



Board of Standards and Appeals

250 Broadway, 29th Floor
 New York, NY 10007
 212-386-0009 - Phone
 646-500-6271 - Fax
 www.nyc.gov/bsa

ZONING (BZ) CALENDAR
 Application Form

BSA APPLICATION NO. _____
 CEQR NO. _____

Section A

Applicant/
 Owner

| | |
|--|--|
| Eric Palanik, P.C. <i>NAME OF APPLICANT</i> | Mykhaylo Kadar <i>OWNER OF RECORD</i> |
| 32 Broadway, Suite 114 <i>ADDRESS</i> | 4081 Ocean Avenue <i>ADDRESS</i> |
| New York NY 10004 <i>CITY STATE ZIP</i> | Brooklyn NY 11235 <i>CITY STATE ZIP</i> |
| 212 425-4343 <i>AREA CODE TELEPHONE</i> | <i>LESSEE / CONTRACT VENDEE</i> |
| 212 968-7129 <i>AREA CODE FAX</i> | <i>ADDRESS</i> |
| eric@ericpalatnikpc.com <i>EMAIL</i> | <i>CITY STATE ZIP</i> |

Section B

Site
 Data

4081 Ocean Avenue 11235
STREET ADDRESS (INCLUDE ANY A/K/A) ZIP CODE

Ocean Avenue between Shore Boulevard and Hampton Avenue
DESCRIPTION OF PROPERTY BY BOUNDING OR CROSS STREETS

| | | | | |
|----------------------------|--|----------------|---------------------------|-----------------------------------|
| 8744 | 51 | Brooklyn | 15 | N/A |
| <i>BLOCK</i> | <i>LOT(S)</i> | <i>BOROUGH</i> | <i>COMMUNITY DISTRICT</i> | <i>LANDMARK/HISTORIC DISTRICT</i> |
| Hon. Chaim M. Deutsch | R3-1 | | 29b | |
| <i>CITY COUNCIL MEMBER</i> | <i>ZONING DISTRICT</i> <i>(include special district if any)</i> | | <i>ZONING MAP NUMBER</i> | |

Section C

Dept of Building
 Decision

BSA AUTHORIZING SECTION(S) 73-622 for VARIANCE SPECIAL PERMIT (Including 11-41)

Section(s) of the Zoning Resolution to be varied 23-142; 23-461; 23-47

DOB Decision (Objection/ Denial) date: August 18, 2016 Acting on Application No: 321431349

Section D

Description

(LEGALIZATION YES NO IN PART)

Special permit pursuant to ZR 73-622 to enlarge an existing one family home contrary to the FAR (23-142); open space (23-142); lot coverage (23-142); side yard (23-461) and rear yard (23-47) requirements of the underlying R3-1 zoning district.

Section E

BSA History
 and
 Related Actions

If "YES" to any of the below questions, please explain in the STATEMENT OF FACTS

| | YES | NO |
|--|--------------------------|-------------------------------------|
| 1. Has the premises been the subject of any previous BSA application(s)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| PRIOR BSA APPLICATION NO(S): _____ | | |
| 2. Are there any applications concerning the premises pending before any other government agency?... | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Is the property the subject of any court action?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Section F

Signature

I HEREBY AFFIRM THAT BASED ON INFORMATION AND BELIEF, THE ABOVE STATEMENTS AND THE STATEMENTS CONTAINED IN THE PAPERS ARE TRUE.

Signature of Applicant, Corporate Officer or Other Authorized Representative: _____ SWORN TO ME THIS 16 DAY OF Sept 2016

Eric Palatnik Attorney
 Print Name Title

ROBIN GONZALEZ
 Notary Public, State of New York
 No. 01GO6097433
 Qualified in Kings County
 My Commission Expires 08/18/2019

NOTARY PUBLIC

BSA CALENDAR NO. _____

BLOCK 8744

LOT 51

SUBJECT SITE ADDRESS _____

4081 Ocean Avenue

APPLICANT _____

Dmitriy Shenker, R.A., AIA

ZONING DISTRICT R3-1

PRIOR BSA # _____

COMPLIANT: "Y"

SPECIAL/HISTORIC DISTRICT _____

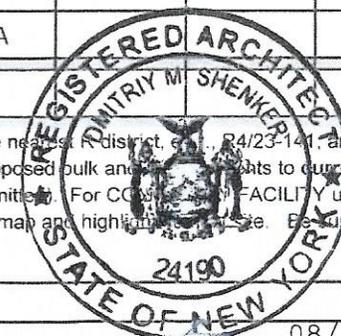
IF NOT: "N" and

COMMUNITY BOARD 315

INDICATE AMT

| | * APPLICABLE ZR SECTION | MAXIMUM PERMITTED | MINIMUM REQUIRED | LEGAL PER C of O or BSA | EXISTING | PROPOSED | OVER/UNDER |
|------------------------|-------------------------|-------------------|------------------|-------------------------|----------|----------|------------|
| LOT AREA | 23-32 | | 3,800 | N/A | 3,120 | 3,120 | N |
| LOT WIDTH | 23-32 | | 40 | N/A | 30 | 30 | N |
| USE GROUP (S) | 23-32 | | | N/A | 1 | 1 | Y |
| FA RESIDENTIAL | 23-142 | 1,900 | | N/A | 2,120 | 2,854 | N |
| FA COMMUNITY FACILITY | | - | | | - | - | |
| FA COMMERCIAL/INDUST. | | - | | | - | - | |
| FLOOR AREA TOTAL | 23-142 | 1,900 | | N/A | 2,120 | 2,854 | N |
| FAR RESIDENTIAL | 23-142 | 0.5 | | N/A | 0.68 | 0.91 | N |
| FAR COMMUNITY FACILITY | | | | | | | |
| FAR COMMERCIAL/INDUST. | | | | | | | |
| FAR TOTAL | 23-142 | 0.5 | | N/A | 0.68 | 0.91 | N |
| OPEN SPACE | 23-142 | | 2,028 | N/A | 1,913 | 1,913 | N |
| OPEN SPACE RATIO | 23-142 | | 0.65 | N/A | 0.61 | 0.61 | N |
| LOT COVERAGE (%) | 23-142 | 0.35 | | N/A | 0.39 | 0.39 | N |
| NO. DWELLING UNITS | 23-22 | 1 | | N/A | 1 | 1 | Y |
| WALL HEIGHT | 23-631(b) | 21'-0" | | N/A | 18'-3" | 18'-3" | Y |
| TOTAL HEIGHT | 23-631(b) | 35'-0" | | N/A | 25'-3" | 28'-2" | Y |
| NUMBER OF STORIES | | | | N/A | 2 | 3 | Y |
| FRONT YARD | 23-45 | | 15'-0" | N/A | 15'-0" | 15'-0" | Y |
| SIDE YARD | 23-461 | | 8'-0" | N/A | 4'-10" | 4'-10" | N |
| SIDE YARD | 23-461 | | 5'-0" | N/A | 4'-5" | 4'-7" | N |
| REAR YARD | 23-47 | | 30'-0" | N/A | 27'-8" | 27'-8" | N |
| SETBACK (S) | N/A | | N/A | N/A | | | N/A |
| SKY EXP. PLANE (SLOPE) | N/A | N/A | | N/A | | | N/A |
| NO. PARKING SPACES | 25-15 | N/A | 1 | N/A | 1 | 1 | Y |
| LOADING BERTH (S) | N/A | | | N/A | | | N/A |
| OTHER: | | | | | | | |

* In Applicable ZR Section column: For RESIDENTIAL developments in non-residential districts, indicate nearest R district, e.g., R4/23-141, and contrast compliance. For COMMERCIAL or MANUFACTURING developments in residential districts, contrast proposed bulk and height requirements to current R district requirements, except for parking and loading requirements (contrast to nearest district where use is permitted). For COMMUNITY FACILITY uses in districts where not permitted, contrast to nearest district where permitted. For all applications, attach zoning map and highlight subject site. Be sure that all items noted in the DOB Denial/Objection are included. NOTES:



ERIC PALATNIK, P.C.

ATTORNEY AT LAW
32 BROADWAY, SUITE 114
NEW YORK, NEW YORK 10004

(212) 425-4343
FAX (212) 968-7129
E-MAIL ERIC@ERICPALATNIKPC.COM

September 16, 2016

STATEMENT OF FACTS AND FINDINGS

*Premises: 4081 Ocean Avenue
Block 8744, Lot 51
Brooklyn, New York*

This application is filed pursuant to § 73-622 of the Zoning Resolution of the City of New York, as amended (hereinafter “ZR”). It requests a Special Permit to enlarge an existing two story dwelling in a residential zoning district (R3-1). The application seeks to vary the floor area, open space, lot coverage, side yard and rear yard requirements of the Zoning Resolution.

The Premises is located on the east side of Ocean Avenue, between Shore Boulevard and Hampton Avenue. It is located in Brooklyn Community Board 15. It is situated on a three thousand one hundred and twenty (3,120) square foot lot, further identified on the New York City Tax Map as Block 8744, Lot 51. The lot has thirty feet (30’) of frontage on Ocean Avenue and a depth of one hundred and four feet (104’). The Premises is improved with an existing residential structure (single family home), which is a two story home with a cellar.

The existing home has a floor area of 2,120 square feet (0.68 FAR); a lot coverage of 39%; and an open space ratio of 61%. The home has two side yards of 4’10” and 4’5”; a front yard of 15’; and a 27’8” rear yard.

The existing home has the following existing non-compliances:

- **Side Yards** – The existing building has two side yards of 4’10” and 4’5” whereas a minimum combined side yard of thirteen feet (13’) and a minimum individual side yard dimension of five feet (5’) is required pursuant to ZR 23-461;
- **Floor Area Ratio** – The existing building has a floor area ratio of 0.68 whereas a maximum floor area ration of 0.5 is allowed pursuant to ZR 23-142;

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- **Lot Coverage and Open Space** – The existing building has a lot coverage of 39%; and an open space ratio of 61%. A maximum lot coverage of 35% and a minimum open space ratio of 65% is required pursuant to ZR 23-142;
- **Rear Yard** - The existing building has a rear yard of 27'8" whereas a rear yard of 30' is required pursuant to ZR 23-47;

The owner seeks to maintain the building's footprint and to maintain these existing non-compliances apart from the FAR which is proposed to be increased. Please find enclosed Sanborn Maps that show that the building's footprint has not changed since 1950 and as such substantiate the legality of these non-complying conditions.

The applicant seeks to enlarge the home. As shown on the proposed plans, the home's design will maintain the existing home's footprint and as such will have a minimum impact on adjoining properties. The existing home's footprint which includes non-compliant side yards, rear yard, lot coverage and open space will be maintained as part of the instant application. It is proposed to increase the home's floor area from 2,120 square feet to 2,854 square feet.

The proposed home will have a compliant perimeter wall height of eighteen feet and three inches (18'3") and the total height will be a compliant twenty eight feet and two inches (28'2"). The proposed home will have a floor area of 2,854 square feet (0.91 FAR); a lot coverage of 39%; and an open space ratio of 61%. The home would have two side yards of 4'10" and 4'7"; a front yard of 15'; and a 27'8" rear yard.

As shown on the attached FIRM Map, the Premises is located in a flood zone. The existing cellar may be maintained as part of the application and the lowest occupiable floor does not have to be elevated above its current elevation of 12.92' as the proposed enlargement is not a substantial improvement as defined in the 2014 Building Code ("BC").

BC Section G304 provides that "all post FIRM new buildings and substantial improvements shall comply with the applicable requirements in Chapter G3 of this code." Accordingly, improvements that are not substantial do not have to be elevated.

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A substantial improvement is defined by Appendix G of the Building Code as any “repair, reconstruction, rehabilitation, addition or improvement of a building or structure, the cost of which equals or exceeds 50 percent of the market value of the structure before the improvement or repair is started.”

Please find enclosed a market value analysis and construction cost estimates. As shown on the documents, the value of the structure is \$667,010 and the estimated cost of construction is \$233,690.

Accordingly, the cost of construction is less than 50% of the value of the structure. ($233,690 / 667,010 = .350$) and the proposal does not constitute a substantial improvement as defined by the Building Code.

Plans were filed with the Department of Buildings (“DOB”) in order to permit the enlargement. On September 9, 2016, under Job # 321431349, the following objections were issued:

PROPOSED VERTICAL ENLARGEMENT TO EXISTING SINGLE-FAMILY HOME IN R3-1 ZONING DISTRICT IS NON-COMPLIANT IN REGARD TO:

1. PROPOSED FLOOR AREA RATIO (F.A.R.) IS CONTRARY TO ZR 23-142.
2. PROPOSED LOT COVERAGE IS CONTRARY TO ZR 23-142.
3. PROPOSED OPEN SPACE IS CONTRARY TO ZR 23-142.
4. PROPOSED MINIMUM SIDE YARD IS CONTRARY ZR 23-461.
5. PROPOSED TOTAL SIDE YARDS ARE CONTRARY ZR 23-461.
6. PROPOSED REAR YARD IS CONTRARY ZR 23-47.

ACCORDINGLY PROJECT HAS TO BE REFERRED TO THE BOARD OF STANDARDS AND APPEALS FOR A SPECIAL PERMIT REVIEW PURSUANT TO ZR 73-622.

Authority of Section 73-622

Zoning Resolution § 73-622(a) lists “*Community Districts 10, 11 and 15, in the Borough of Brooklyn*” as a designated Special Permit area. As evidenced by the enclosed application materials, the Premises, which is located in Community District 15, qualifies as the subject of a Special Permit application.

Description of Objections

1. Proposed floor area ratio (FAR) is contrary to ZR 23-142

The proposal will increase the floor area ratio from 0.68 (2,120 square feet) to 0.91 (2,854 square feet). This will increase the degree of non-compliance. Under Zoning Resolution § 23-142, the maximum permitted floor area ratio is 0.50.

Zoning Resolution § 73-622 allows the creation of such non-compliances, provided that the enlargement does not alter the existing character of the neighborhood or impair the future use or development of the surrounding area.

2. Proposed lot coverage is contrary to ZR 23-142.

The proposal will maintain the existing lot coverage of 39%. This will maintain a non-compliance with respect to lot coverage. Under Zoning Resolution § 23-142, the maximum permitted lot coverage is 35%.

Zoning Resolution § 73-622 allows the creation of such non-compliances, provided that the enlargement does not alter the existing character of the neighborhood or impair the future use or development of the surrounding area.

3. Proposed open space ratio is contrary to ZR 23-142.

The proposal will maintain the existing open space of 61%. This will maintain a non-compliance with respect to open space. Under Zoning Resolution § 23-142, the minimum required open space is 65%.

Zoning Resolution § 73-622 allows the creation of such non-compliances, provided that the enlargement does not alter the existing character of the neighborhood or impair the future use or development of the surrounding area.

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4. & 5. Proposed minimum side yards and total side yards are contrary to ZR 23-461

The proposal will maintain the northern 4'10" side yard and will increase the southern side yard from 4'5" to 4'7" by removing a 2" widening in the middle of the wall. This will decrease the degree of non-compliance. ZR 23-461 requires that two side yards with a total combined width of 13' be provided with a minimum 5' width for any one side yard.

Zoning Resolution § 73-622 allows the creation of such non-compliances, provided that the enlargement does not alter the existing character of the neighborhood or impair the future use or development of the surrounding area.

6. Proposed rear yard is contrary to ZR 23-47

The proposal will maintain the existing 27'8" rear yard. This will maintain a non-compliance. Under Zoning Resolution §23-47, a rear yard with a depth of not less than 30 feet shall be provided at every rear lot line, except as otherwise provided.

Zoning Resolution §73-622 allows the Board to create a new non-compliance or increase the amount or degree of such an existing non-compliance where there is a minimum 20'0" rear yard measurement (ZR §73-622(b)(2)), provided that the enlargement does not alter the existing character of the neighborhood or impair the future use or development of the surrounding area.

Satisfaction of Findings

The proposed home will not alter the character of the neighborhood nor impair the future use or development of the surrounding area. The home has been specifically designed to fit into neighborhood in terms of architectural design and bulk dimensions.

Please find enclosed a floor area ratio study by Urban Cartographics. As shown thereon, several homes within 400 feet of the site have an FAR that is comparable to what is proposed. In particular:

- Block 8745, Lot 75 has an FAR of 0.98;
- Block 8744, Lot 16 has an FAR of 0.86;

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- Block 8731, Lot 54 has an FAR of 0.87;
- Block 8731, Lot 69 has an FAR of 1.29.

As such, the proposed FAR of 0.92 will not alter the essential character of the neighborhood or district in which the building is located, nor impair the future use or development of the surrounding area.

Additionally, the proposed lot coverage of 39% will not alter neighborhood character. Please find enclosed a floor area ratio study by Urban Cartographics. As shown thereon, several homes within 400 feet of the site have a lot coverage that is comparable to what is proposed. In particular:

- Block 8745, Lot 64 has a lot coverage of 39%
- Block 8745, Lot 67 has a lot coverage of 45%
- Block 8745, Lot 68 has a lot coverage of 45%
- Block 8744, Lot 43 has a lot coverage of 38%
- Block 8744, Lot 42 has a lot coverage of 42%
- Block 8731, Lot 34 has a lot coverage of 45%
- Block 8731, Lot 36 has a lot coverage of 44%
- Block 8731, Lot 37 has a lot coverage of 41%
- Block 8731, Lot 64 has a lot coverage of 43%

As such, the proposed lot coverage of 39% will not alter the essential character of the neighborhood or district in which the building is located, nor impair the future use or development of the surrounding area.

Lastly, the proposed flat roof will not alter the character of the neighborhood. Please find enclosed a survey of homes that have flat roofs. As shown thereon, flat roofs are a common condition in the neighborhood and the instant proposal will not be the first.

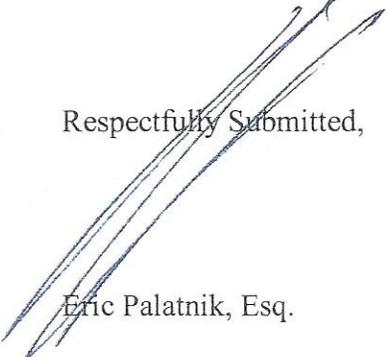
Conclusion

The enlargement is located within a designated area and meets the requirements of ZR §73-622. It conforms to the character of the neighborhood and will not impair the use or development of the area.

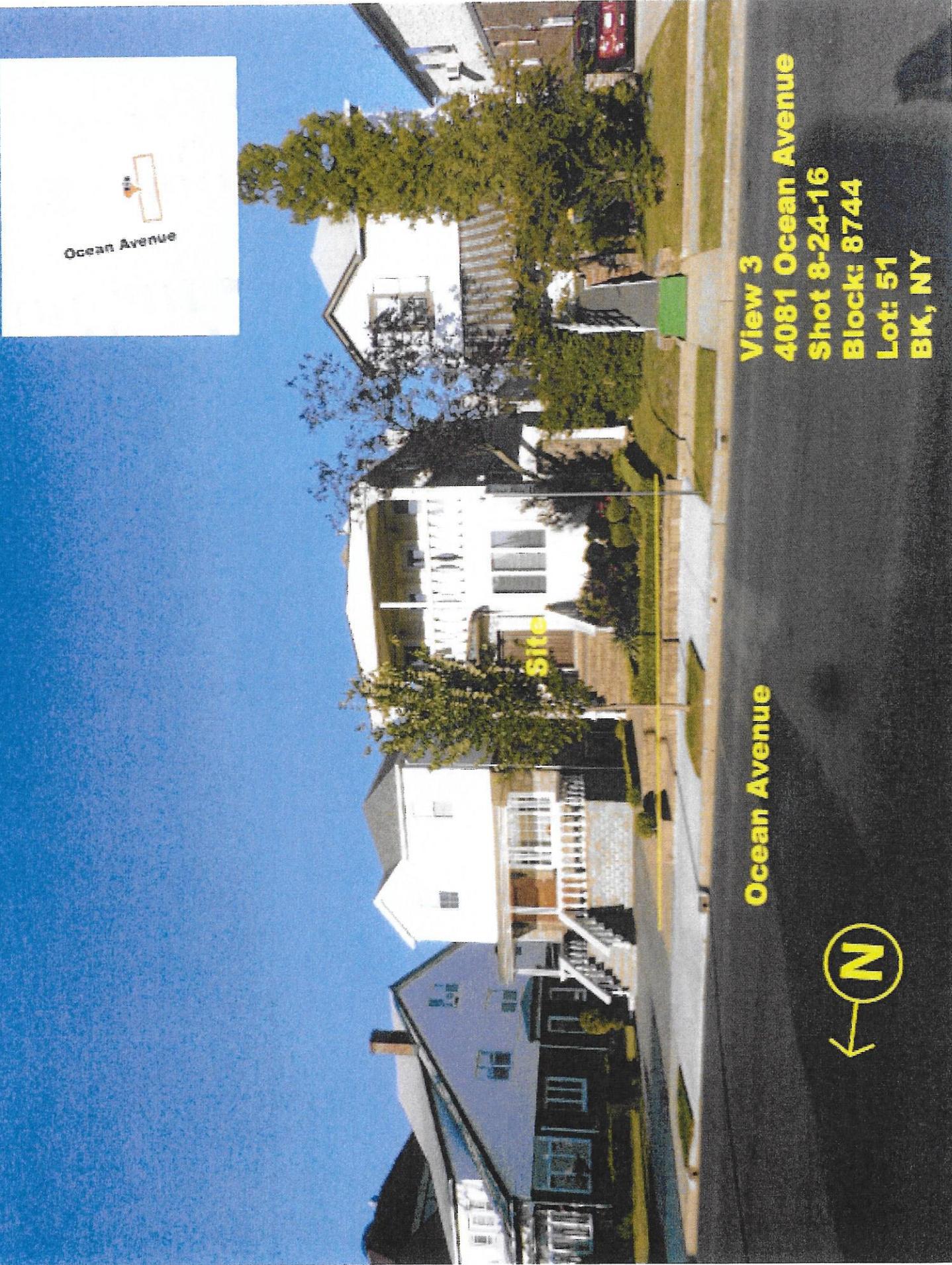
ERIC PALATNIK, P.C.

We are confident that the conditions and findings of ZR § 73-622 are satisfied in the instant matter and, therefore, respectfully submit that the granting of the Special Permit in this matter is both appropriate and fully supported by the facts.

Respectfully Submitted,



Eric Palatnik, Esq.

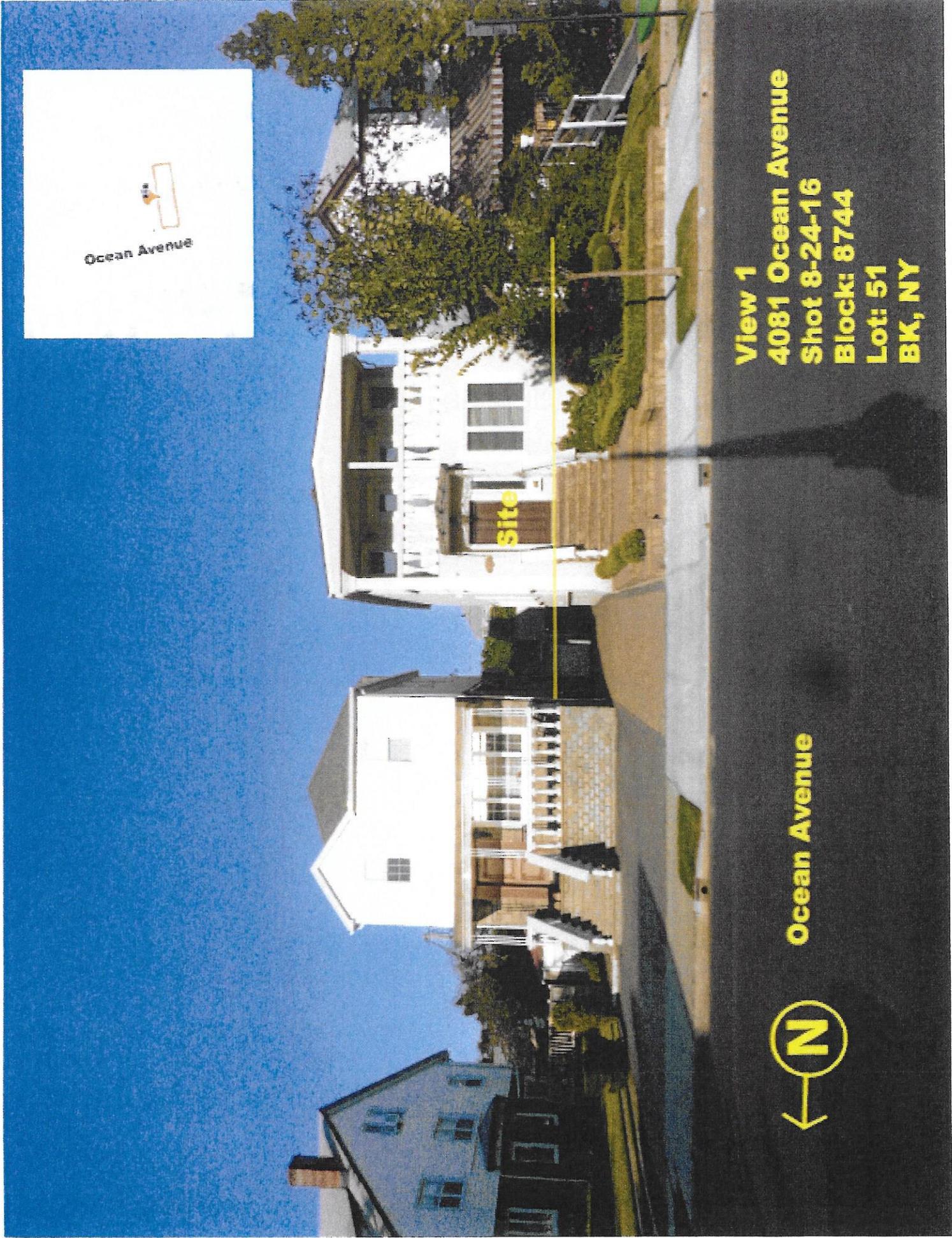


Site

View 3
4081 Ocean Avenue
Shot 8-24-16
Block: 8744
Lot: 51
BK, NY

Ocean Avenue





View 1
4081 Ocean Avenue
Shot 8-24-16
Block: 8744
Lot: 51
BK, NY



Ocean Avenue

Substantial Improvement Analysis

Re: 4081 Ocean Avenue, Brooklyn, NY 11235
B. 8744, L. 51

**Market Value of Structure calculation based on 1 RCNY §3606-01
For determination if improvement to be qualified as "substantial"**

Market Value of Structure =
Estimated Market Value (Total) x $\frac{[6-20\% \text{ Limitation (Total)} - 6-20\% \text{ Limitation (Land)}]}{6-20\% \text{ Limitation (Total)}}$

Market Value of Structure = 1,000,000 x $\frac{(50,434 - 16,794)}{50,434}$ = \$667,010

See attached Tentative Assessment Roll 2016-2017 for all above data.



03/02/2016

TENTATIVE ASSESSMENT ROLL 2016-2017 | City of New York

Taxable Status Date: January 5, 2016

EXPLANATION OF ASSESSMENT ROLL

- [View January 15, 2016 - Market Value History](#)
- [View May 25, 2015 - Market Value History](#)
- [View 2015 FINAL ASSESSMENT ROLL](#)
- [View January 15, 2015 - Market Value History](#)
- [View 2015 TENTATIVE ASSESSMENT ROLL](#)
- [View 2014 FINAL ASSESSMENT ROLL](#)
- [View May 25, 2014 - Market Value History](#)
- [View 2014 TENTATIVE ASSESSMENT ROLL](#)
- [View January 15, 2014 - Market Value History](#)
- [View 2013 FINAL ASSESSMENT ROLL](#)
- [View May 25, 2013 - Market Value History](#)
- [View 2013 TENTATIVE ASSESSMENT ROLL](#)
- [View January 15, 2013 - Market Value History](#)
- [View May 25, 2012 - Market Value History](#)
- [View 2012 FINAL ASSESSMENT ROLL](#)
- [View 2012 TENTATIVE ASSESSMENT ROLL](#)
- [View 2011 FINAL ASSESSMENT ROLL](#)
- [View May 25, 2011 - Market Value History](#)
- [View January 15, 2011 - Market Value History](#)
- [View 2011 TENTATIVE ASSESSMENT ROLL](#)
- [View May 25, 2010 - Market Value History](#)
- [View 2010 FINAL ASSESSMENT ROLL](#)
- [View 2010 TENTATIVE ASSESSMENT ROLL](#)
- [View 2009 FINAL ASSESSMENT ROLL](#)
- [View 2008 FINAL ASSESSMENT ROLL](#)
- [View 2007 FINAL ASSESSMENT ROLL](#)
- [View 2006 FINAL ASSESSMENT ROLL](#)

Parcel Information

[◀ Previous BBL](#) [Next BBL ▶](#)

Owner Name:

KADAR, RUSLANA

Property Address and Zip Code:

4081 OCEAN AVENUE 11235

Real Estate Billing Name and Address:

KADAR, RUSLANA
4747 BEDFORD AVE
BROOKLYN NY 11235

Borough: BROOKLYN

Block: 8744

Lot: 51

Tax Class: 1

Building Class: A1 [Codes](#)

Land Information

| | | |
|--------------------|-----------|--------|
| Lot Size | Irregular | Corner |
| 30.00FT X 104.00FT | | |

Building Information

| Number of Buildings | Building Size | Extension | Stories |
|---------------------|-------------------|-----------|---------|
| 1 | 20.00FT X 36.00FT | EG | 2 |

Assessment Information

| Description | Land | Total |
|------------------------|--------|-----------|
| ESTIMATED MARKET VALUE | | 1,000,000 |
| 6-20% LIMITATION | 16,794 | 50,434 |
| ACTUAL EX AV | 0 | 0 |

Taxable/Billable Assessed Value

| | Assessed Value |
|---|----------------|
| SUBJECT TO ADJUSTMENTS, YOUR 2016/17 TAXES WILL BE BASED ON | 50,434 |

Property is assessed at the following uniform percentages of full market value, unless limited to a lesser amount by law:

| | | | |
|--------------|---------------|---------------|---------------|
| Class 1 - 6% | Class 2 - 45% | Class 3 - 45% | Class 4 - 45% |
|--------------|---------------|---------------|---------------|

[Statements List](#) | [Select a BBL](#) | [Logon to NYCProperty](#)

KADAR ELITE CONSTRUCTION, INC

4747 Bedford Ave,
Brooklyn, NY 11235

TEL:646.996.2538

Lic: GC# 600713

email:kadarelite@verizon.net

Date:02/24/2016

For: Residence
4081 Ocean Ave
Brooklyn, NY 11235

ESTIMATE

1. PERMITS

Apply & obtain work permits from DOB.

Architect

2. DEMOLITION AND CLEAN-UP:

Remove existing roof and remove rubbish.

\$ 9,450.00

3. FRAMING:

Provide and install framing for third floor and close balcony on the second floor from 2x6 16 gauge metal stud, and install 5/8 dens glass sheeting board

\$ 29,500.00

4. ROOF FRAME:

Provide and install flat roof frame from 12J-14 gauge and install 3/4 CDX plywood on the top of the joist

\$ 17,700.00

5. WATERPROOF:

Provide and install ruberized waterproof for flat roof and terrace, provide and install flushing copper, all joints sealed with NP-1

\$ 14,200.00

6. SUB- FLOORING:

Provide and install sub flooring of (2)3/4 plywood CDX, glued and nailed to the existing floor joints on the third floor

\$ 5,750.00

7. ELECTRICAL:

Provide and install new electrical wiring according to the electrical codes by DOB and connect all wires to electrical panel on the second floor

\$ 11,400.00

8. PLUMBING:

Provide and install new piping, hot and cold water, drain, radian heat floor in the tile area. All water lines to be of type "I" copper. All gas lines to be schedule 40 steel. All sewer lines to be of cast- iron with no hub couplings. All plumbing fixtures and appliances provide and paid by homeowner. All plumbing work will be done according to the plan and plumbing codes.

\$ 17,800.00

| | |
|--|--------------|
| 9. HVAC: Provide and install new CARRIER 3ton HVAC High Efficient units | \$ 6,900.00 |
| 10. INSULATION & SHEETROCK: Provide and install R-21 insulation for the wall and R-38 for the ceiling. Provide and install 5/8 30 min fire code sheetrock. | \$ 12,450.00 |
| 11. TAPING: Provide all material, taping of all joints between sheetrock. Installation of metal corners and 3-coating plastering. Taping skin-code on the ceiling and walls except for closets and bathrooms | \$ 7,800.00 |
| 12. TILE: Install tiles on the floor and walls up to the ceiling in master bathroom. All second material and tiles provide by general contractor. Provide and install shower glass door. | \$ 12,380.00 |
| 13. HARDWOOD FLOOR: Provide and install hardwood floor and base molding according to the plans on the third floor. All second material and parquet provided by general contractor. | \$ 9,560.00 |
| 14. DOOR and STAIRCASE: Provide and install all doors according to aproved plans, installation of casing and locks. Provide and install new oak stairs and railing from 2nd to | \$ 11,200.00 |
| 15. PAINTING: Premiering and two coats painting in all apartment. All paint and color chosen by owner from "Benjamin Moore". | \$ 8,200.00 |
| 16. STUCCO: Provide and install acrilic stucco on the thirth floor ,and repainting existing stucco for all house.Remove all garbage throughout duration of work. | \$ 32,400.00 |
| 17. PARAPET WALL & SAFETY RAILING: Provide and install parapet wall and safety railing around flat roof, front terrace, back terrace and balcony | \$ 27,000.00 |
| 18. WINDOWS AND DOORS: Provide and install windows and doors by MARVIN integrity specs | \$ 12,800.00 |
| 19.FIRST & SECOND FLOORS: Sanding hardwood floors and repaint walls and ceiling on the existing first and second floors. | \$ 47,000.00 |

TOTAL: \$ 233,690.00

Preliminary Firm Map

LANDSCAPING PLAN

SEAL AND SIGNATURE



[Signature]

DATE: 02/09/2016

PROJECT No: 15-266

DRAWING BY: V.K.

CHK BY: D. SHENKER

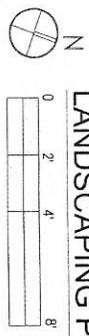
DWG No: **Z-003.00**

CADD FILE No:
J JOB (DATE)

APPROVAL STAMPS



LANDSCAPING PLAN



ZR 23-451 CALCULATION OF FRONT YARD'S PLANTED AREA
 15.0' x 30.0' = 450.0 SQ.FT. - FRONT YARD
 15.0' x 8.9' + 4.9' x 12.0' + 1.3' x 15.0' = 211.8 SQ.FT. - PLANTED AREA 47% OF FRONT YARD
 (MIN 25% PLANTING REQUIREMENT)

FLOOR AREA CALCULATIONS

SEAL AND SIGNATURE



DATE: 02/09/2016

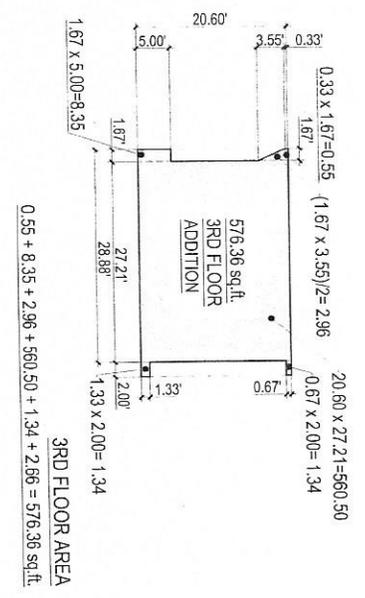
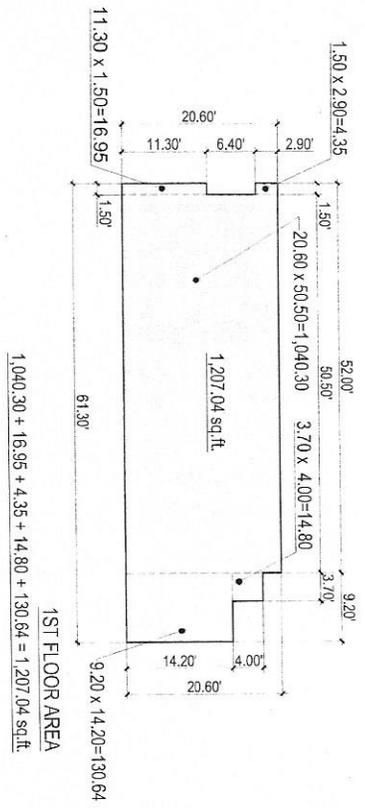
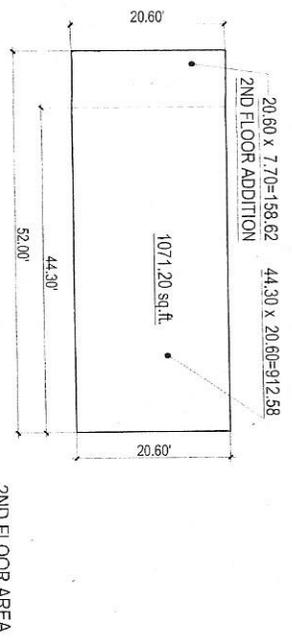
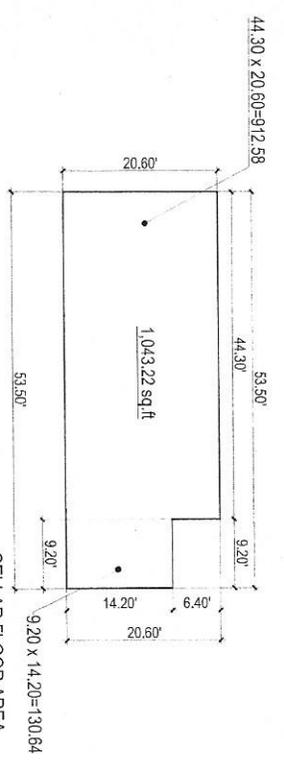
PROJECT No.: 15-286

DRAWING BY: V.K.

CHK BY: D. SHENKER

DWG No.: Z-004.00

CADD FILE No.: J JOB (DATE)



EXISTING BUILDING CONSTRUCTION FLOOR AREA: 1,207.04 + 912.58 = 2,119.62 sq.ft.

PROPOSED 2ND & 3RD FLOOR ADDITION FLOOR AREA: 158.62 + 576.36 = 734.98 sq.ft.

PROPOSED BUILDING CONSTRUCTION FLOOR AREA: 1,207.04 + 1,071.20 + 576.36 = 2,854.60 sq.ft.



PROJECT
ONE-FAMILY RESIDENCE
ENLARGEMENT AT
4081 OCEAN AVENUE,
BROOKLYN, NY, 11235

PROPOSED CELLAR FLOOR PLAN

SEAL AND SIGNATURE



DATE: 08/18/2016

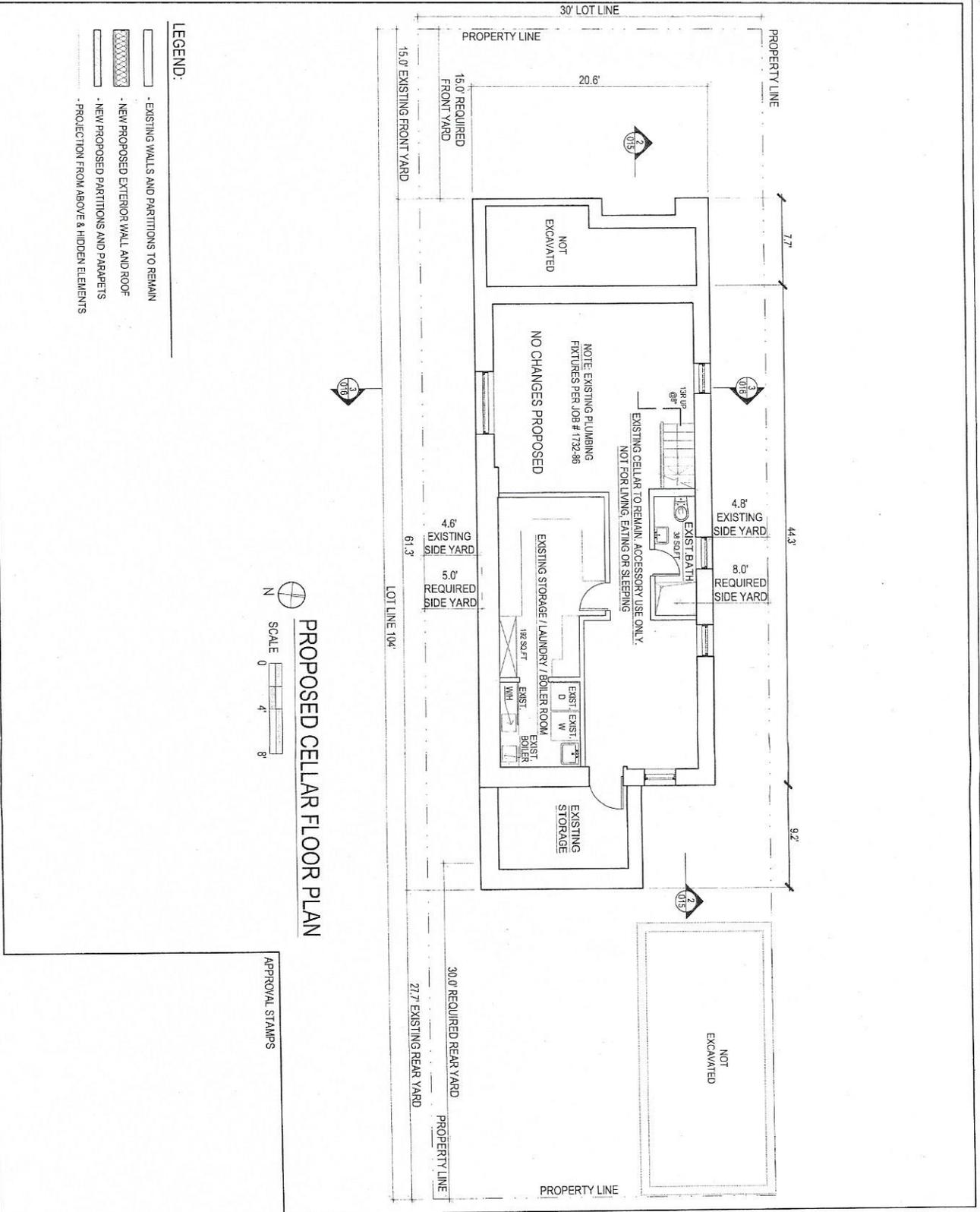
PROJECT No: 15-286

DRAWING BY: V.K.

CHK BY: D. SHENKER

DWG No:
A-010.00

CADD FILE No:
J-JOB (DATE)



PROPOSED CELLAR FLOOR PLAN



LEGEND:

- EXISTING WALLS AND PARTITIONS TO REMAIN
- NEW PROPOSED EXTERIOR WALL AND ROOF
- NEW PROPOSED PARTITIONS AND PARAPETS
- PROJECTION FROM ABOVE & HIDDEN ELEMENTS

APPROVAL STAMPS

PROJECT
ONE FAMILY RESIDENCE
ENLARGEMENT AT
4081 OCEAN AVENUE,
BROOKLYN, NY, 11235

PROPOSED 1ST FLOOR PLAN

SEAL AND SIGNATURE



DATE: 08/16/2016

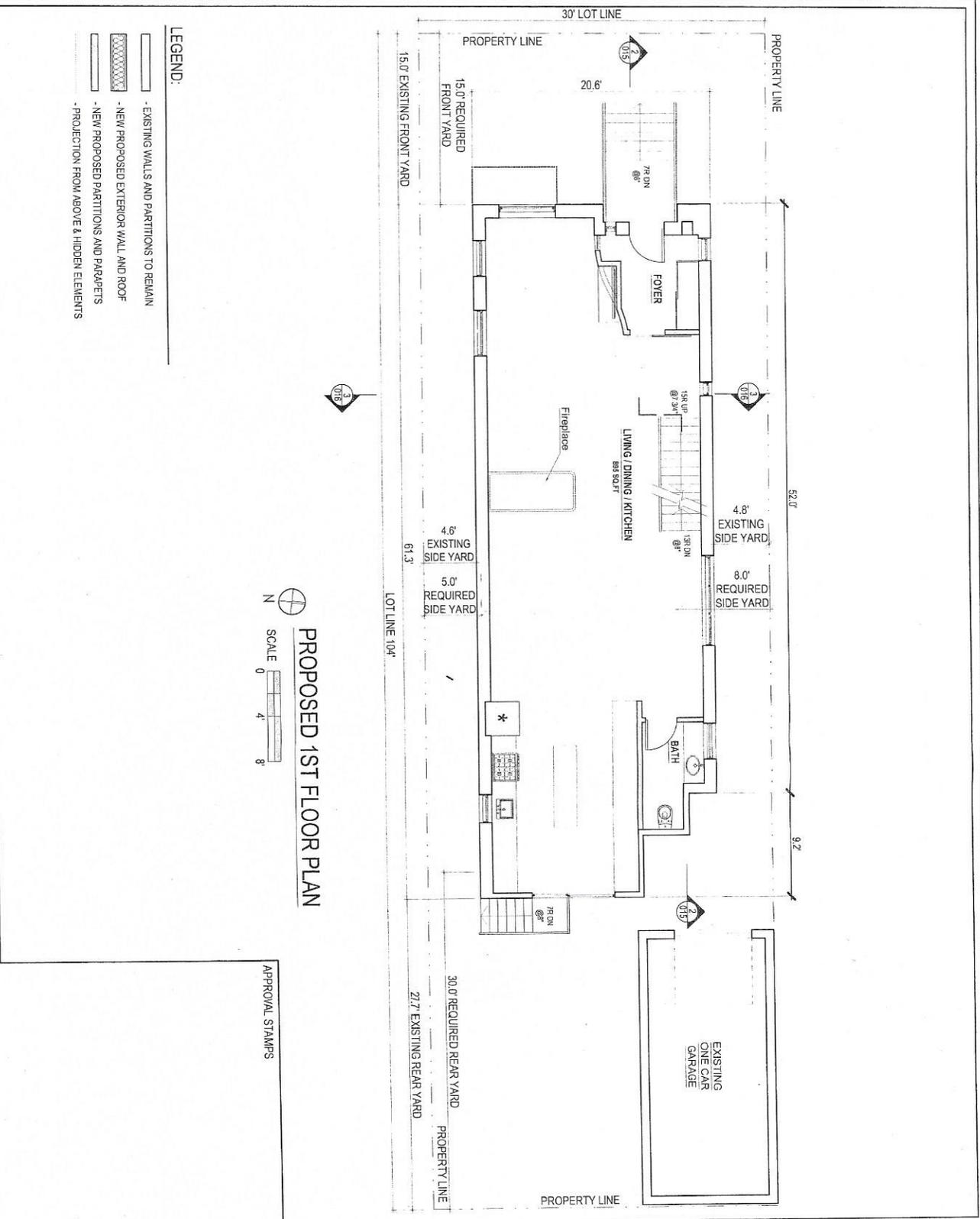
PROJECT No: 15-266

DRAWING BY: V.K.

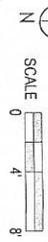
CHK BY: D. SHENKER

DWG No: **A-011.00**

CADD FILE No:
.J JOB (DATE)



PROPOSED 1ST FLOOR PLAN



LEGEND:

- EXISTING WALLS AND PARTITIONS TO REMAIN
- NEW PROPOSED EXTERIOR WALL AND ROOF
- NEW PROPOSED PARTITIONS AND PARTIPTS
- PROJECTION FROM ABOVE & HIDDEN ELEMENTS

APPROVAL STAMPS

PROPOSED 2ND FLOOR PLAN

SEAL AND SIGNATURE



DATE: 08/16/2016

PROJECT No: 15-266

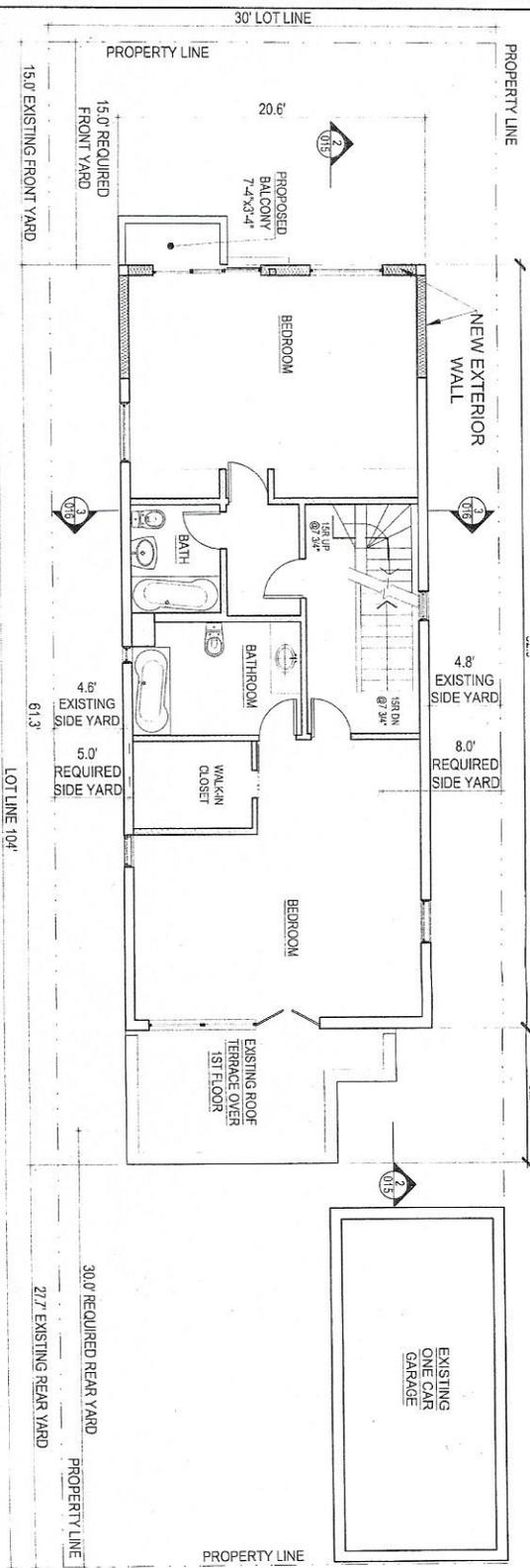
DRAWING BY: V.K.

CHK BY: D. SHENKER

DWG No:

A-012.00

CADD FILE No:
J-108 (DATE)



PROPOSED 2ND FLOOR PLAN



LEGEND:

- EXISTING WALLS AND PARTITIONS TO REMAIN
- NEW PROPOSED EXTERIOR WALL AND ROOF
- NEW PROPOSED PARTITIONS AND PARAPETS
- PROJECTION FROM ABOVE & HIDDEN ELEMENTS

APPROVAL STAMPS

PROJECT
ONE-FAMILY RESIDENCE
ENLARGEMENT AT
4081 OCEAN AVENUE,
BROOKLYN, NY, 11235

PROPOSED 3RD FLOOR PLAN

SEAL AND SIGNATURE



[Handwritten Signature]

DATE: 08/16/2016

PROJECT No: 15-266

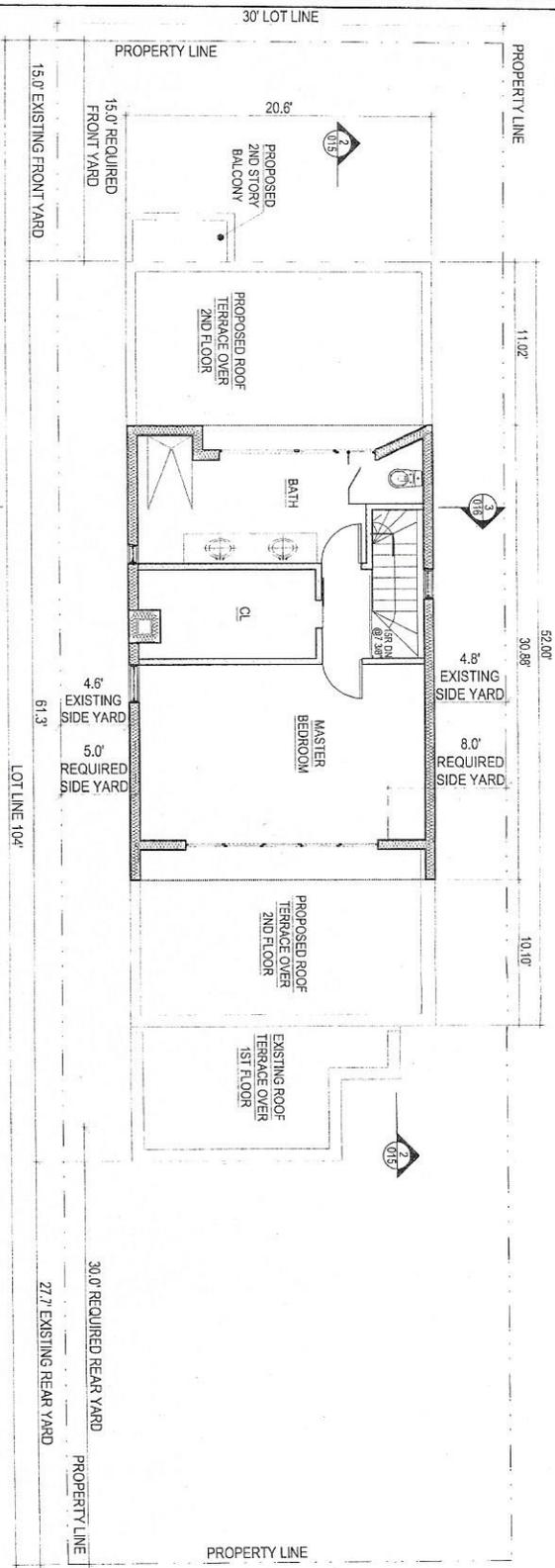
DRAWING BY: V.K.

CHK. BY: D. SHENKER

DWG No:

A-013.00

CADD FILE No:
J JOB (DATE)



PROPOSED 3RD FLOOR PLAN



LEGEND:

- EXISTING WALLS AND PARTITIONS TO REMAIN
- NEW PROPOSED EXTERIOR WALL AND ROOF
- NEW PROPOSED PARTITIONS AND PARAPETS
- PROJECTION FROM ABOVE & HIDDEN ELEMENTS

APPROVAL STAMPS

SHENKER ARCHITECTS

1539 BATH AVENUE,
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www.shenker.com

CLIENT:
MKKHAYLO KODAR

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ONE-FAMILY RESIDENCE
ENLARGEMENT AT
4081 OCEAN AVENUE,
BROOKLYN, NY, 11235

PROPOSED ROOF PLAN

SEAL AND SIGNATURE



DATE: 08/16/2016

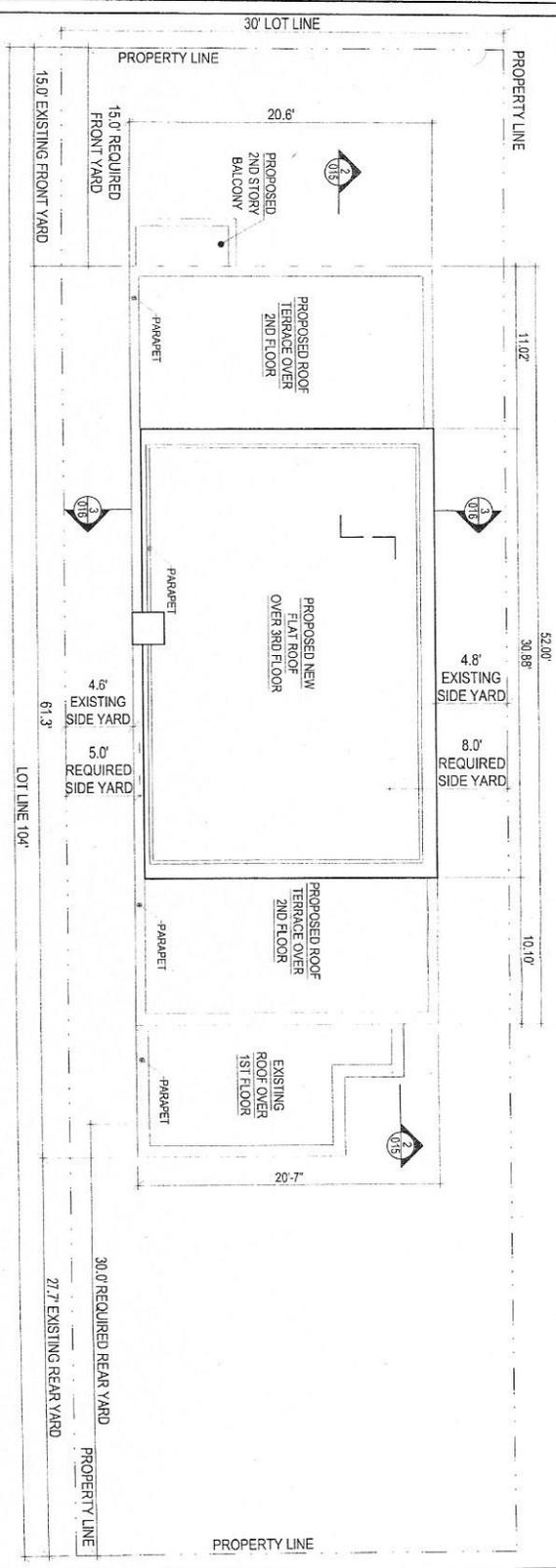
PROJECT No: 15-286

DRAWING BY: V.K.

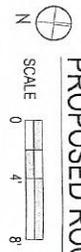
CHK BY: D. SHENKER

DWG No:
A-014.00

CADD FILE No:
J. JOB (DATE)



PROPOSED ROOF PLAN



LEGEND:

- EXISTING WALLS AND PARTITIONS TO REMAIN
- NEW PROPOSED EXTERIOR WALL AND ROOF
- NEW PROPOSED PARTITIONS AND PARAPETS
- PROJECTION FROM ABOVE & HIDDEN ELEMENTS

APPROVAL STAMPS



SEAL AND SIGNATURE

SECTION 2-2

DATE: 08/16/2016

PROJECT No: 15-268

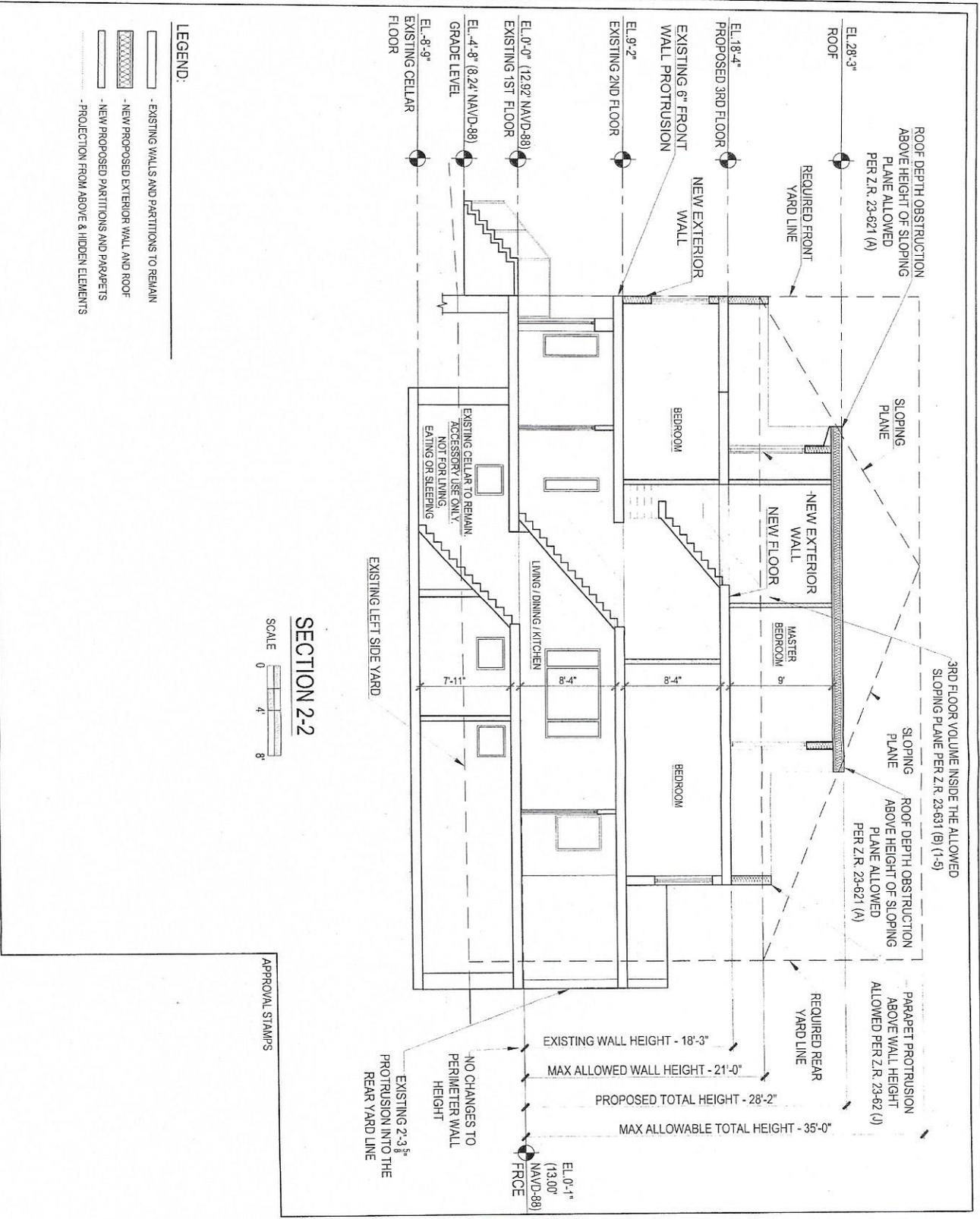
DRAWING BY: V.K.

CHK BY: D. SHENKER

DWG No:

A-015.00

CADD FILE No:
J JOB (DATE)



SECTION 2-2
SCALE 0 4 8'

APPROVAL STAMPS

LEGEND:

- EXISTING WALLS AND PARTITIONS TO REMAIN
- NEW PROPOSED EXTERIOR WALL AND ROOF
- NEW PROPOSED PARTITIONS AND PARAPETS
- PROJECTION FROM ABOVE & HIDDEN ELEMENTS

SECTION 3-3

SEAL AND SIGNATURE



DATE: 08/18/2016

PROJECT No: 15-286

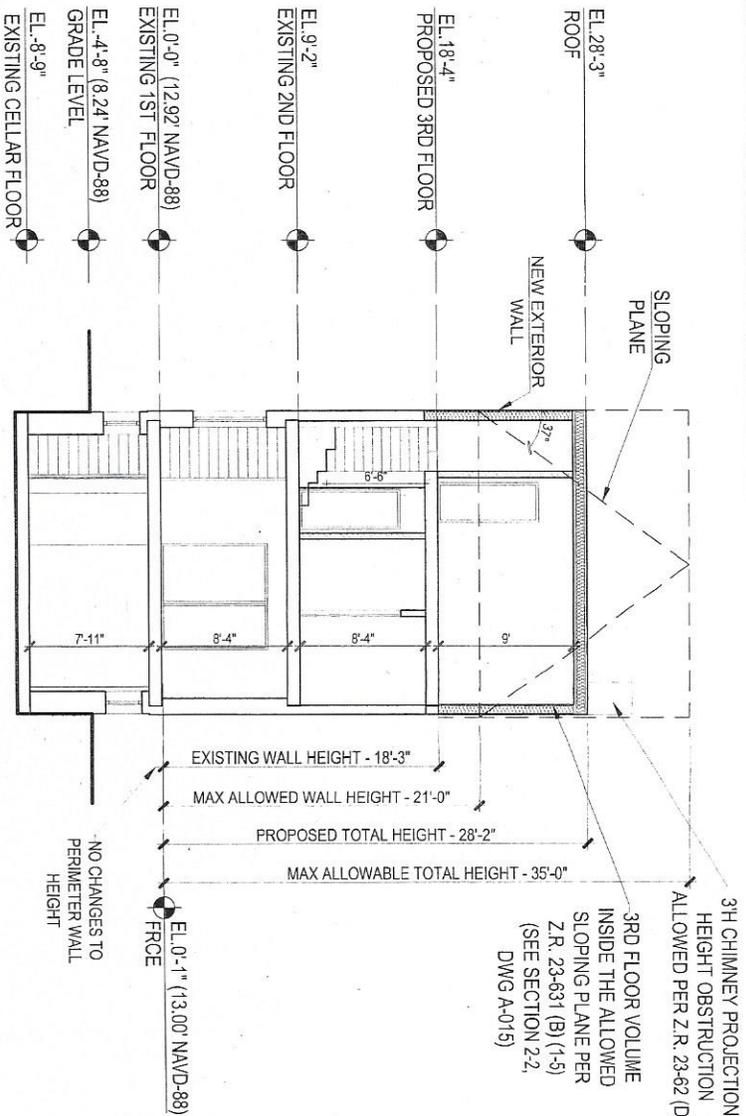
DRAWING BY: V.K.

CHK BY: D. SHENKER

DWG No:

A-016.00

CADD FILE No:
J_108 (DATE)



SECTION 3-3

LEGEND:

- EXISTING WALLS AND PARTITIONS TO REMAIN
- NEW PROPOSED EXTERIOR WALL AND ROOF
- NEW PROPOSED PARTITIONS AND PARAPETS
- PROJECTION FROM ABOVE & HIDDEN ELEMENTS

APPROVAL STAMPS

1539 BATH AVENUE,
BROOKLYN, NY 11228

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CLIENT:
MYKHAYLO KADAR

PROJECT
ONE-FAMILY RESIDENCE
ENLARGEMENT AT
4081 OCEAN AVENUE,
BROOKLYN, NY, 11235

PROPOSED RIGHT ELEVATION

SEAL AND SIGNATURE



DATE: 08/16/2016

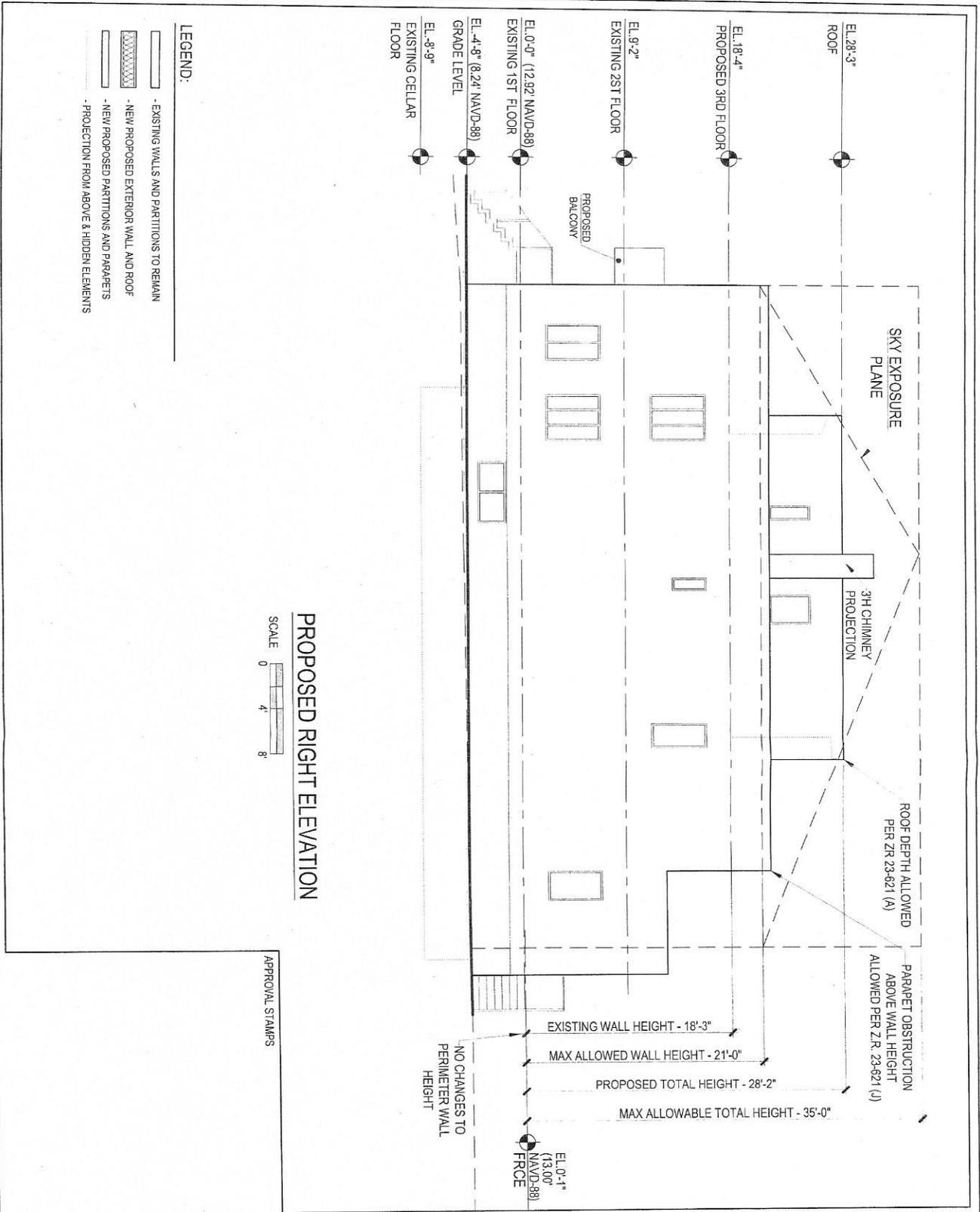
PROJECT No: 15-286

DRAWING BY: V.K.

CHK BY: D. SHENKER

DWG No:
A-017.00

CADD FILE No:
.J.108 (DATE)



PROPOSED RIGHT ELEVATION



LEGEND:

- EXISTING WALLS AND PARTITIONS TO REMAIN
- NEW PROPOSED EXTERIOR WALL AND ROOF
- NEW PROPOSED PARTITIONS AND PARAPETS
- PROJECTION FROM ABOVE & HIDDEN ELEMENTS

PROPOSED LEFT ELEVATION

SEAL AND SIGNATURE



DATE: 08/18/2016

PROJECT No: 15-286

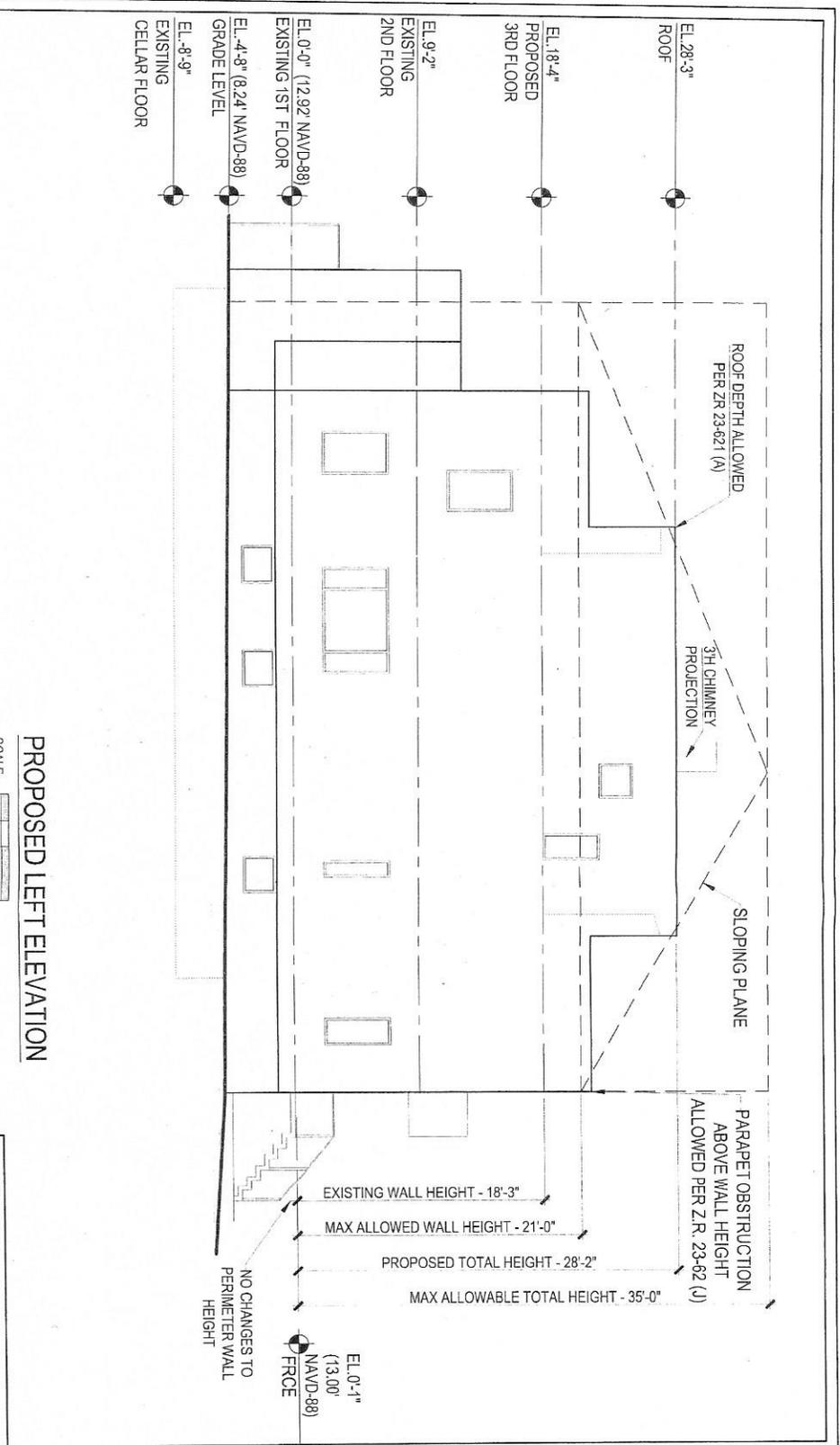
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CHK BY: D. SHENKER

DWG No:

A-018.00

CADD FILE No:
.J:JOB (DATE)



PROPOSED LEFT ELEVATION



APPROVAL STAMPS

- LEGEND:
- EXISTING WALLS AND PARTITIONS TO REMAIN
 - NEW PROPOSED EXTERIOR WALL AND ROOF
 - NEW PROPOSED PARTITIONS AND PARAPETS
 - PROJECTION FROM ABOVE & HIDDEN ELEMENTS

SHENKER ARCHITECTS

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BROOKLYN, NY, 11235

PROPOSED FRONT ELEVATION

SEAL AND SIGNATURE



DATE: 08/19/2016

PROJECT No: 15-286

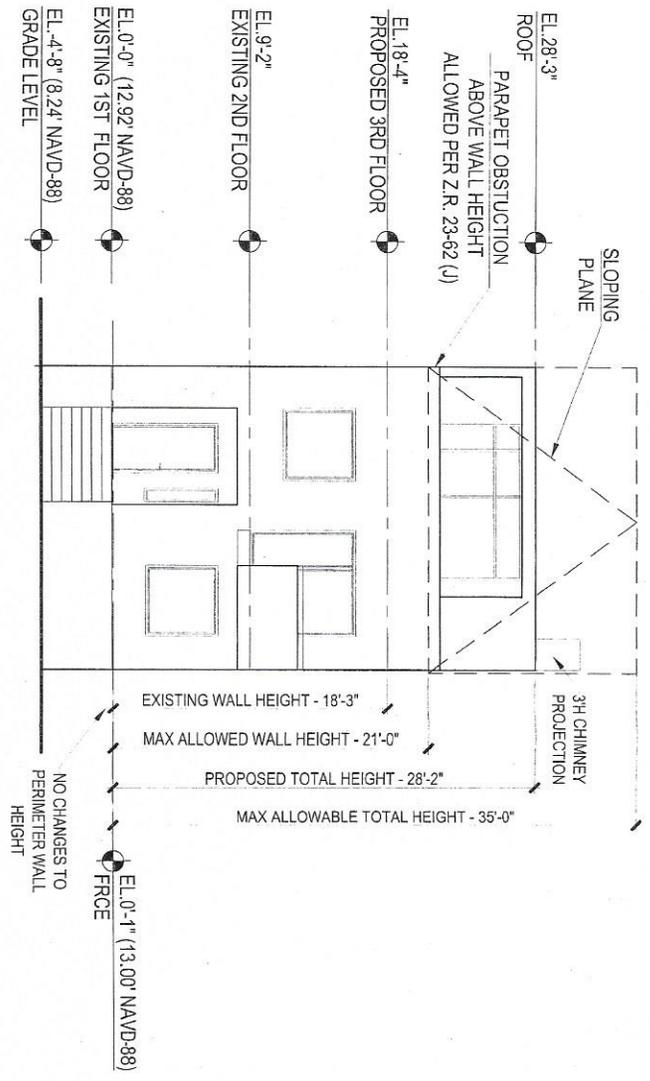
DRAWING BY: V.K.

CHK BY: D. SHENKER

DWG No:

A-019.00

CADD FILE No:
J JOB (DATE)



PROPOSED FRONT ELEVATION



APPROVAL STAMPS

PROJECT
ONE-FAMILY RESIDENCE
ENLARGEMENT AT
4081 OCEAN AVENUE,
BROOKLYN, NY, 11235

PROPOSED REAR ELEVATION

SEAL AND SIGNATURE



DATE: 08/16/2016

PROJECT No: 15-286

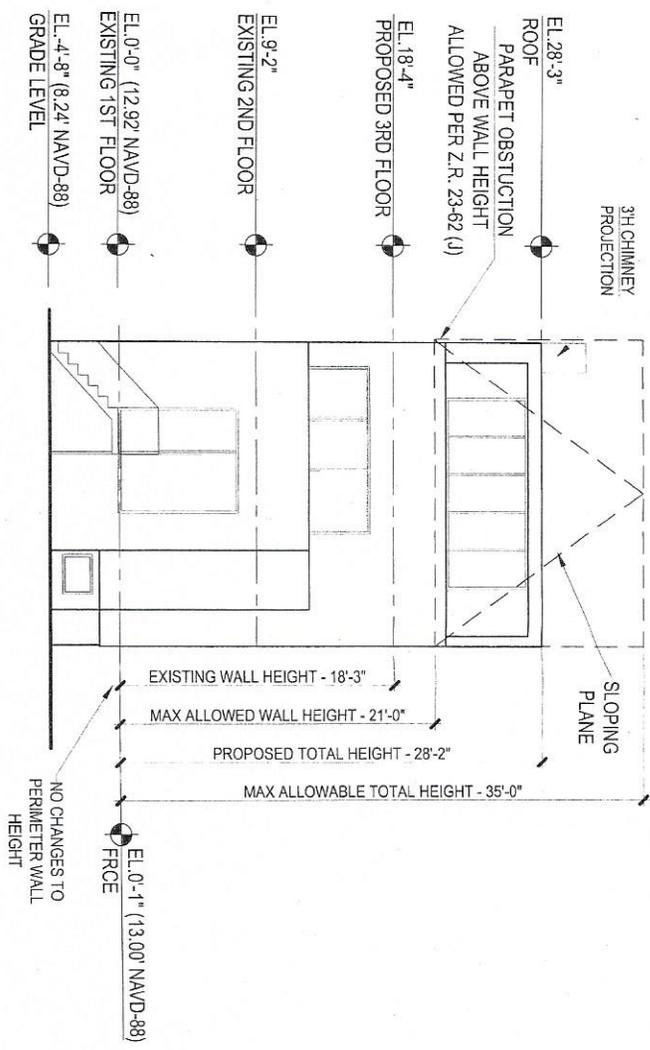
DRAWING BY: V.K.

CHK BY: D. SHENKER

DWG No:

A-020.00

CADD FILE No:
J_JOB (DATE)



PROPOSED REAR ELEVATION



APPROVAL STAMPS

PROJECT
ONE-FAMILY RESIDENCE
ENLARGEMENT AT
4081 OCEAN AVENUE,
BROOKLYN, NY, 11235

AXONOMETRIC DIAGRAM

SEAL AND SIGNATURE



DATE: 01/19/2016

PROJECT No: 15-286

DRAWING BY: V.K.

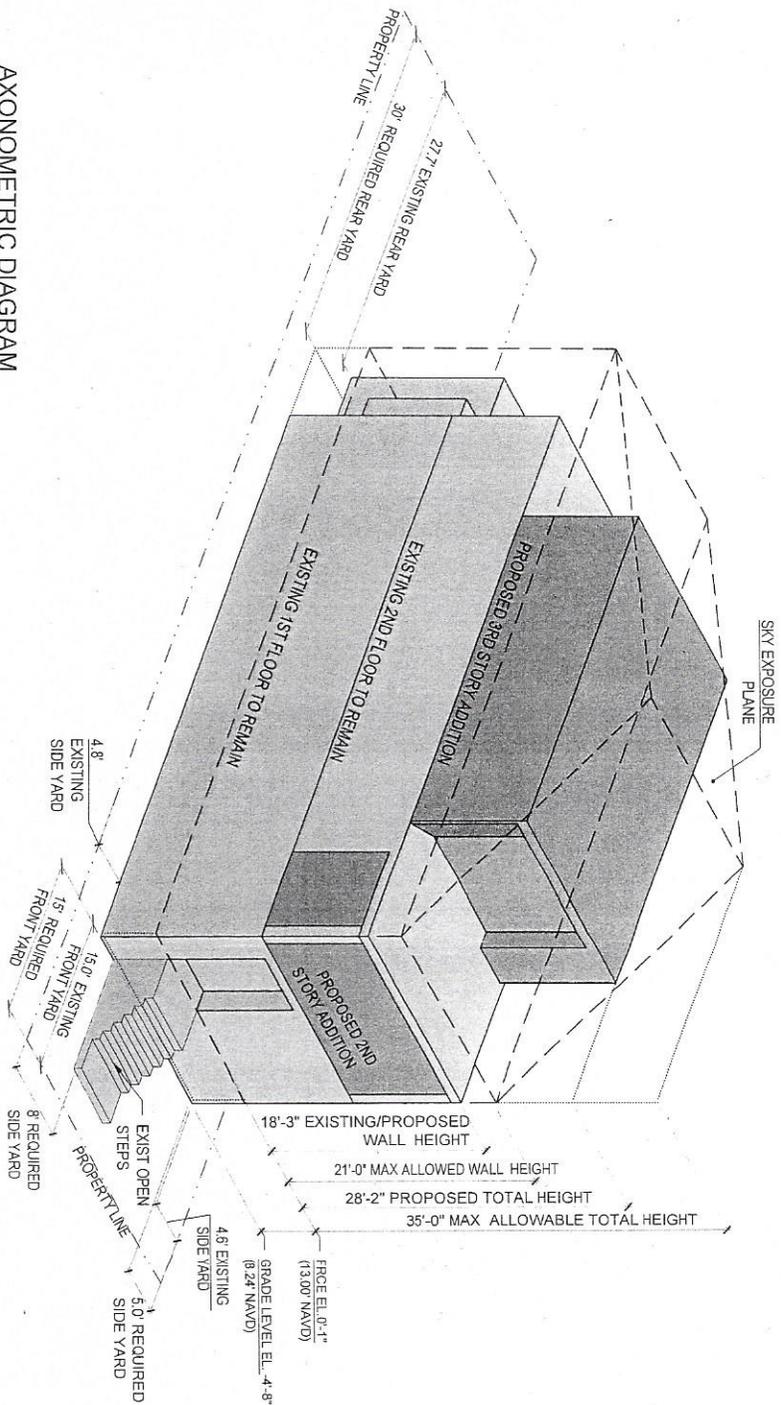
CHK BY: D. SHENKER

DWG No:

A-021.00

CADD FILE No:
J_108 (DATE)

AXONOMETRIC DIAGRAM
NOT TO SCALE



APPROVAL STAMPS

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BROOKLYN, NY 11228

TEL. (718) 259-0070
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CLIENT:
MYKHAYLO KADAR

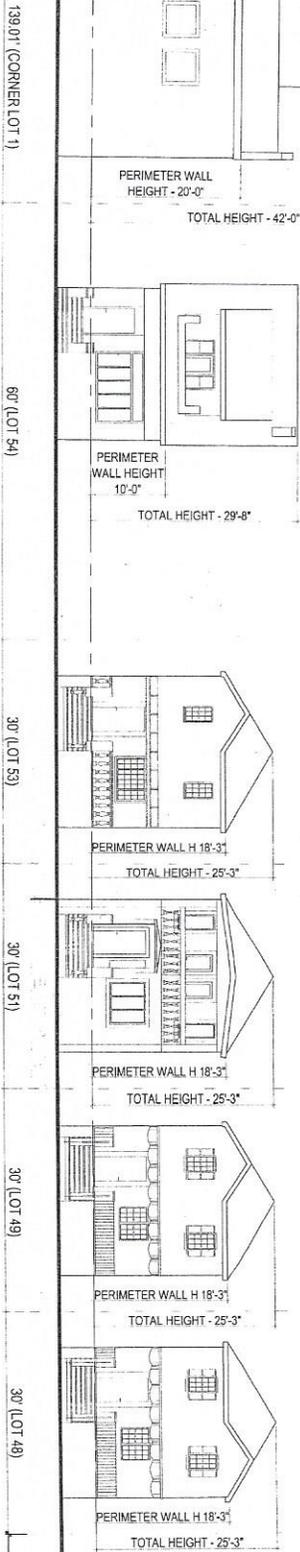
PROJECT
ONE-FAMILY RESIDENCE
ENLARGEMENT AT
4081 OCEAN AVENUE,
BROOKLYN, NY, 11235

EXISTING STREETSCAPE

SEAL AND SIGNATURE



APPROVAL STAMPS



EXISTING STREETSCAPE



DWG No:
A-022.00

CADD FILE No:
J JOB (DATE)

DATE: 08/18/2016

PROJECT No: 15-286

DRAWING BY: V.K.

CHK BY: D. SHENKER

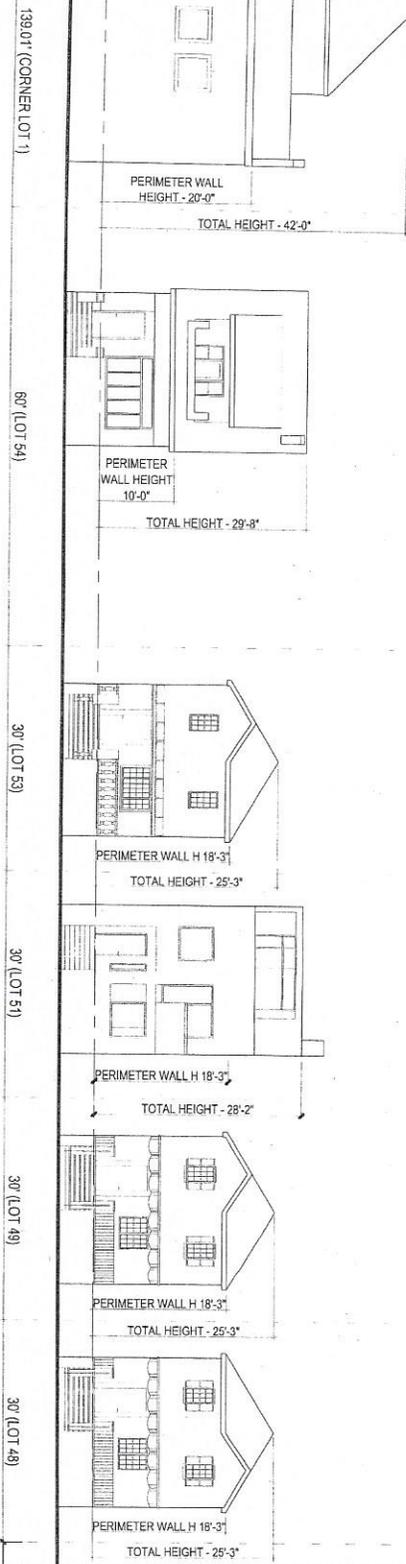
PROJECT
ONE FAMILY RESIDENCE
ENLARGEMENT AT
4081 OCEAN AVENUE,
BROOKLYN, NY, 11235

PROPOSED STREETSCAPE

SEAL AND SIGNATURE



APPROVAL STAMPS



PROPOSED STREETSCAPE



| | |
|-------------|-----------------|
| DATE: | 08/19/2016 |
| PROJECT No: | 15-288 |
| DRAWING BY: | V.K. |
| CHK BY: | D. SHENKER |
| DWG No: | A-023.00 |

CADD FILE No:
J-108 (DATE)