor may be excluded from the definition of floor area
- 28-50, 28-51, 28-52, 28-53 Parking and Screening: N/A per 25-261

STREET TREE PLANTING:

(1) Street Tree Required Per 25'-0" of Frontage

PARKING ANALYSIS:

Off-Street Parking Required for 50% of Dwelling Units in Building. 50% x 3 (Proposed Dwelling Units) = 2 (Off-Street Parking Spaces) However, Off-Street Parking is Waived when 5 or Fewer Spaces are Required.

BICYCLE PARKING:

No Bicycle Parking Required per ZR 25-811(a)

ZONING ANALYSIS:

Zoning District: R6B
 Zoning Map: 16C

Lot Area: 21.0' x 81.33' + (6.67' x 4') = 1,734.61 s.f.
 Lot Coverage (Max): 1,734.61 s.f. x 60% = 1,040.76 s.f.
 Lot Coverage (Actual): 1,018 s.f. < 1,040.76

Max F.A.: 1,734.61 x 2.0 (F.A.R.) = 3,469.22 s.f. Complies (ZR 23-145)
 Prop'd F.A.: 1,734.61 s.f. < 3,469.22 s.f. Complies (ZR 23-145)
 Prop'd F.A.R.: 3,467.5 s.f. / 1,734.61 = 1.99 < 2.0 Complies (ZR 23-145)

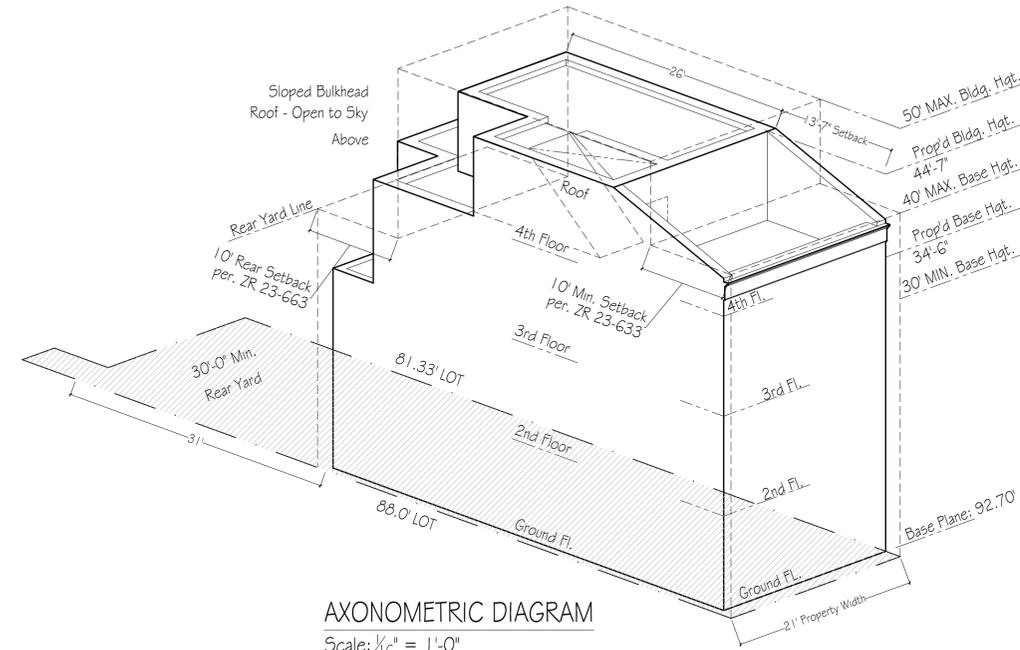
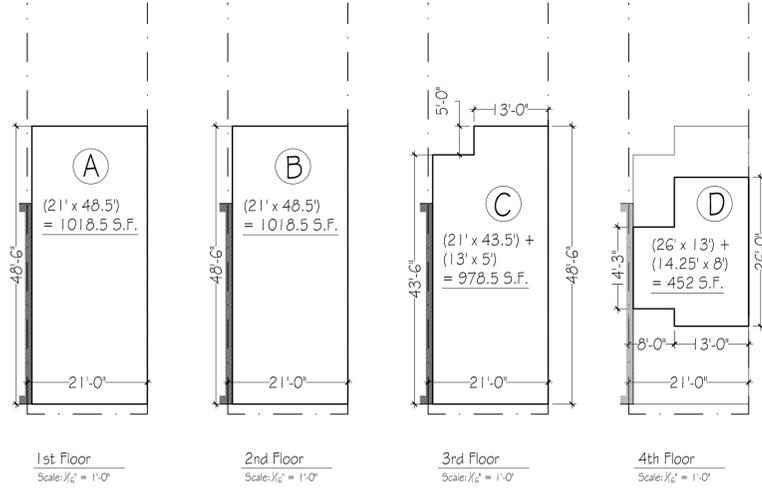
Density Regulation: 3,469.22 / 680 = 5.1 > 3 Dwelling Units Complies (ZR 23-22)

Required Yards:
 Front Yard: None Required - None Proposed
 Side Yard: None Required - None Proposed
 Rear Yard: 30'-0" Required - 31'-0" Proposed Complies (ZR 23-47)

Height & Setback:
 Base Height (Min.): 30'-0" < 34'-6" Complies (ZR 23-633)
 Base Height (Max.): 40'-0" > 34'-6" Complies (ZR 23-633)
 Building Height (Max.): 50'-0" > 44'-7" Complies (ZR 23-633)

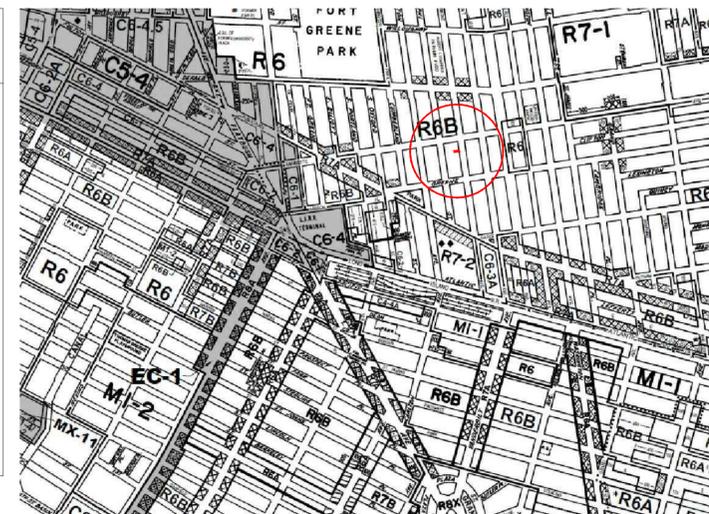
CONSTRUCTION TYPE: CLASS II-A

FLOOR AREA DIAGRAM:

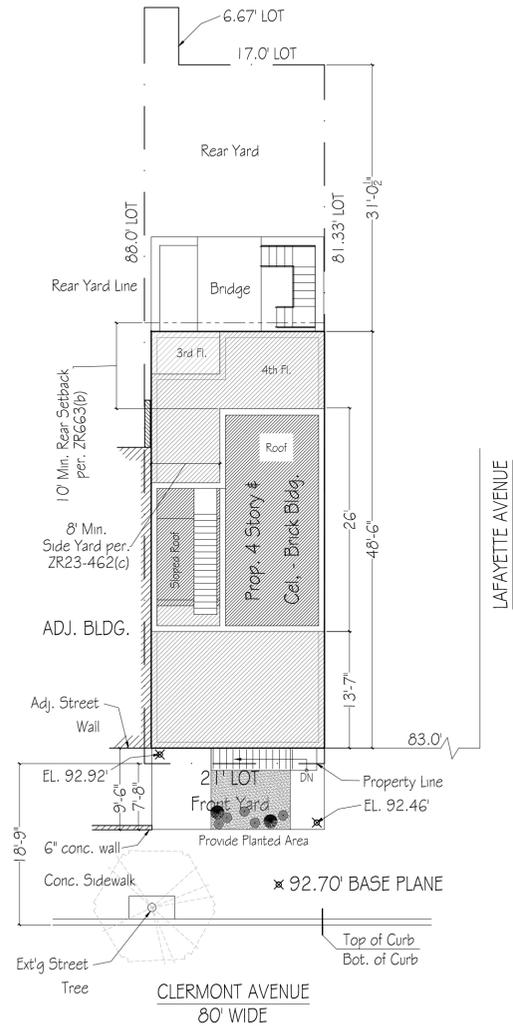
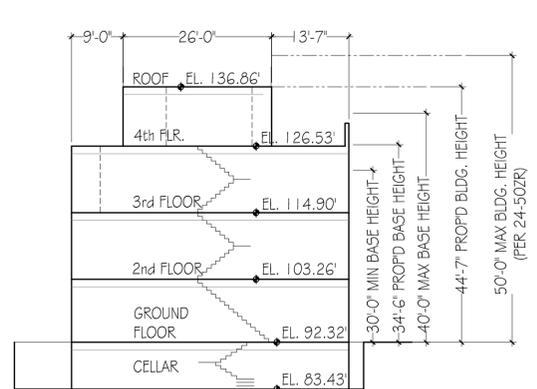


AXONOMETRIC DIAGRAM

Scale: 1/16" = 1'-0"



SKY EXPOSURE DIAGRAM:



SITE PLAN

Scale: 1/16" = 1'-0"

BENJAMIN ELLIS ARCHITECT
 ELLIS + DONNELLY STUDIO
 160 Third Street, 2nd Floor, Brooklyn, NY 11231 718 886-0996

Clermont Fleurant Building
 348 Clermont Avenue
 Brooklyn, NY 11238

REVISIONS:
 LPC Submit 2015-12-08

OWNERS NAME & ADDRESS:
 Guy Fluerant
 348 Clermont Ave.
 Brooklyn, NY 11238

DRAWING TITLE:
 Gen. Notes, Zoning Diagrams
 Energy Analysis and Plot Plan

SEAL & SIGNATURE:

ISSUE DATE:	Feb. 09, 2016
TAX BLOCK:	2121
TAX LOT:	26
ZONING MAP:	16C
ZONE:	R6B
START DATE:	May. 15, 2015
SHEET:	5 of 17

L-005.00



1 Front Elevation - Prop'd at P.H. (01-18-2016)
1/4" = 1'-0"



2 Front Elevation - Current Proposed
1/4" = 1'-0"

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Brooklyn, NY 11238

REVISIONS:
LPC Submit 2015-12-08

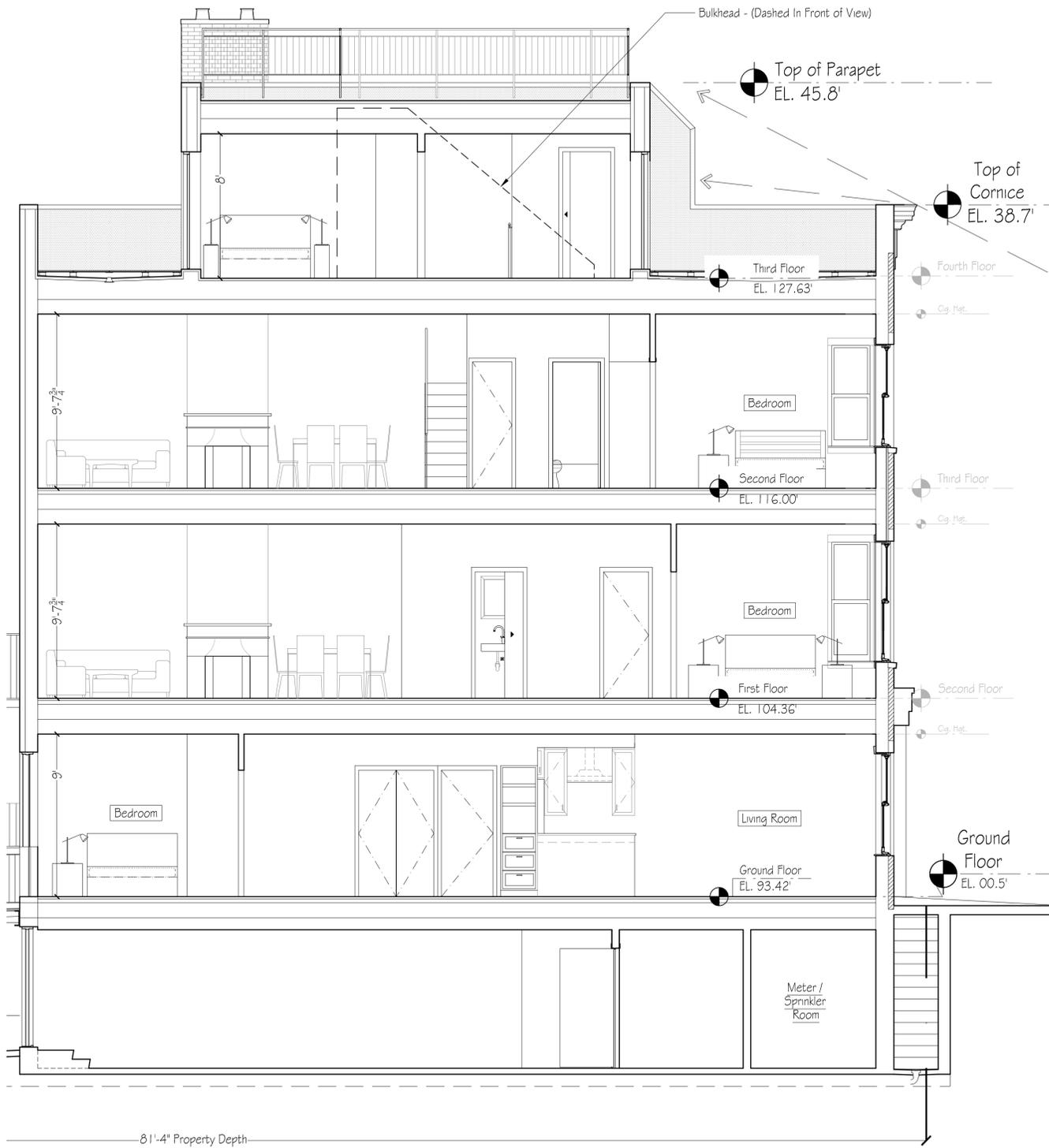
OWNER'S NAME & ADDRESS:
Guy Fleurant
348 Clermont Ave.
Brooklyn, NY 11238

DRAWING TITLE:
Building Section

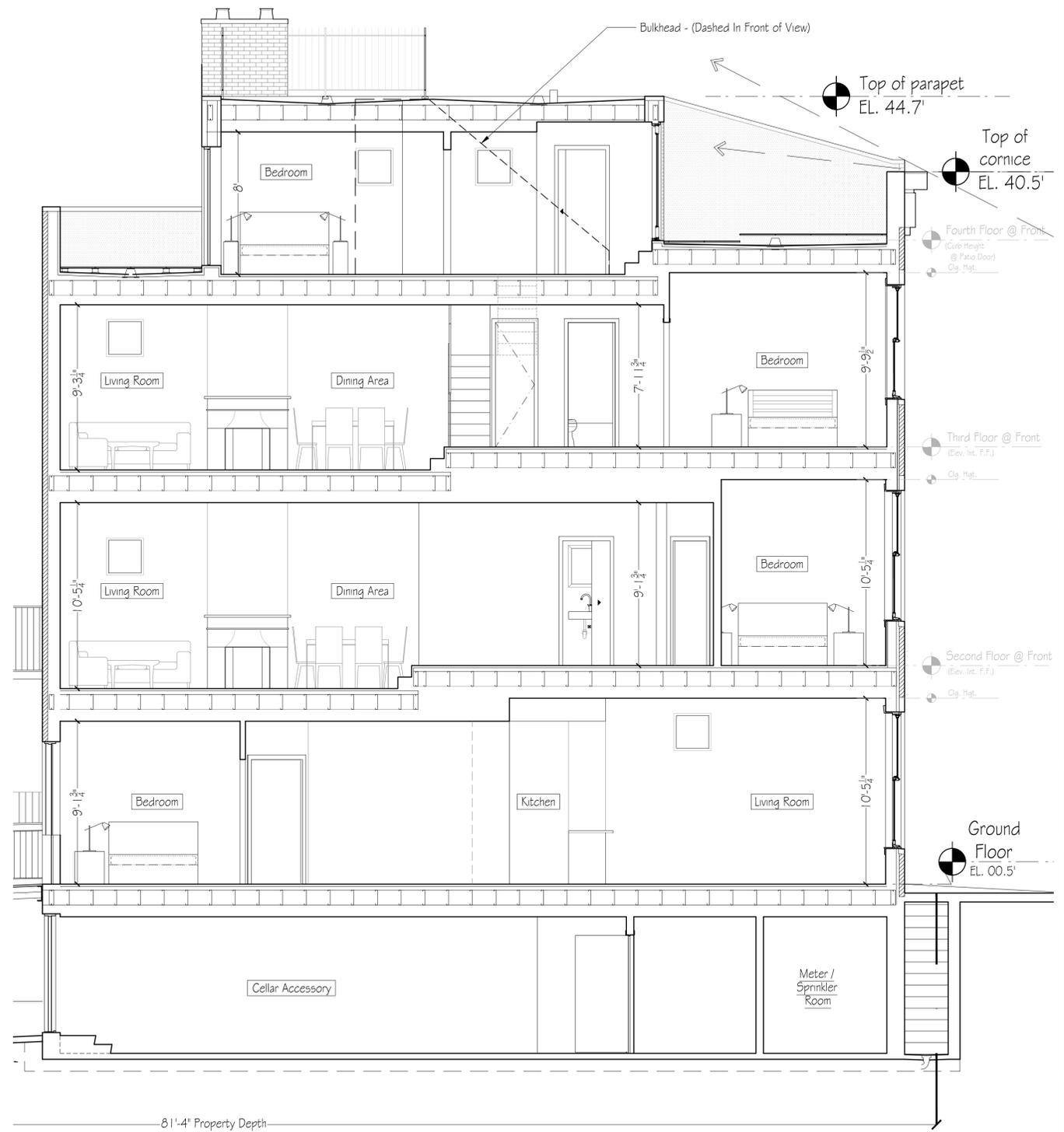
SEAL & SIGNATURE:

ISSUE DATE:	Jan. 19, 2016
TAX BLOCK:	2121
TAX LOT:	26
ZONING MAP:	16C
ZONE:	R6B
START DATE:	May. 15, 2015
SHEET:	6 of 17

L-006.00



1 Long. Section - Prop'd at P.H. (01-18-2016)
1/4" = 1'-0"



2 Long. Section - Current Proposed
1/4" = 1'-0"

REVISIONS:

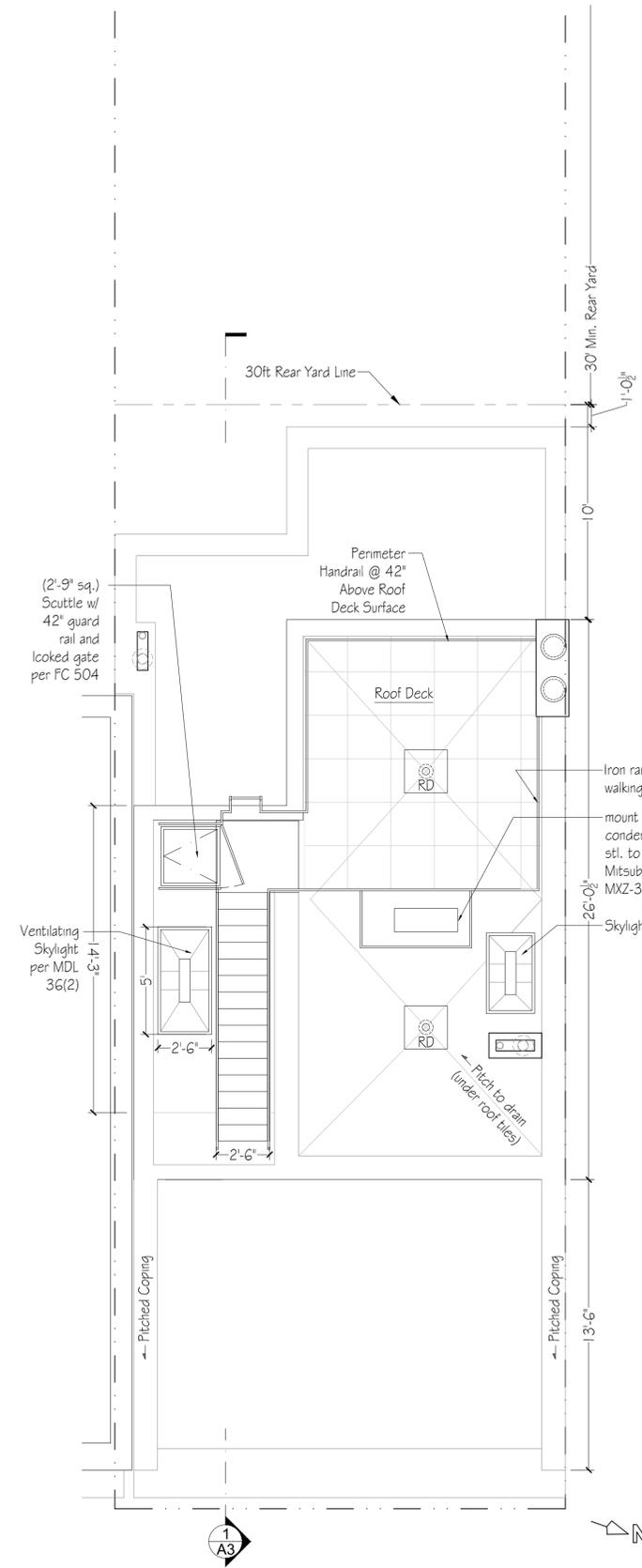
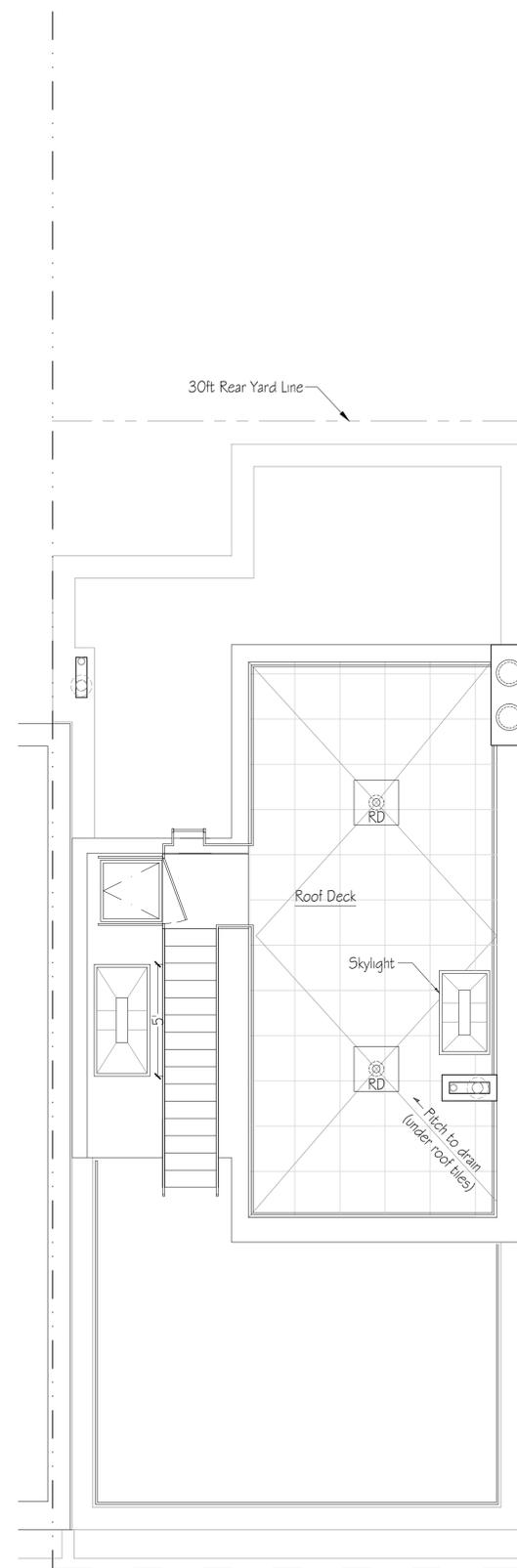
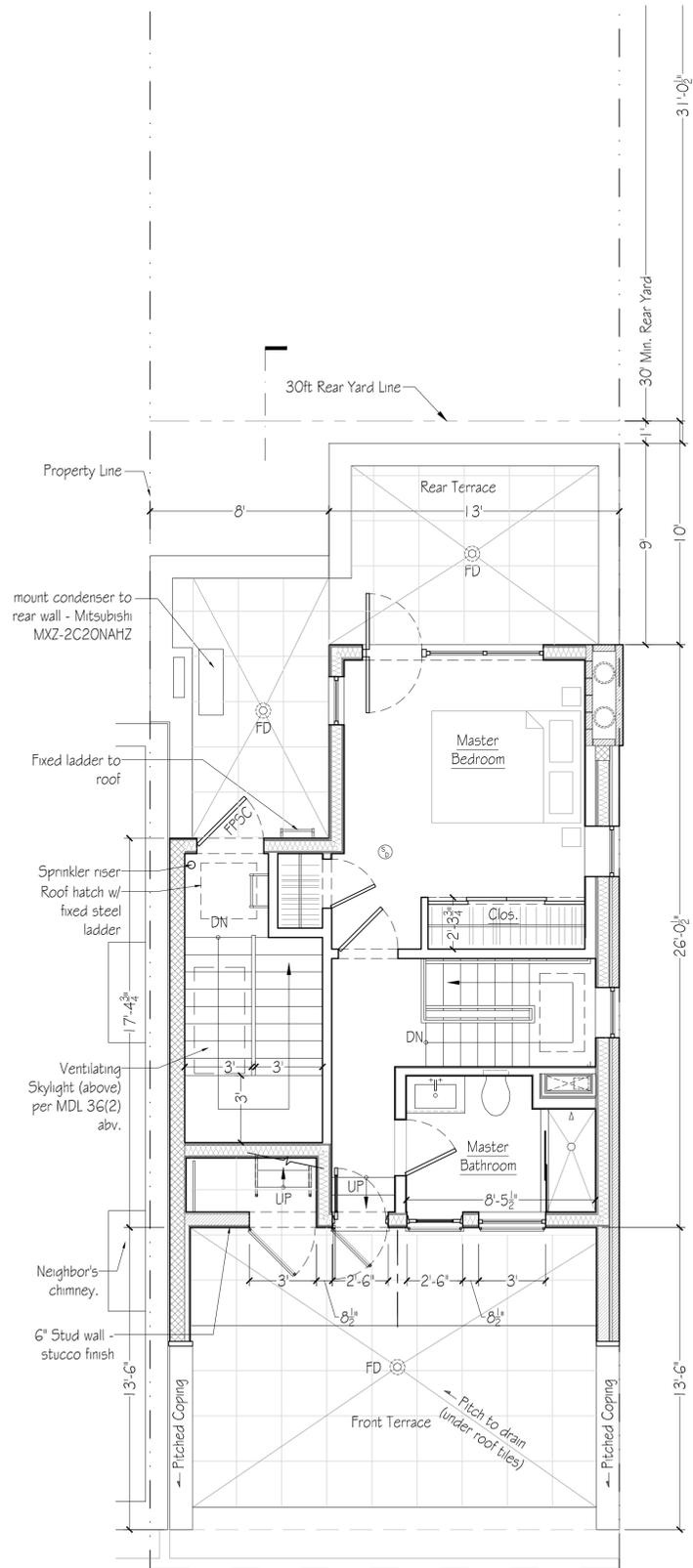
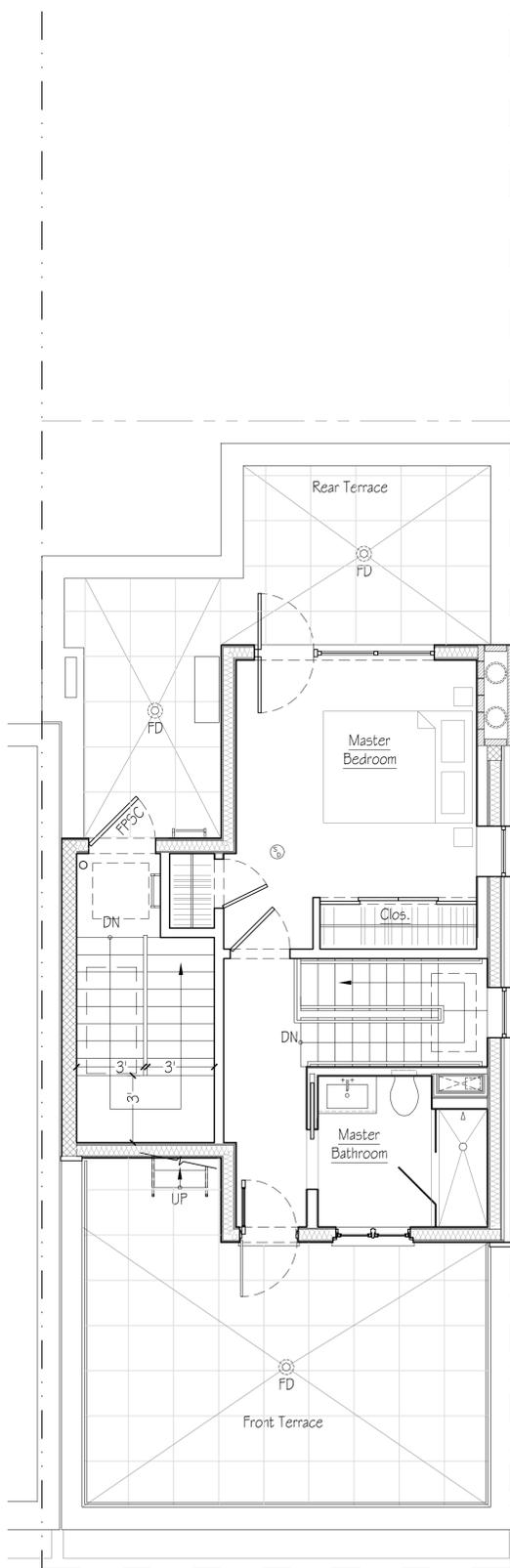
▲	LPC Submit 2015-12-08

OWNER'S NAME & ADDRESS:
 Guy Fleurant
 348 Clermont Ave.
 Brooklyn, NY 11238

DRAWING TITLE:
 Building Section

SEAL & SIGNATURE:

ISSUE DATE:	Jan. 19, 2016
TAX BLOCK:	2121
TAX LOT:	26
ZONING MAP:	16C
ZONE:	R6B
START DATE:	May. 15, 2015
SHEET:	7 of 17



1 Fourth Floor Plan - Prop'd Rev. P.H. (01-18-2016)
1/4" = 1'-0"

2 Fourth Floor Plan - **Current Proposed**
1/4" = 1'-0"

3 Roof Plan - Prop'd Rev. PH (01-18-2016)
1/4" = 1'-0"

4 Roof Plan - **Current Proposed**
1/4" = 1'-0"

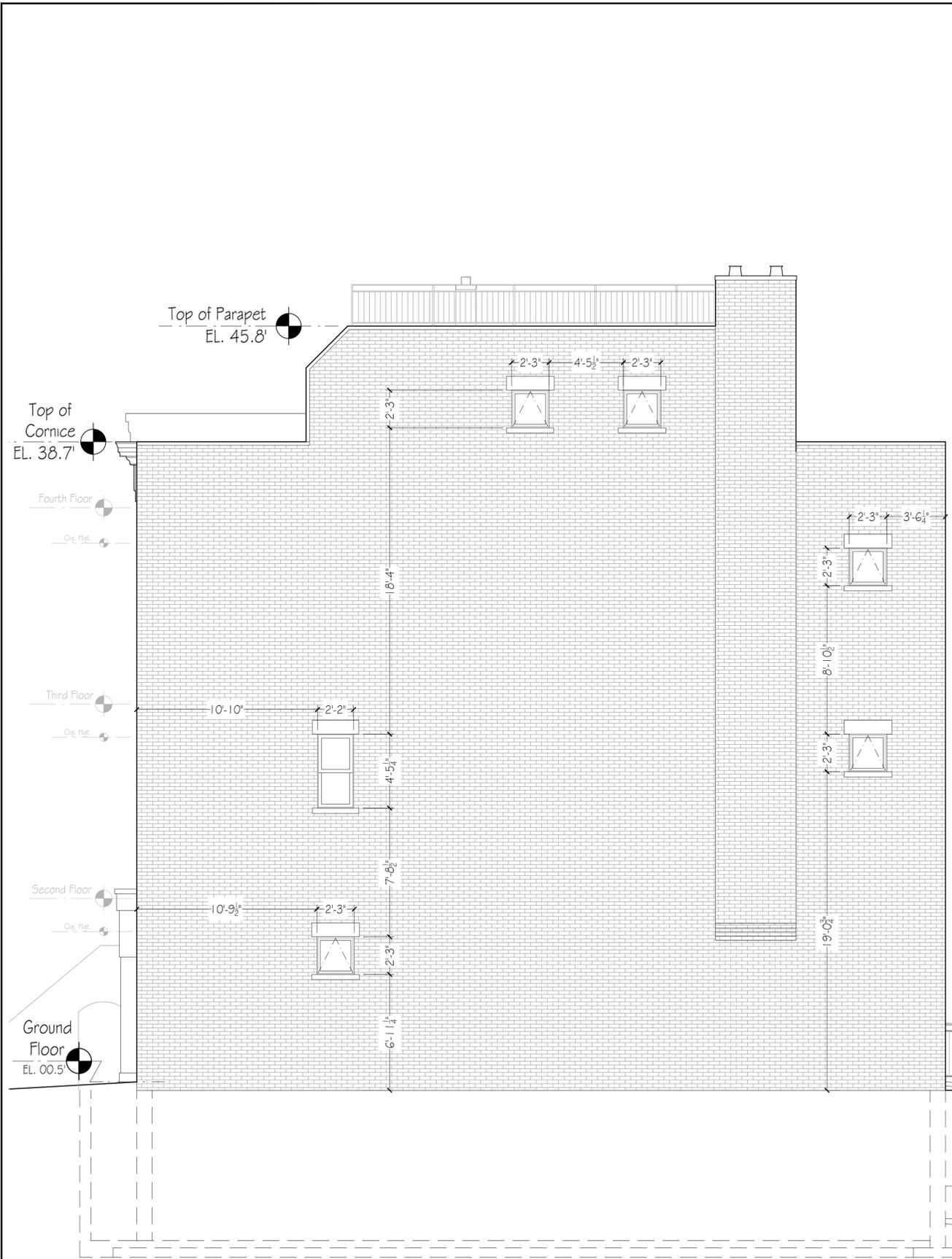
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Brooklyn, NY 11238

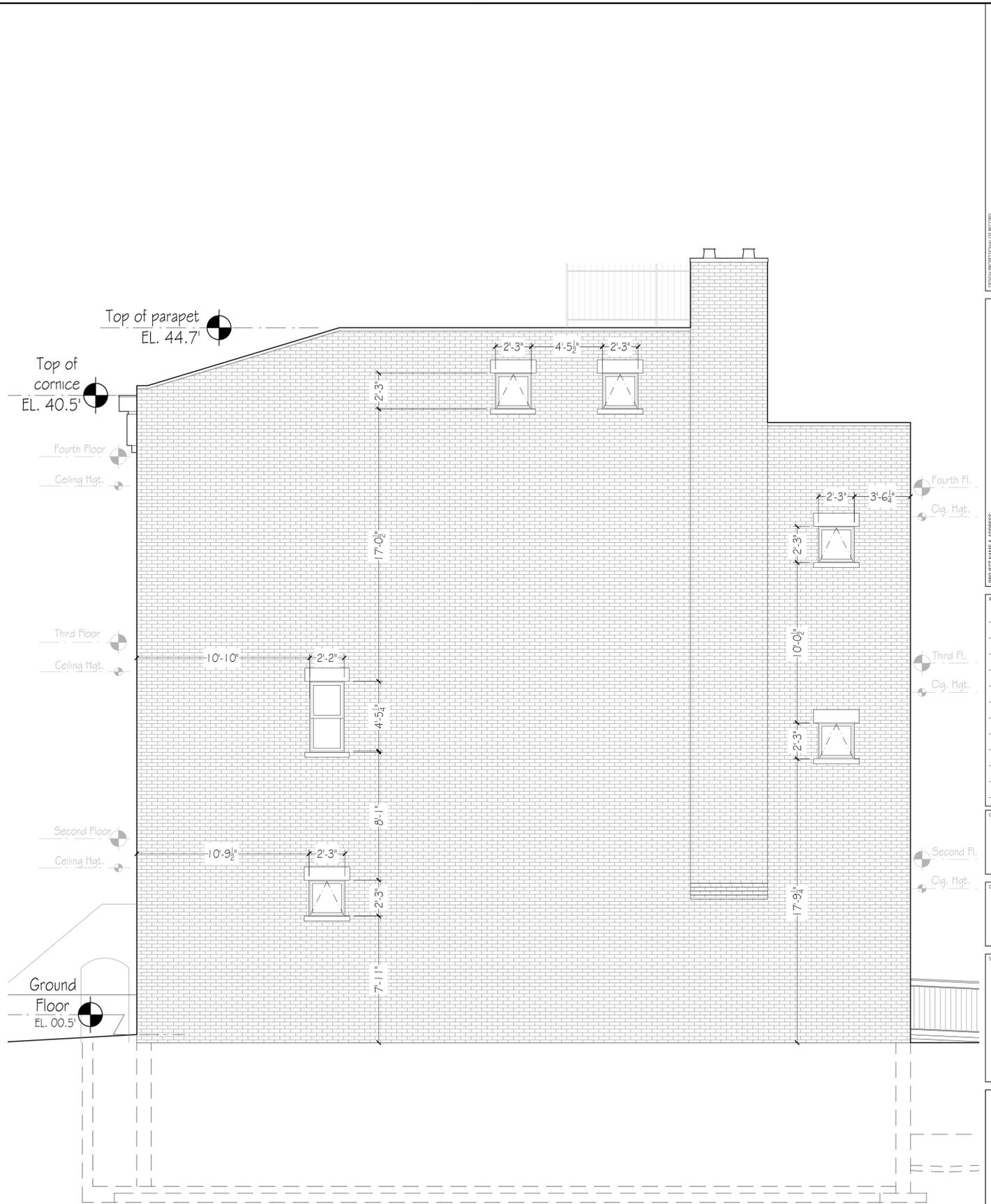
DRAWING TITLE:
Proposed Floor Plans

SEAL & SIGNATURE:

ISSUE DATE:	Feb. 09, 2016
TAX BLOCK:	2121
TAX LOT:	26
ZONING MAP:	16C
ZONE:	R6B
START DATE:	May. 15, 2015
SHEET:	8 of 17



1 North Elevation - Proposed Revision PH (01-18-2016)
 1/4" = 1'-0"



2 North Elevation - Current Proposed
 1/4" = 1'-0"

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 ELLIS + DONNELLY STUDIO
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REVISIONS:
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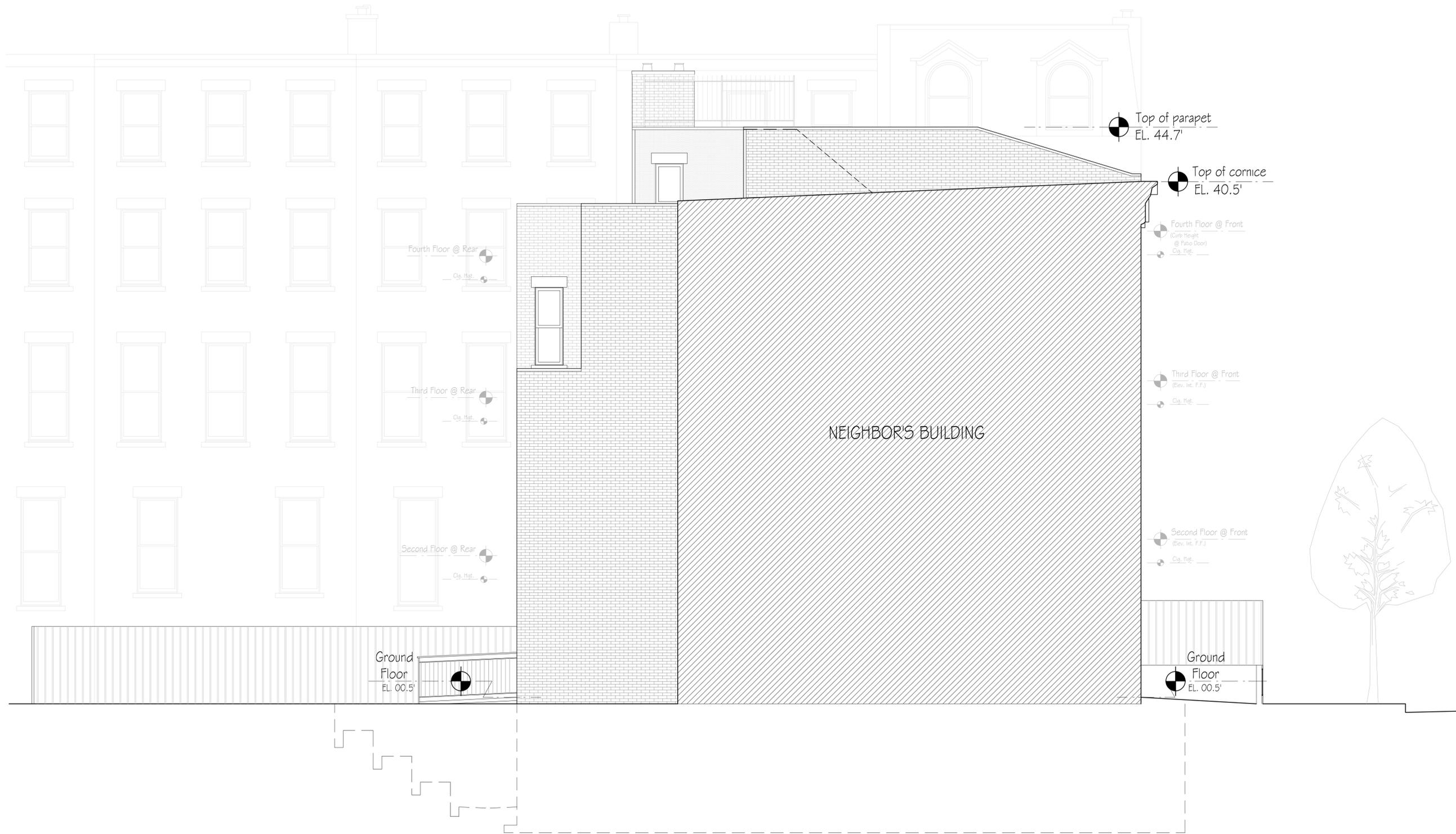
OWNER'S NAME & ADDRESS:
 Guy Fluerant
 348 Clermont Ave.
 Brooklyn, NY 11238

DRAWING TITLE:
 Proposed Elevations

SEAL & SIGNATURE:

ISSUE DATE:	Jan. 19, 2016
TAX BLOCK:	2121
TAX LOT:	26
ZONING MAP:	16C
ZONE:	R6B
START DATE:	May. 15, 2015
SHEET:	9 of 17

L-009.00



1 Side (North) Elevation - Proposed
 1/4" = 1'-0"

REVISIONS:

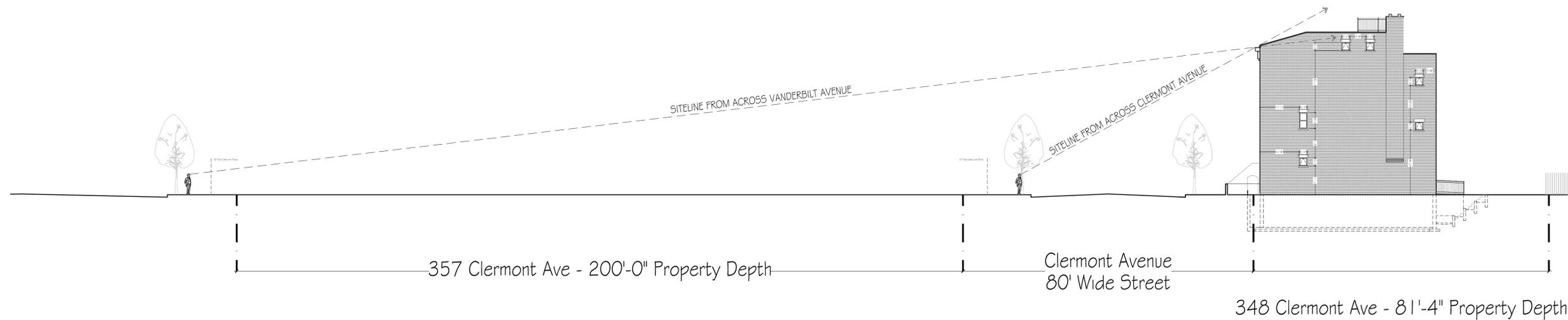
▲	LPC Submit 2015-12-08

OWNER'S NAME & ADDRESS:
Guy Fleurant
 348 Clermont Ave.
 Brooklyn, NY 11238

DRAWING TITLE:
Proposed Elevations

SEAL & SIGNATURE:

<small>ISSUE DATE:</small>	Jan. 19, 2016
<small>TAX BLOCK:</small>	2121
<small>TAX LOT:</small>	26
<small>ZONING MAP:</small>	16C
<small>ZONE:</small>	R6B
<small>START DATE:</small>	May. 15, 2015
<small>SHEET:</small>	10 of 17



① Longitudinal Section - Proposed
Scale: 1/4" = 1'-0"

REVISIONS:

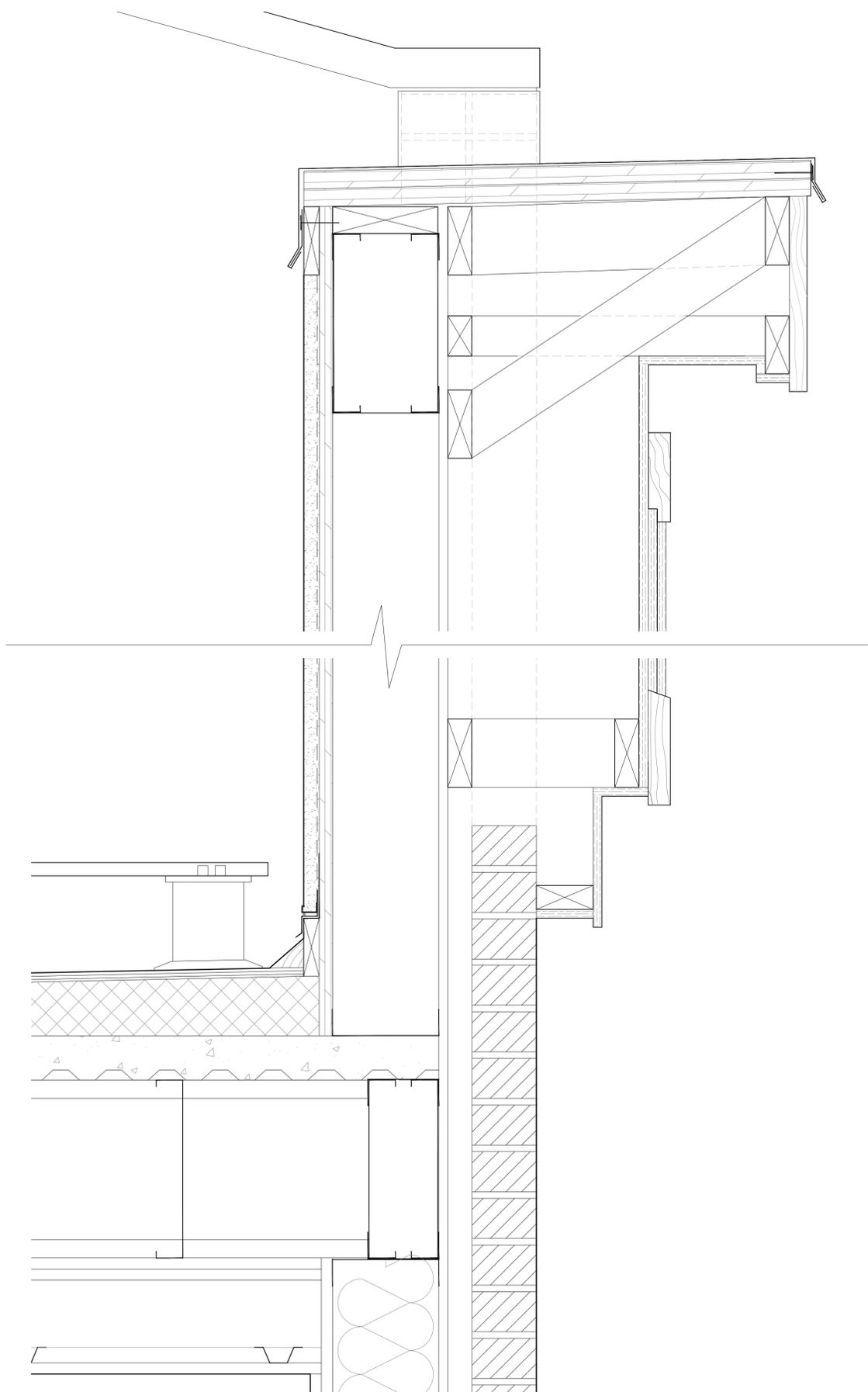
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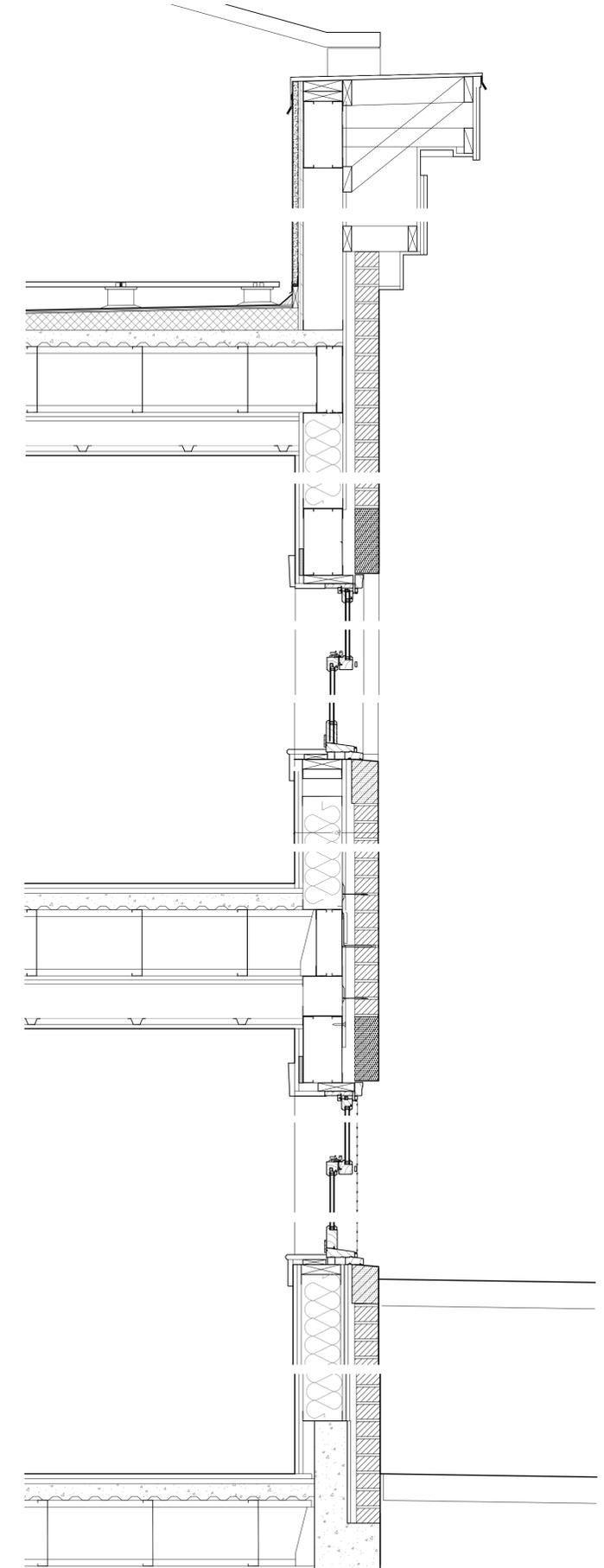
DRAWING TITLE:
 Site Section Diagram

SEAL & SIGNATURE:

ISSUE DATE:	Jan. 19, 2016
TAX BLOCK:	2121
TAX LOT:	26
ZONING MAP:	16C
ZONE:	R6B
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SHEET:	11 of 17



1 Wall Section - Front Parapet and Cornice
Scale: 3" = 1'-0"



2 Wall Section @ Front Facade
Scale: 1" = 1'-0"

DESIGN PROFESSIONAL OF RECORD
BENJAMIN ELLIS ARCHITECT
 ELLIS + DONNELLY STUDIO
 160 Third Street, 2nd Floor, Brooklyn, NY 11231 718 886-0996

PROJECT NAME & ADDRESS
Clermont Fleurant Building
 348 Clermont Avenue
 Brooklyn, NY 11238

REVISIONS:
 ▲ LPC Submit 2015-12-08

OWNER'S NAME & ADDRESS
 Guy Fleurant
 348 Clermont Ave.
 Brooklyn, NY 11238

DRAWING TITLE
 Wall Section + Cornice Detail

SEAL & SIGNATURE:

ISSUE DATE: Jan. 19, 2016
 TAX BLOCK: 2121
 TAX LOT: 26
 ZONING MAP: 16C
 ZONE: R6B
 START DATE: May. 15, 2015
 SHEET: 12 of 17

L-0012.00



