



**Board of Standards and Appeals**

250 Broadway, 29th Floor  
 New York, NY 10007  
 212-386-0009 - Phone  
 646-500-6271 - Fax  
 www.nyc.gov/bsa

**ZONING (BZ) CALENDAR**

Application Form

BSA APPLICATION NO. \_\_\_\_\_  
 CEQR NO. \_\_\_\_\_

**Section A**

Applicant/  
Owner

Eric Palatnik, P.C. NAME OF APPLICANT	2577 East 17 Street LLC OWNER OF RECORD
32 Broadway, Suite 114 ADDRESS	2579 East 17th Street ADDRESS
New York NY 10004 CITY STATE ZIP	Brooklyn NY 11235 CITY STATE ZIP
212 425-4343 AREA CODE TELEPHONE	_____ LESSEE / CONTRACT VENDEE
212 968-7129 AREA CODE TELEPHONE	_____ ADDRESS
eric@ericpalatnikpc.com EMAIL	_____ CITY STATE ZIP

**Section B**

Site  
Data

2579 East 17th Street 11235  
 STREET ADDRESS (INCLUDE ANY A/K/A) ZIP CODE

East 17th Street between Avenue Z and Avenue Y  
 DESCRIPTION OF PROPERTY BY BOUNDING OR CROSS STREETS

7438 BLOCK	46 LOT(S)	Brooklyn BOROUGH	15 COMMUNITY DISTRICT	N/A LANDMARK/HISTORIC DISTRICT
Hon. Chaim M. Deutsch CITY COUNCIL MEMBER	C8-1 ZONING DISTRICT (include special district, if any)	29a ZONING MAP NUMBER		

**Section C**

Dept of Building  
Decision

BSA AUTHORIZING SECTION(S) 73-44 for  VARIANCE  SPECIAL PERMIT (Including 11-41)

Section(s) of the Zoning Resolution to be varied 36-21

DOB Decision (Objection/ Denial) date: March 28, 2016 Acting on Application No: 321083297

**Section D**

Description

(LEGALIZATION  YES  NO  IN PART)

Special Permit pursuant to ZR 73-44 and ZR 73-03 of the Zoning Resolution of the City of New York, as amended (hereinafter "ZR") to vary ZR Section 36-21 to reduce the number of required accessory off street parking spaces from forty eight (48) to twenty four (24) at the proposed 12,644 square foot, five (5) story and cellar new UG 4 ambulatory diagnostic or treatment health care facility and UG 6 PRC B1 office building in an C8-1 zoning district.

**Section E**

BSA History  
and  
Related Actions

If "YES" to any of the below questions, please explain in the STATEMENT OF FACTS

	YES	NO
1. Has the premises been the subject of any previous BSA application(s)? ..... PRIOR BSA APPLICATION NO(S): _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Are there any applications concerning the premises pending before any other government agency?....	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Is the property the subject of any court action?.....	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Section F**

Signature

I HEREBY AFFIRM THAT BASED ON INFORMATION AND BELIEF, THE ABOVE STATEMENTS AND THE STATEMENTS CONTAINED IN THE PAPERS ARE TRUE.

Signature of Applicant, Corporate Officer or Other Authorized Representative: Eric Palatnik

Eric Palatnik Attorney  
 Print Name Title

SWORN TO AND SUBSCRIBED TO THIS 12th DAY OF April 2010  
 Notary Public, State of New York  
 No. 01GO6097433  
 Qualified in Kings County  
 My Commission Expires 08/18/2019  
 NOTARY PUBLIC

**ERIC PALATNIK, P.C.**

ATTORNEY AT LAW  
32 BROADWAY, SUITE 114  
NEW YORK, NEW YORK 10004

(212) 425-4343  
FAX (212) 968-7129  
E-MAIL [ERIC@ERICPALATNIKPC.COM](mailto:ERIC@ERICPALATNIKPC.COM)

April 6, 2016

**STATEMENT OF FACTS AND FINDINGS**

**Premises: 2579 East 17<sup>th</sup> Street  
Block: 7438, Lot: 46  
Brooklyn, New York (the "Premises")**

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**INTRODUCTION**

The instant application requests a Special Permit pursuant to Section 73-44 and Section 73-03 of the Zoning Resolution of the City of New York, as amended (hereinafter "ZR") to vary ZR Section 36-21 to reduce the number of required accessory off street parking spaces from forty eight (48) to twenty four (24) at the proposed 12,644 square foot, five (5) story and cellar new UG 4 ambulatory diagnostic or treatment health care facility and UG 6 PRC B1 office building in an C8-1 zoning district. The proposed building will have twenty four (24) parking spaces at the cellar level that will be operated by six (6), four (4) vehicle parking stackers.

The cellar level will have a 3,133 square foot parking garage and 1,763 square feet of UG 6 PRC B1 office space. The 1,763 square feet are exempt from the floor area totals but are counted towards the required number of accessory off street parking spaces that are required at the site. The first floor will have 2,124 square feet of UG 4 ambulatory diagnostic or treatment health care facility floor area; the second floor will have 2,124 square feet of UG 4 ambulatory diagnostic or treatment health care facility floor area; the third floor will have 3,045 square feet of UG 4 ambulatory diagnostic or treatment health care facility floor area; the fourth floor will have 2,955 square feet of UG 6 PRC B1 office floor area; and the fifth floor will have 2,394 square feet UG 6 PRC B1 office floor area. As such, the total floor area will be 12,644 square feet.

All of the proposed twenty four (24) spaces shall be attendant parking spaces. All of the spaces will be located at the cellar level and will be comprised of six (6), four (4) vehicle stackers. The cellar will have a valet station and a vehicle drop off location where visitors can leave their cars. The cellar will be accessible by a 9'0" driveway that will be accessible from East 17<sup>th</sup> Street.

Pursuant to ZR § 36-21 the proposed UG 4 ambulatory diagnostic or treatment health care facilities and UG 6 PRC B1 office require one (1) parking space per three hundred (300) square feet of floor area. Accordingly, based on the proposed total floor area of 12,644 square feet and the 1,763 square feet of office space in the cellar, forty eight (48) parking spaces are required at the premises ( $14,407 / 300 = 48.02$ ).

Pursuant to ZR § 73-44 (*"Reduction of Parking Spaces for Ambulatory Diagnostic or Treatment Facilities Listed in Use Group 4 and Uses in Parking Requirement Category B1"*) your Board may permit the reduction of required accessory parking spaces to one (1) space per six hundred (600) square feet of floor area for the proposed UG 4 ambulatory diagnostic or treatment health care facilities and UG 6 PRC B1 office in the underlying C8-1 zoning district. Accordingly, this will reduce the number of required parking spaces to twenty four (24) ( $14,407 / 300 = 48.02$ ).

As discussed below, the instant application provides a sufficient basis to make each of the required findings pursuant to ZR § 73-44 and ZR § 73-03.

Accordingly, plans were filed with the Department of Buildings in order to permit the proposed new building and parking reduction. On March 28, 2016 acting under Job. No.: 321083297 the following objection was issued:

*"Proposed Development is Contrary to ZR Section 36-21 and Requires a Special Permit Pursuant to ZR Section 73-44"*

EXISTING CONDITIONS

The Premises is located at 2579 East 17<sup>th</sup> Street in the Borough of Brooklyn. The Premises is located on a 5,590 square foot interior lot with approximately 63 feet of frontage on East 17<sup>th</sup> Street and a depth of approximately 93 feet. It is identified on the New York City Tax Map as Block 7438, Lot 46. It is located in Brooklyn Community Board 15. The Premises is in a C8-1 zoning district. East 17<sup>th</sup> Street is a two way street with one lane of traffic and one parking lane in each direction.

The Premises is adjoined to the south by 1701 Avenue Z, a one story commercial building that has a car wash. The Premises is adjoined to the north by 2571 East 17<sup>th</sup> Street a multi-story office building. The area surrounding the Premises is predominantly mixed use.

The Premises is currently under construction. As-of-right construction work is currently occurring at the site pursuant to lawfully issued permits. The as-of-right building would have the same floor area as the proposed building. However, in order to comply with the accessory off street parking requirements, the as-of-right building would have "non-commercial community center" uses on floors three through five which require one accessory parking space per ten (10) people as per ZR § 36-21. The as-of-right building would provide twenty three accessory off street parking spaces.

As per ZR § 36-21 philanthropic or non-profit institutions without sleeping accommodations require one (1) space per ten (10) persons rated capacity in the underlying C8-1 zoning district.

Clubs, community centers or settlement houses; philanthropic or non-profit institutions without sleeping accommodations excluding ambulatory diagnostic or treatment health care facilities listed in Use Group 4; golf course club houses; non-commercial recreation centers; or welfare centers

None required - C1-4 C1-5 C1-6 C1-7 C1-8 C1-9 C2-4 C2-5 C2-6  
C2-7 C2-8 C4-4 C4-5 C4-6 C4-7 C5 C6 C8-3 C8-4

1 per 10 persons-rated capacity - C1-1 C1-2 C2-1 C2-2 C3 C4-1 C4-2 C8-1

# ERIC PALATNIK, P.C.

## THE PROPOSED NEW BUILDING

The proposed new five (5) story building is depicted in the enclosed plan sheets. As demonstrated therein, this well designed structure has been created to adhere to the floor area, height, yard, and setback requirements of the underlying C8-1 zoning district. It is proposed to develop the Premises with a 12,644 square foot, five (5) story and cellar building. A full explanation of the design, uses, and parking is provided below.

### Uses Per Floor:

Floor	Use	Square Feet
Cellar	Parking, Offices, Corridor	5,523
First	Ambulatory Diagnostic or Treatment Health Care Facilities	2,124
Second	Ambulatory Diagnostic or Treatment Health Care Facilities	2,124
Third	Ambulatory Diagnostic or Treatment Health Care Facilities	3,045
Fourth	UG 6 PRC B1 office	2,955
Fifth	UG 6 PRC B1 office	2,394
Total		12,644

\*Cellar is excluded from the floor area total but the 1,763 square feet of commercial space is counted toward the required number of accessory off street parking spaces.

As shown in the enclosed proposed plans, the cellar will include a 3,133 square foot parking garage and 1,763 square feet of UG 6 PRC B1 office space. There will also be (24) spaces, all of which shall be attendant parking spaces. The spaces will be comprised of six (6), four (4) vehicle stackers. The cellar will have a valet station and a vehicle drop off location where visitors can leave their cars. The cellar will be accessible by a 9'0" driveway that will be accessible from East 17<sup>th</sup> Street.

Floors one to three will have UG 4 ambulatory diagnostic or treatment health care facility and floors four and five will have UG 6 PRC B1 offices. Tenants have not yet signed leases and the particular types of offices or medical fields of practices are not known.

**Comparison of As-Of Right and Reduced Parking Totals:**

Pursuant to ZR § 36-21 the proposed UG 4 ambulatory diagnostic or treatment health care facilities and UG 6 PRC B1 offices require one (1) parking space per three hundred (300) square feet of floor area. Accordingly, based on the total floor area of 12,644 square feet and the 1,763 square feet of office space in the cellar, forty nine (48) parking spaces are required at the premises (14,407 / 300 = 48.02).

Pursuant to ZR § 73-44 (“Reduction of Parking Spaces for Ambulatory Diagnostic or Treatment Facilities Listed in Use Group 4 and Uses in Parking Requirement Category B1”) your Board may permit the reduction of required accessory parking spaces to one (1) space per six hundred (600) square feet of floor area for the proposed UG 4 ambulatory diagnostic or treatment health care facilities and UG 6 PRC B1 offices in the underlying C8-1 zoning district. Accordingly, this will reduce the number of required parking spaces to twenty four (24) (14,407 / 600 = 24.01).

A side by side comparison is provided below:

Floor	Use Group	Spaces per ZR § 36-12	Spaces per ZR § 73-44
Cellar	Accessory Parking	0	0
Cellar	UG 6 PRC B1 offices	1,763 / 300 = 6	1,763 / 600 = 2.94
First	UG 4 (health care fac.)	2,124 / 300 = 7	2,124 / 600 = 3.54
Second	UG 4 (health care fac.)	2,124 / 300 = 7	2,124 / 600 = 3.54
Third	UG 4 (health care fac.)	3,045 / 300 = 10	3,045 / 600 = 5.08
Fourth	UG 6 PRC B1 offices	2,955 / 300 = 10	2,955 / 600 = 4.93
Fifth	UG 6 PRC B1 offices	2,394 / 300 = 8	2,394 / 600 = 3.99
Total		14,407 / 300 = 48.02	14,407 / 600 = 24.01

**All spaces shall be attendant parking spaces.**

All (24) proposed parking spaces shall be attendant parking spaces. Drivers will enter on East 17<sup>th</sup> Street and relinquish control of their vehicle to a parking lot attendant who will then place the

vehicle into one of the six (6), four (4) vehicle stackers.

**ZR § 73-03 FINDINGS**

**(a) ZR § 73-03(a) provides:**

*The Board shall make all of the findings required in the applicable sections of this Chapter with respect to each such special permit #use# or modification of #use#, parking or #bulk# regulations and shall find that, under the conditions and safeguards imposed, the hazards or disadvantages to the community at large of such special permit #use# or modification of #use#, parking or #bulk# regulations at the particular site are outweighed by the advantages to be derived by the community by the grant of such special permit. In each case the Board shall determine that the adverse effect, if any, on the privacy, quiet, light and air in the neighborhood of such special permit #use# or modification of #use#, parking or #bulk# regulations will be minimized by appropriate conditions governing location of the site, design and method of operation.*

If the instant request is approved, the Proposed Building's required forty eight (48) parking spaces will be reduced to twenty four (24) spaces. This reduction in parking is not expected to create any foreseeable hazards or disadvantages to the community because the proposed building has been designed to provide adequate vehicle circulation and maneuverability for incoming and outgoing vehicles. The parking lot will be operated by an attendant. This design seeks to increase pedestrian safety on sidewalks bounding the Premises and to alleviate congestion along East 17<sup>th</sup> Street.

As shown on the land use map which is included with this application, there are no residential uses adjacent to the Premises. There are no residential uses on the subject tax block nor social block. As such, the surrounding uses will not be adversely impacted by the proposed parking reduction.

The parking demand that will be generated by the proposed uses will be sufficiently met by the proposed twenty four (24) total parking spaces on the Premises and the available on-street parking in the surrounding area. The surrounding uses will not be adversely affected by the proposed parking reduction. Additionally, the applicant will agree to any appropriate conditions with regard to the design and method of operation of the proposed development.

The Premises is well served by mass transit. It is located approximately one block away from the B and Q trains at the Sheepshead Bay Road Station and the B36, B4 and B49 bus stations are located on Avenue Z between East 16<sup>th</sup> and East 17<sup>th</sup>, approximately one block away from the Premises.

**(b) ZR § 73-03(b) provides:**

*In all cases the Board shall deny a special permit whenever such proposed special permit #use# or modification of #use#, parking or #bulk# regulations will interfere with any public improvement project (including housing, highways, public #buildings# or facilities, redevelopment or renewal projects, or right-of-way for sewers, transit or other public facilities) which is approved by or pending before the Board of Estimate, Site Selection Board or the City Planning Commission as determined from the calendars of each such agency issued prior to the date of the public hearings before the Board of Standards and Appeals.*

The proposed conversion will not interfere with any public improvement project which is approved or pending before the City Council, Site Selection Board, or City Planning Commission.

**(c) ZR § 73-03(c) provides:**

*When under the applicable findings the Board is required to determine whether the special permit #use# or modification of #use#, parking or #bulk# regulations is appropriately located in relation to the #street# system, the Board shall in its discretion make such determination on the basis of the Master Plan of Arterial Highways and Major Streets on the official City Map. Whenever the Board is required to make a finding on the location of a proposed special permit #use# or modification of #use#, parking or #bulk# regulations in relation to secondary or local #streets# and such classification of #streets# is not shown on the Master Plan, the Board in its discretion shall request the City Planning Commission to establish a report on the appropriate classification of such #street#.*

Zoning Resolution Section 73-44 does not require your Board to make a finding with respect to the appropriateness of the use in relation to the street system.

(d) ZR § 73-03(d) through (g) are not applicable.

**ZR § 73-44 FINDINGS**

*ZR § 73-44 provides in relevant part:*

*In the districts indicated, the Board of Standards and Appeals may permit a reduction in the number of #accessory# off-street parking spaces required by the provisions of Section 36-21 or 44-21 (General Provisions) for ambulatory diagnostic or treatment facilities listed in Use Group 4 and #uses# in parking requirement category B1 in Use Group 6, 7, 8, 9, 10, 11, 14 or 16 to the applicable number of spaces specified in the table set forth at the end of this Section, provided that the Board finds that occupancy by ambulatory diagnostic or treatment facilities listed in Use Group 4 or #uses# in parking category B1 is contemplated in good faith on the basis of evidence submitted by the applicant. In such a case the Board shall require that the certificate of occupancy issued for the #building# within which such #use# is located shall state that no certificate shall thereafter be*

*issued if the #use# is changed to a #use# listed in parking category B unless additional #accessory# off-street parking spaces sufficient to meet such requirements are provided on the site or within the permitted off-site radius.*

REDUCED ACCESSORY OFF-STREET  
 PARKING SPACES REQUIRED FOR AMBULATORY DIAGNOSTIC  
 OR TREATMENT FACILITIES LISTED IN USE GROUP 4 AND  
 COMMERCIAL USES IN PARKING REQUIREMENT CATEGORY B1

Parking Spaces Required per Number of Square Feet of #Floor Area#*	Districts
1 per 400	C1-1 C2-1 C3 C4-1
1 per 600	C1-2 C2-2 C4-2 C8-1 M1-1 M1-2 M1-3 M2-1 M2-2 M3-1
1 per 800	C1-3 C2-3 C4-3 C7 C8-2

\* For ambulatory diagnostic or treatment facilities listed in Use Group 4, parking spaces required per number of square feet of #floor area# or #cellar# space, except #cellar# space #used# for storage

The Premises is located in a C8-1 zoning district and your Board is empowered to reduce the number of required parking spaces to 1 per 600 as set forth in the table above.

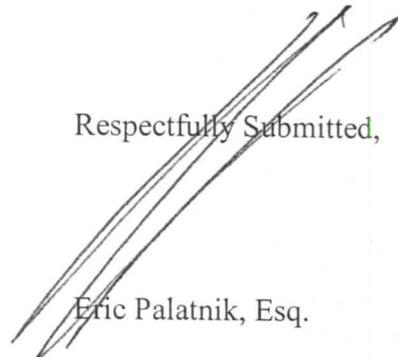
Zoning Resolution Section 73-44, entitled, "*Reduction of Parking Spaces for Ambulatory Diagnostic or Treatment Facilities Listed in Use Group 4 and Uses in Parking Requirement Category B1,*" authorizes your Board to approve the request, provided that the applicant demonstrates that the use is demonstrated in good faith. The instant applicant agrees to this condition as indicated on the enclosed affidavit of good faith.

Additionally, the applicant further understands that, should the instant application be approved, the Certificate of Occupancy shall state that "*no certificate shall thereafter be issued if the use is changed to a use listed in parking requirement category B unless additional accessory off-street parking spaces sufficient to meet such requirements are provided on the site or within the permitted off-site radius.*"

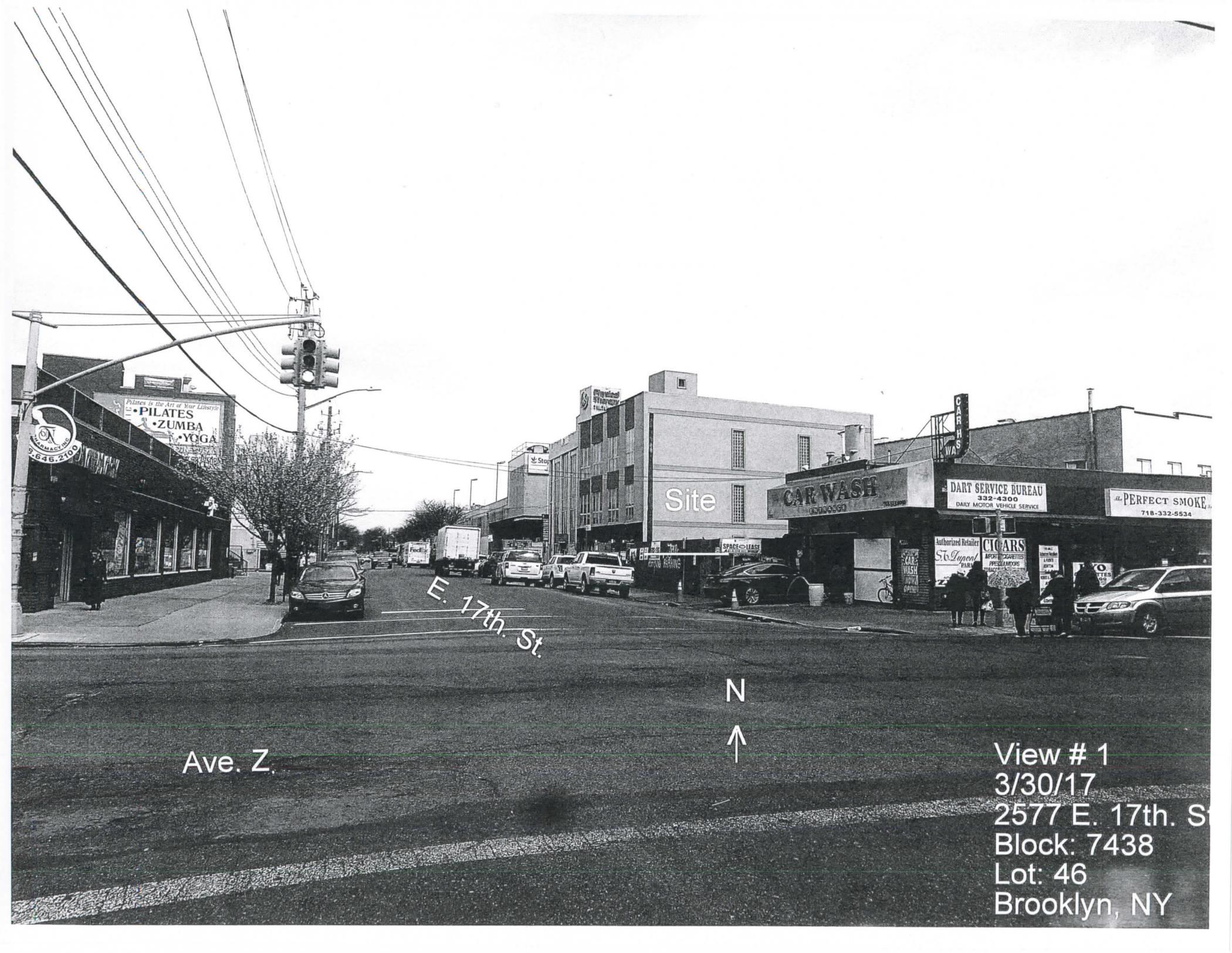
CONCLUSION

It is for all of the foregoing reasons that we respectfully submit that the instant application should be granted in all respects.

Respectfully Submitted,

A handwritten signature in black ink, consisting of several overlapping, sweeping strokes that form the name Eric Palatnik. The signature is positioned above the typed name.

Eric Palatnik, Esq.



Pilates in the Art of Your Lifestyle  
• PILATES  
• ZUMBA  
• YOGA

Site

CAR WASH

DART SERVICE BUREAU  
332-4300  
DAILY MOTOR VEHICLE SERVICE

the PERFECT SMOKE  
718-332-5534

E. 17th. St.

Ave. Z.



View # 1  
3/30/17  
2577 E. 17th. St  
Block: 7438  
Lot: 46  
Brooklyn, NY



Site

Ave. Z

E. 17th. St.

N ←

View # 6  
3/30/16  
2577 E. 17th. St.  
Block: 7438  
Lot: 46  
Brooklyn, NY

AS-OF-RIGHT PLANS / Existing Plans

**Zoning Description:**  
**Address:** 2579 East 17th street  
**Lot:** 46  
**Block:** 7438  
**Map:** 29a  
**Zone:** C8-1  
**District Boundaries:** - None  
**Historical:** No  
**Flood Zone:** Zone AE EL 10 NAVD  
**Lot Type:** Interior (Within 100'-0" of Corner)  
**Cross Streets:** Avenue Z & East 17th Street

**ZONING COMPUTATIONS**

**ZR 12-10 Base Plane Elevation**  
 Zone AE Base Flood Elevation = 10 ft  
 ABFE = Flood Zone + 1'-0" Freeboard = 11'-0" NAVD

Grade Elevation at site = 8.96 + 8.78 / 2 = EL 8.87 NAVD Base Plane Grade Elevation = Base Plane

BFE above grade = 10' NAVD - 8.87' NAVD = 1.13' or 1'-1.5" above grade  
 Freeboard = 11' NAVD - 8.87' NAVD = 2.13' or 2'-1.5" above grade

**ZR 12-10 Floor Area Discounts / Deductions**  
 a. Cellular space  
 b. Elevator or stair bulkheads (at roof)  
 c. Floor Space for Mechanical equipment / shafts  
 d. Unusable / Inaccessible spaces 2 story high atrium (see commissioner's reconsideration)  
 e. Exterior wall thickness up to 8" area weighted average u-factor of all above grade exterior assemblies shall be more than 90 % of the prescribed requirements in NYCECC 2014.

**ZR 32-00 Use Regulations**  
 Allowable Use groups as per C8-1  
 U.G. 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 16  
 Proposed Uses  
 Use Group 4 Ambulatory diagnostic or treatment health care facilities - PRC B1  
 Use Group 6 Business Retail - PRC B1  
 Use Group 4 - Community Center

**ZR 33-03 Street tree planting in Commercial Districts**  
 #developments# or #enlargements# that increase the #floor area# on a #zoning lot# by 20 percent or more.  
 Street Trees Required. See ZR 26-41

Frontage = 63'-7" / 25'-0" Spacing = 2.54 = 3.0  
 3 Street Trees Required  
 3 street trees Provided

**ZR 33-122 Maximum Floor Area Ratio for Commercial buildings in all other Commercial districts**  
 Maximum Allowable Commercial FAR 1.0 FAR (refer to floor area charts for FAR summations - Drawing A002.00)

**ZR 33-123 Community Facility buildings and/or Community Facility / Commercial Blended Buildings**

Maximum Allowable FAR (blended) 2.4 FAR (refer to floor area charts for FAR Summations Drawing A002.00)

Total Commercial Retail Area (U.G. 6) = 648 sq. ft.  
 Total Community Facility - Community Center Area (U.G. 4) = 8,823.06 sq. ft.  
 Total Ambulator Diagnostic and Health Treatment Facility Area (U.G. 4) = 4,504.94 sq. ft.  
 Total Proposed Gross Area = 13,975.99 sq. ft.

Deductions, Additional Wall Insulation and Mechanical spaces - Refer to A002/3.00 - Floor Plate Summations  
 Deductions :  
 Total Additional Wall Insulation (Z.R. 12-10) = 776.6 S.F. (Refer to A004.00/A005.00)  
 Total Publically Accessible Entrways (Z.R.64-312) = 400 S.F.  
 XTotal discounts = 1176.61 S.F.

**Final Proposed Area with Deductions**  
 13,975.99 S.F. - 1,176.61 S.F. = 12,799.38 S.F. < 13,258.72 S.F. Allowable - O.K.  
 See Floor Area Charts/Deductions on sheet A002.00

**ZR 33-23 Permitted Obstructions in Yards**

In any Yard (or rear yard equivalent) : Allowable & Proposed Permitted Obstructions:

1. Awnings, screening and other sun control devices shall.
  - a. Be limited to a projection of 2'-6"
  - b. Solid surfaces shall not cover more than 30% of the area of the building wall
2. Exterior wall thickness (up to 8")
3. Quad Lifts used for accessory offstreet parking
4. Terraces of open porches

**ZR 33-25 Required side yards**  
 No side yards are required. If provided min side yard shall be 8'-0" in depth.  
 Proposed Side yards 0'-0" (No Yards Req'd) O.K.

**ZR 33-26 Min. Required Rear Yards**  
 Minimum required rear yards = 20'-0"  
 No rear yard req'd because site is within 100'0" of corner (See ZR 33-301)

Proposed Open space yard = 20'0" building is within 100'-0" of corner Avenue Z and East 17th street. See ZR 33-261 and Plot Plan.

**ZR 33-301 Within one hundred feet of corners**

No rear yards shall be required within 100'-0" of the point of intersection of two street lines intersecting at an angle of 135 degrees or less.  
 Intersection of Ave Z and East 17th = 90 degrees < 135 degrees O.K.  
 Lot depth = 93'-6" < 100'-0" O.K.  
 Distance from Avenue Z = 31'-11" + 63'-7" Lot Width = 95'-6" < 100'-0" O.K. No rear Yard is required. 20'-0" Open space yard is provided for distance between lot line and windows.

**ZR 33-40 Height and setback regulations**

**ZR 33-42 Permitted Obstructions in Height**  
**F. Elevator or stair bulkheads including shafts and vestibules not larger than 60 s.f. at roof**  
**Proposed Bulkhead is 12'-0" away from lot line. 12'-0" is greater than 10'-0" min. - O.K.**  
 1) Bulkhead is not within 10'-0" of Street wall  
 2) Mechanical Units not within 10'-0" of street wall  
 3) **Proposed Bulkhead is a permitted obstruction beyond 10'-0" - and is applicable to this sub paragraph**  
 Total Building Street Wall - 63'7"  
 Permitted Area = 8 x 63'-7" = 508.7 s.f.

**Proposed Bulkhead within the permitted sky exposure plane to the roof level:**  
 Width of bulkhead = 15'5"  
 Height above the 3rd floor terrace = 18'-7" (Including parapet)  
 Area of Proposed Bulkhead to the roof level = 15'-5" x 18'-7" = 286.493 sq. ft.

**Proposed bulkhead beyond roof level (access to roof)**  
 Width of bulkhead at roof = 9'-2"  
 Height of bulkhead = 8'-6"  
 Proposed Area beyond roof level = 9'-2" x 8'6" = 77.916 sq. ft.  
 Total Proposed Bulkhead area within sky exposure plane - 286.493 sq. ft. + 77.916 sq. ft. = 364.409 sq. ft.  
 Total Proposed 364,409 sf < permitted 508.67 sf - O.K.  
 J. Parapet walls (no more than 4'-0" high)

**ZR 33-432 Maximum Height of walls and required setbacks in other commercial districts**  
 East 17th Street = 80 ft wide Existing wide street  
 Allowable Maximum Perimeter wall = In C8-1 Districts  
 For blended community facility and commercial buildings maximum height of front wall shall be 35'-0" or 3 stories  
 Proposed Perimeter wall = 35'-0" and 3 stories O.K.  
 Min. Initial setback distance (on wide street)  
 Required perimeter wall Setback = 15'-0"  
 Proposed perimeter wall setback = 16'-0" > 15'-0" - O.K.  
 Maximum Sky Exposure plane=1:1 slope / 45 degrees  
 Proposed Sky Exposure Plane = 1:1 slope or 45 degrees O.K.  
 Measurement from base plane Yes \*  
 Measurement from baseplane / flood plane is allowable as per ZR 76- provided that regulations for wet or dry floodproofing as per Article G of NYC Building Code are adhered to.

**ZR 33-50 Court regulations and minimum distance between windows and walls or lot lines**  
 As per 24-65 (min. req'd distance between windows and lot lines for community facility buildings)  
 Required distance shall be no less than 20'-0".  
 Proposed yard for required windows at rear open space yard = 20'-0" O.K.

**64-131 Measurement of Height**  
 All measurements of height above #curb level#, #base plane#, #base flood elevation#, grade, or other similar ground related datum, shall be from the #flood-resistant construction elevation#  
**Base Flood Elevation = 10 NAVD = 1.13' Above Grade**  
**Freeboard Elevation = 11 NAVD = 2.13' Above Grade**

**64-312 Entryways in all other buildings**

For all #buildings# other than #single-# and #two-family residences#, with enclosed publicly accessible entryways below #flood-resistant construction elevation#, up to 100 square feet of such entryways may be excluded from the definition of #floor area# for each foot of difference between the #lowest occupiable floor# and #curb level#. This area may be excluded from the definition of #floor area# provided it is not greater than the total area at each publicly accessible entryway of ramps, stairs, lifts and elevators plus an initial entry area of no more than 100 square feet for each entryway.

Level below grade = 2'-0"  
 Number of entryways to building 2  
 Allowable deduction per 1'-0" distance between grade and cellar = 100 s.f.  
**Total Discounted Area = 2'-0" (below curb level) x 2 entryways x 100 s.f. = 400 s.f.**

**64-323 Flood panels in required yards and open space**  
 Temporary flood control devices and associated emergency egress systems that are assembled prior to a storm and removed thereafter shall be permitted obstructions in #yards# and #rear yard equivalents#, #courts#, #open space#, #waterfront yards# as defined in Article VI, chapter 2, #public plazas# and all other publicly accessible open areas during such storm event and for a reasonable period prior to and after such storm event, as determined by the Department of Buildings.  
**Applicant shall provide 3'-0" bulkhead at perimeter of building and lot. All entryways to building and rear yard shall have flood gates installed.**

**ZR 36-21 Required accessory off-street parking spaces for commercial and community facility uses**  
**Proposed Uses**  
 U.G. 4 Community Center 1 Per 10 people occupancy.  
 Provided 10 people max at 3rd, 4th and 5th story  
**Total stalls proposed = 3 stalls** (See Chart on A002.00)  
 U.G. 4 Ambulatory diagnostic or treatment health care facilities 1 per 300 in C8-1  
**Total Stalls Proposed = 7 stalls** (See chart on A002.00)  
 U.G. 6- General Retail/Stores U.G. 6 - PRC-B per 300 in C8-1  
**Total Stalls Proposed=14 stalls** (See chart on A002.00)

**Total Required Parking Spaces = 24 Stalls**  
**Total Proposed Parking Spaces = 24 Stalls**  
 24 Stalls = 24 Stalls Required - O.K.  
 \*See Commissioner's reconsiderations for multiple tier parking  
 See A002.00 For required and proposed parking calculations

**ZR 36-711 - Bicycle Parking Requirements**  
 A. Commercial Bicycle Parking (UG 6) = 1 Per 10,000 S.F.  
**1 Required**  
 B. Community Facility - Community Center Bicycle Parking (UG 4) - 1 Per 10,000 S.F.  
**1 Required**  
 C. Community Facility - Ambulatory & Health Care Treatment Facility - 1 Per 10,000 S.F.  
**1 Required**  
**Total Required - 3 Bicycle Spaces Required.**

**Bicycle Parking Waiver**  
 However, the bicycle parking requirements set forth in the table shall be waived for bicycle parking spaces that are accessory to (d) all other #community facility# or #commercial uses# not otherwise listed in the table where the number of required bicycle parking spaces is three or less.  
 3 Required = 3 to be waived. - O.K.

**CORPORATE DESIGN OF AMERICA, P.C.**



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Robert James Palermo  
 NY State License  
 No. 013124

**Proposed 5 Story Blended Use Commercial & Community Facility Building**

2579 East 17th St.  
 Brooklyn, NY  
 11235

PROJECT NO: 14/15	DATE: 4/4/16
SCALE: Refer to Plans	TIME: 12:10:19 PM
DRAWN BY: SBD	DOB Application No.: 3336746
CHECKED BY: RJP	

SHEET TITLE:  
**Zoning Text**

**A001.00**  
 of  
 18

DOB Job Sticker

**F.A.R REQUIREMENTS (Maximum Allowable)**

Zone	Use	Lot Area	Community Facility	Commercial FAR	Total Permitted Floor Area
C8-1	Commercial	5524.335	-	1	5,524.34
	Community Facility	5524.335	2.4	-	13,258.40
	<b>Total Allowable</b>	<b>5524.335</b>	<b>2.4</b>		<b>13,258.40</b>

**Notes**  
 1. For Lot Area and Building Area Take Offs - Refer to Lot Area Takeoff Chart on A002.00  
 2. Floor area considerations only reflect Zoning requirements per use. No deductions or proposed areas are included in this Chart.

**Floor Area Deduction Summary**

Floor	Perimeter wall length above grade	Additional Wall Insulation <sup>1</sup>	Enclosed Publicly accessible entryways <sup>2</sup>	Mechanical / Electrical / Sewage Access	Total Floor Area Waived
Cellar	. ' ft	'ft <sup>2</sup>	0.00	0.00	0.00
Grade	160. ' ft	93.21 'ft <sup>2</sup>	400	142.90	636.11
1 <sup>st</sup> Floor	223.75 ' ft	127.56 'ft <sup>2</sup>	-	0.00	127.56
2 <sup>nd</sup> Floor	223.75 ' ft	127.56 'ft <sup>2</sup>	-	0.00	127.56
3 <sup>rd</sup> Floor	373.5 ' ft	215.85 'ft <sup>2</sup>	-	0.00	215.85
4 <sup>th</sup> Floor	186.67 ' ft	107.19 'ft <sup>2</sup>	-	0.00	107.19
5 <sup>th</sup> Floor	186.75 ' ft	105.25 'ft <sup>2</sup>	-	0.00	105.25
<b>Total</b>	<b>1,354 ' ft</b>	<b>776.61 'ft<sup>2</sup></b>	<b>400</b>	<b>142.90</b>	<b>1319.51</b>

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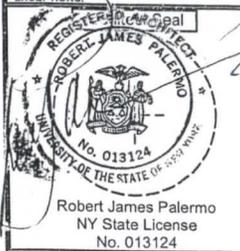
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**AS OF RIGHT ZONING CALCULATIONS**

Floor	Use	U.G.	Floor Area (Gross)	Deduction (see chart below)	Floor Area (Net) (w/ waivers)	FAR	Required Parking Requirement	Proposed Countable Parking Area (Net w/ deductions)	Parking Category	Total Parking Required (As of Right)
Cellar	Parking Garage	-	3,133.69	0.00	0.00	0	None	0	N/A	0.0
Cellar	Commercial - Offices	6	1,763.42	1,763.42 <sup>1</sup>	0.00	0.0000	1/300	1,763.42	B1	5.9
Grade	Accessible Entry Corridor	N/A	627.23	627.23	0.00	0.0000	1/300	0.00	Accessible Entry	0.0
1 <sup>st</sup> Floor	Ambulatory Diagnostic & Treatment Health care Facility	4	2,252.47	127.56	2,124.91	0.3846	1/300	2,124.91	B1	7.1
2 <sup>nd</sup> Floor	Ambulatory Diagnostic & Treatment Health care Facility	4	2,252.47	127.56	2,124.91	0.3846	1/300	2,124.91	B1	7.1
3 <sup>rd</sup> Floor	Non Commercial Community Center	4	3,260.92	215.85	3,045.07	0.5512	Min. 1 per 10 people occupancy*	3,045.07	N/A	1.0
4 <sup>th</sup> Floor	Non Commercial Community Center	4	3,062.60	107.19	2,955.41	0.5350	Min. 1 per 10 people occupancy*	2,955.41	N/A	1.0
5 <sup>th</sup> Floor	Non Commercial Community Center	4	2,499.54	105.25	2,394.29	0.4334	Min. 1 per 10 people occupancy*	2,394.29	N/A	1.0
<b>Total</b>	Commercial - Offices	6	2,390.65	627.23	0.00	0.0000	1/300	1,763.42	B1	5.9
<b>Total</b>	Non Commercial Community Center	4	8,823.06	428.29	8,394.77	1.5196	Min. 1 per 10 people occupancy	8,394.77	N/A	3.0
<b>Total</b>	Ambulatory Diagnostic & Treatment Health care Facility	4	4,504.94	255.11	4,249.83	0.7693	1/300	4,249.83	B1	14.2
<b>Total</b>	<b>Building</b>		<b>15,718.64</b>	<b>3,074.05</b>	<b>12,644.60</b>	<b>2.29</b>	<b>ALL Parking Requirements</b>	<b>14,408.02</b>	<b>ALL USES</b>	<b>23</b>

**NOTES:**  
 1. ( <sup>1</sup> ) Denotates reduction in full floor areas at the cellar level where the entire floor area is not counted toward net or zoning floor area.



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Proposed 5 Story  
 Blended Use Commercial  
 & Community Facility  
 Building  
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 Brooklyn, NY  
 11235

PROJECT NO.: 14/15  
 DATE: 4/4/16  
 TIME: 12:10:20 PM

SCALE: Refer to Plans  
 DOB Application No.: 3336746

DRAWN BY: SBD  
 Checked BY: RJP

SHEET TITLE:  
**As of Right Zoning Summations**

A002.00  
 of  
 18

DOB Job Sticker

**SPECIAL PERMIT**

**ZR 73-44 : REDUCTION OF PARKING SPACES:**

**I - Required Parking Requirements**

1. REQUIRED PARKING FOR COMMUNITY FACILITY AMBULATORY DIAGNOSTIC AND HEALTH TREATMENT FACILITY AS OF RIGHT : 24 STALLS
2. REQUIRED PARKING FOR COMMERCIAL OFFICES AS OF RIGHT : 24 STALLS
3. TOTAL REQUIRED PARKING AS OF RIGHT : 48 STALLS
4. TOTAL PARKING PROVIDED : 24 STALLS

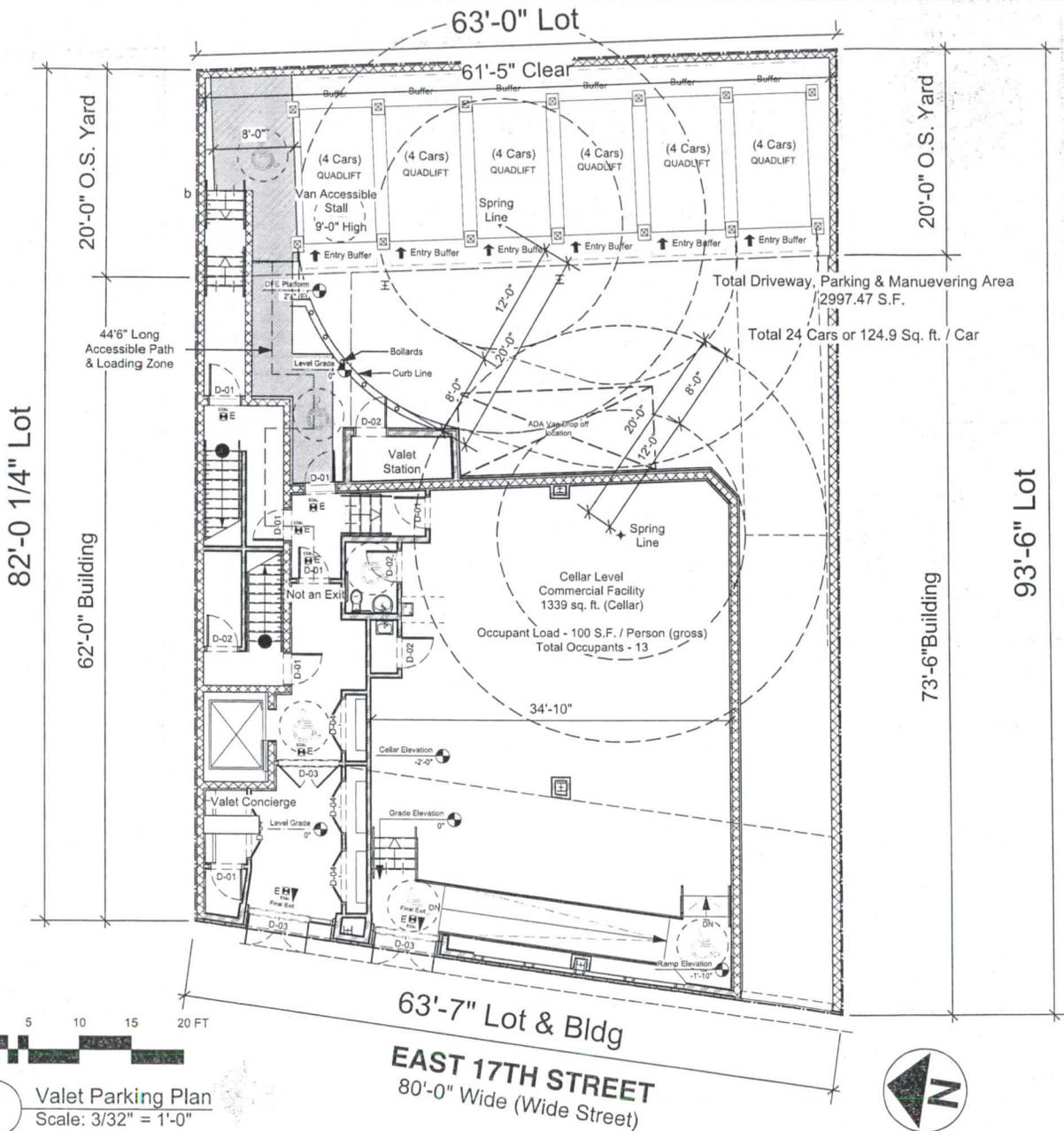
**II - Parking Requirements Pursuant to Special Permit : (See A002.00 of Proposed Set)**

1. REQUIRED PARKING FOR COMMUNITY FACILITY AMBULATORY DIAGNOSTIC AND HEALTH TREATMENT FACILITY PURSUANT TO SPECIAL PERMIT: 12 SPACES
2. REQUIRED PARKING FOR COMMERCIAL OFFICES AS OF RIGHT : 12 STALLS
3. TOTAL REQUIRED PARKING AS OF RIGHT : 24 STALLS
4. TOTAL PARKING PROVIDED : 24 STALLS

**BSA NOTES:**

- COMMERCIAL AND COMMUNITY FACILITY USES:  
 -INTERIOR LAYOUT AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE AS APPROVED BY NYC DEPARTMENT OF BUILDINGS.  
 -MAXIMUM OCCUPANT LOAD PER FLOOR/SPACE SHALL BE AS APPROVED BY NYC DEPARTMENT OF BUILDINGS ALL OTHER BUILDINGS/USES.  
 -ALL PARTITIONS AND EXITS SHALL BE AS APPROVED BY DEPARTMENT OF BUILDINGS.  
 -MAXIMUM NUMBER OF SPACES APPROVED BY BSA SHALL NOT BE EXCEEDED; LAYOUT IS SUBJECT TO DOB APPROVAL.





1 Valet Parking Plan  
Scale: 3/32" = 1'-0"

**BSA NOTES:**

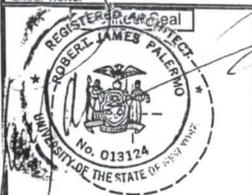
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 Building  
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 11235

PROJECT NO.: 14/15	DATE: 4/4/16 TIME: 12:10:22 PM
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SCALE: Refer to Plans	DOB Application No.: 3336746
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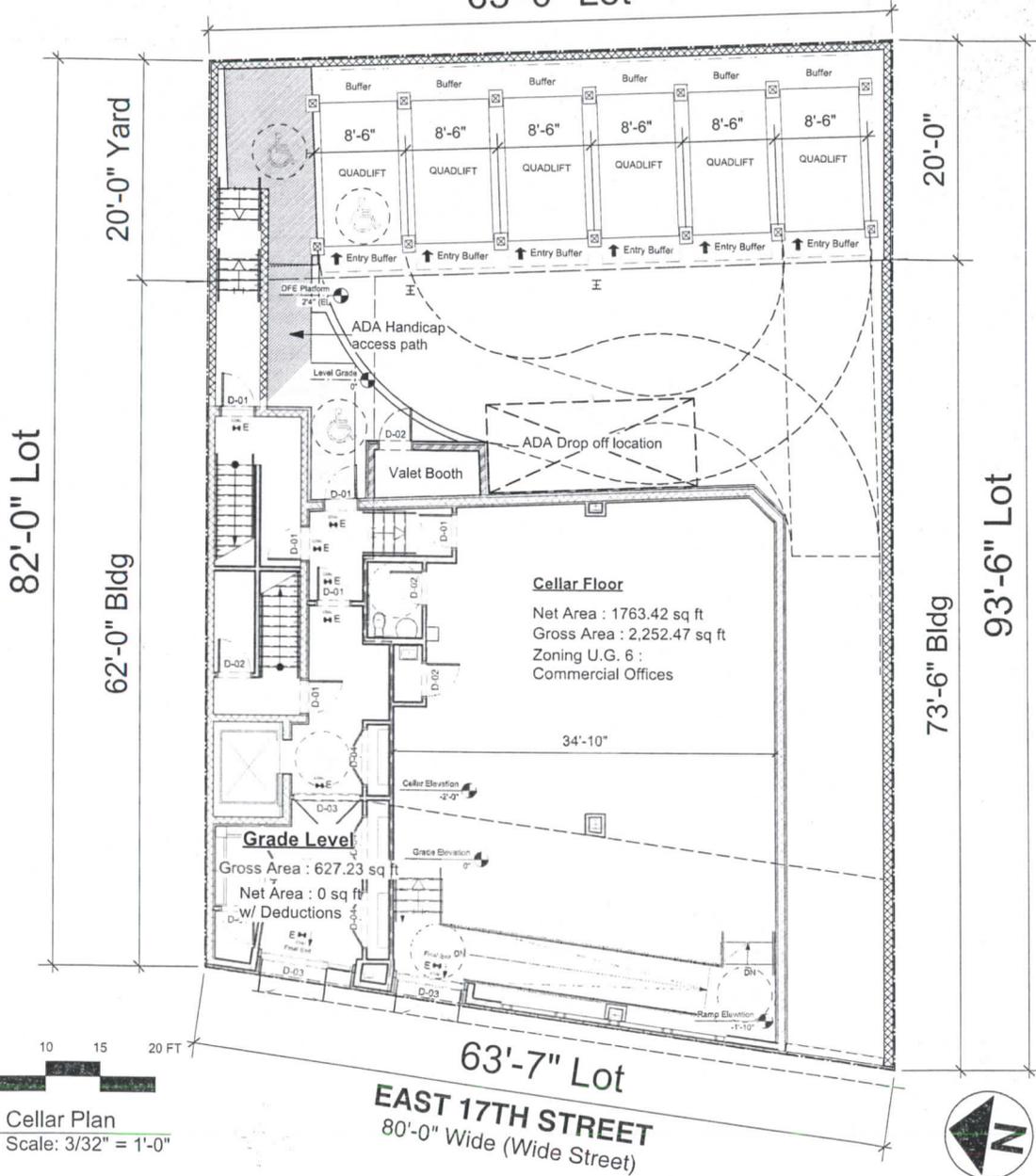
DRAWN BY: SBD	Checked BY: RJP
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SHEET TITLE:  
**Parking Plan**

A004.00  
 of  
 18

DOB Job Sticker

63'-0" Lot



1 Cellar Plan  
Scale: 3/32" = 1'-0"

**BSA NOTES:**

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PROJECT NO.: 14/15	DATE: 4/4/16 TIME: 12:10:23 PM
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SCALE: Refer to Plans	DOB Application No.: 3336746
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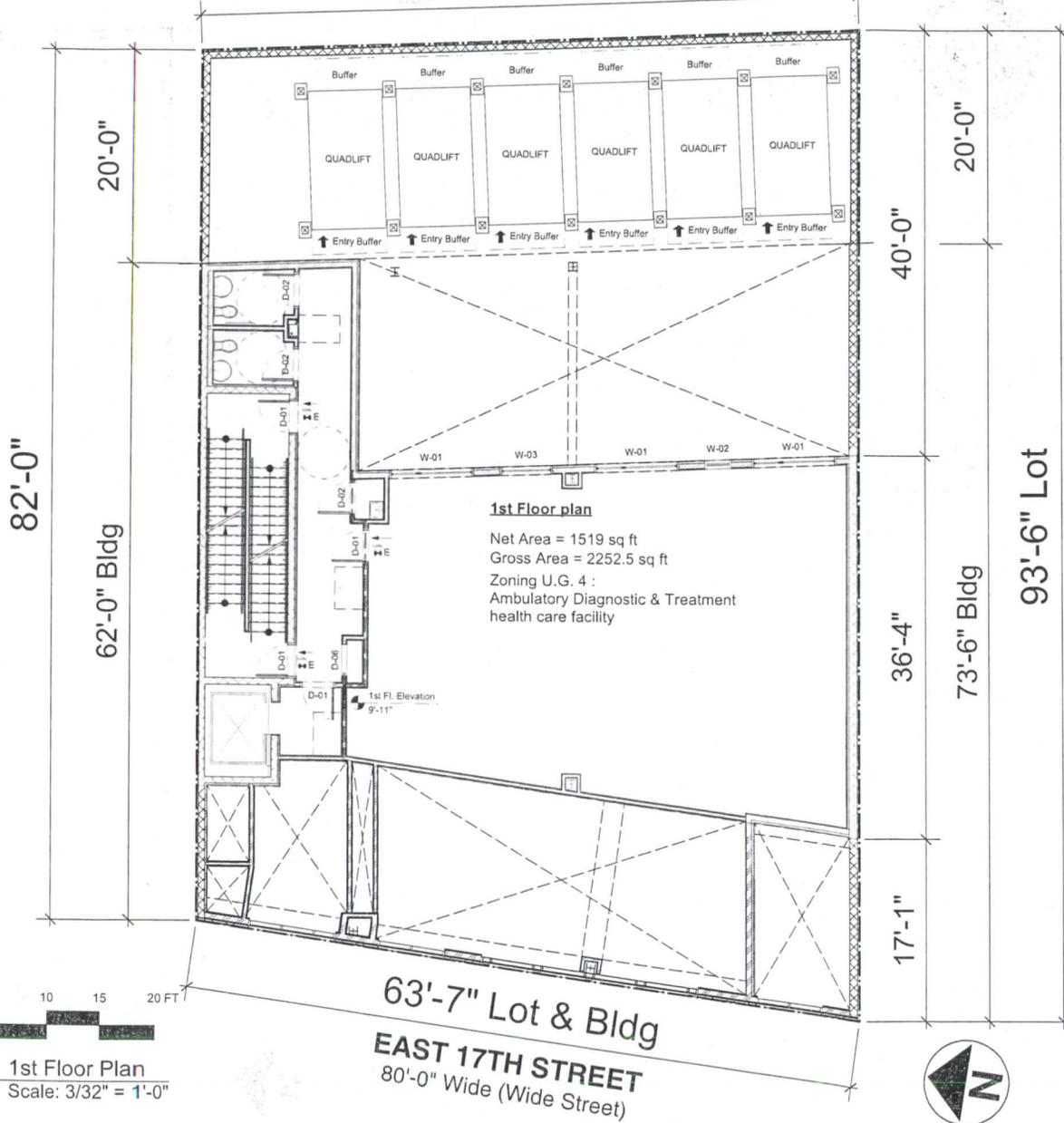
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SHEET TITLE:  
 Cellar Plan

A005.00  
 of  
 18

DOB Job Sticker

63'-0" Lot & Bldg



**1st Floor plan**  
 Net Area = 1519 sq ft  
 Gross Area = 2252.5 sq ft  
 Zoning U.G. 4 :  
 Ambulatory Diagnostic & Treatment  
 health care facility

63'-7" Lot & Bldg  
**EAST 17TH STREET**  
 80'-0" Wide (Wide Street)

**BSA NOTES:**

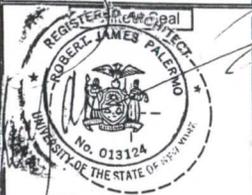
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PROJECT NO.: 14/15	DATE: 4/4/16 TIME: 12:10:24 PM
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SCALE: Refer to Plans	DOB Application No.: 3336746
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SHEET TITLE:  
  
**1st Fl. Plan**

A006.00  
 of  
 18

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1 1st Floor Plan  
 Scale: 3/32" = 1'-0"

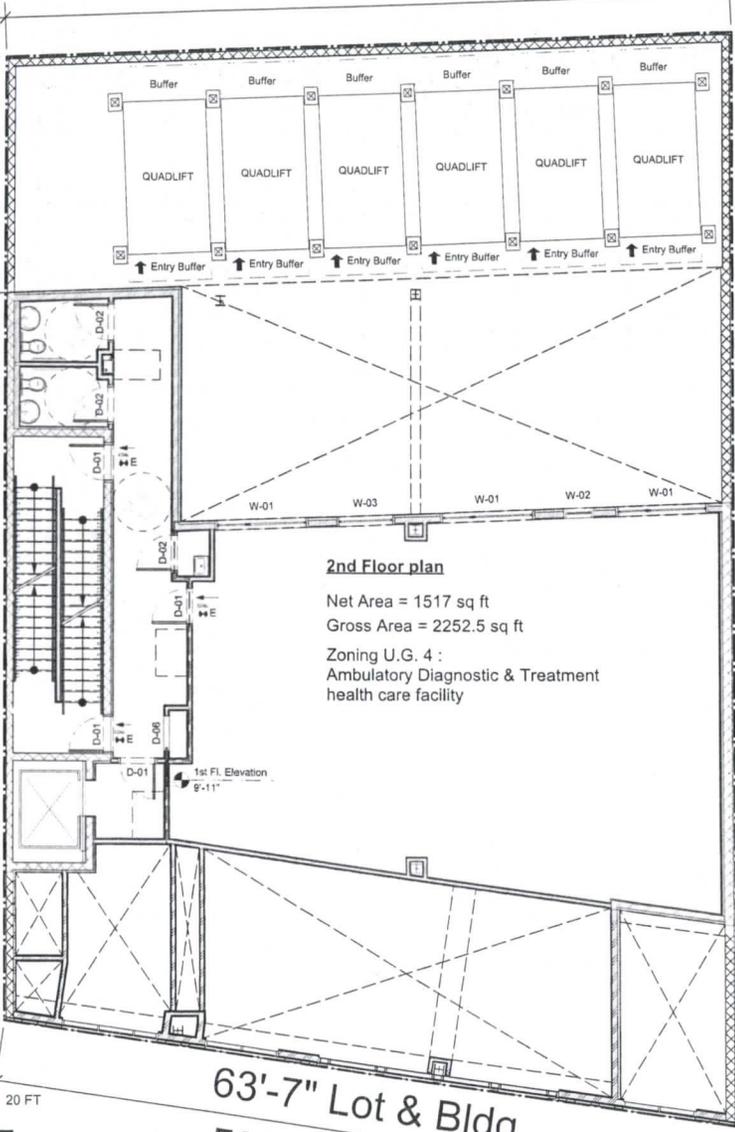
63'-0" Lot & Bldg

82'-0" Lot

20'-0" Yard

49'-4" Bldg

12'-8"



**2nd Floor plan**

Net Area = 1517 sq ft  
 Gross Area = 2252.5 sq ft  
 Zoning U.G. 4 :  
 Ambulatory Diagnostic & Treatment  
 health care facility

63'-7" Lot & Bldg

**EAST 17TH STREET**  
 80'-0" Wide (Wide Street)

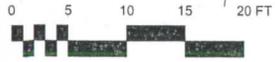
20'-0" Yard

20'-0"

36'-3"  
 73'-6" Bldg

93'-6" Lot

17'-2"



1 2nd Floor Plan  
 Scale: 3/32" = 1'-0"

**BSA NOTES:**

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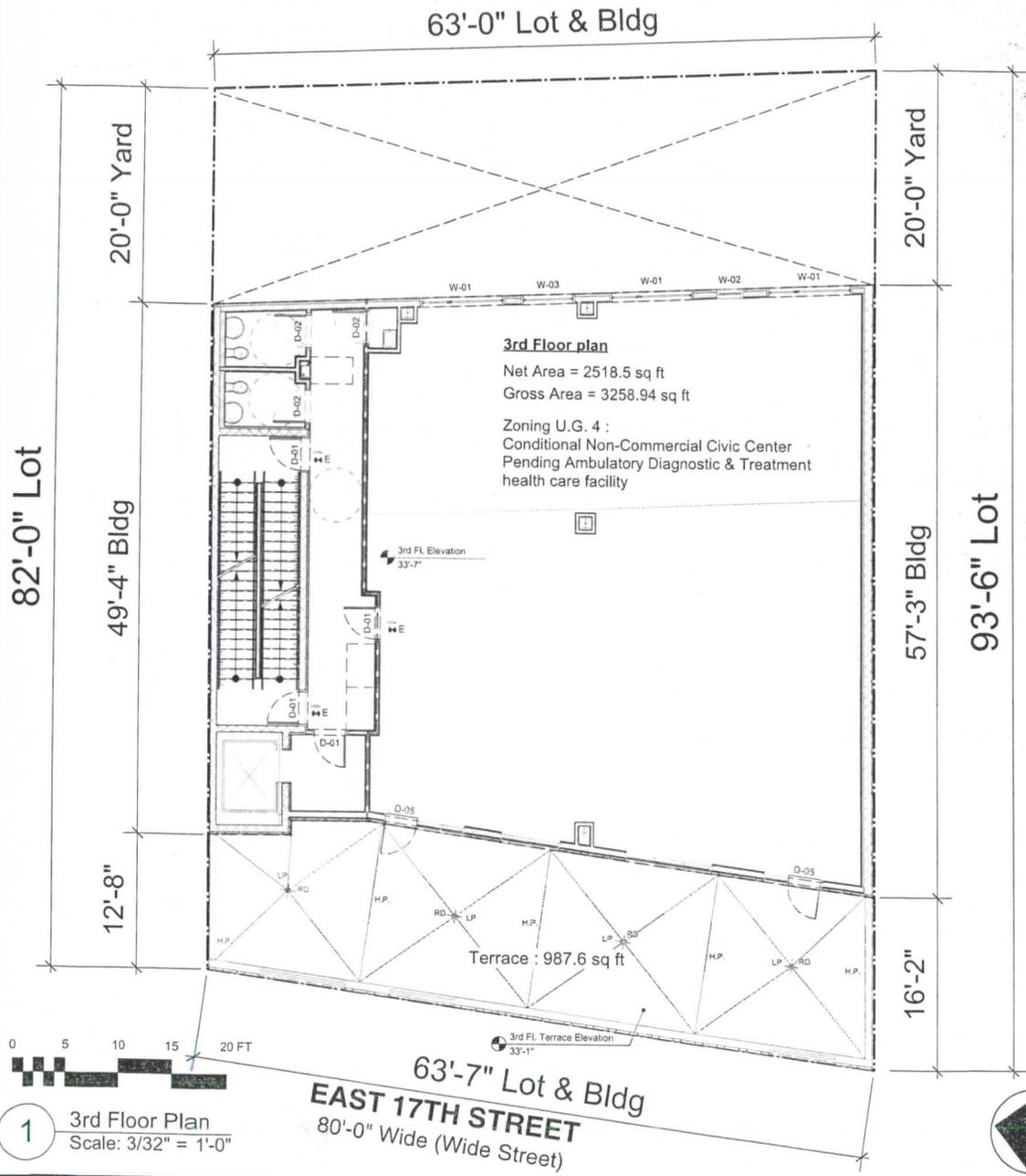
SCALE: Refer to Plans DOB Application No.: 3336746

DRAWN BY: SBD Checked BY: RJP

SHEET TITLE:  
 2nd Fl. Plan

A007.00  
 of  
 18

DOB Job Sticker



**3rd Floor plan**  
 Net Area = 2518.5 sq ft  
 Gross Area = 3258.94 sq ft  
 Zoning U.G. 4 :  
 Conditional Non-Commercial Civic Center  
 Pending Ambulatory Diagnostic & Treatment  
 health care facility

Terrace : 987.6 sq ft

**63'-7" Lot & Bldg**  
**EAST 17TH STREET**  
 80'-0" Wide (Wide Street)

**1** 3rd Floor Plan  
 Scale: 3/32" = 1'-0"

**BSA NOTES:**

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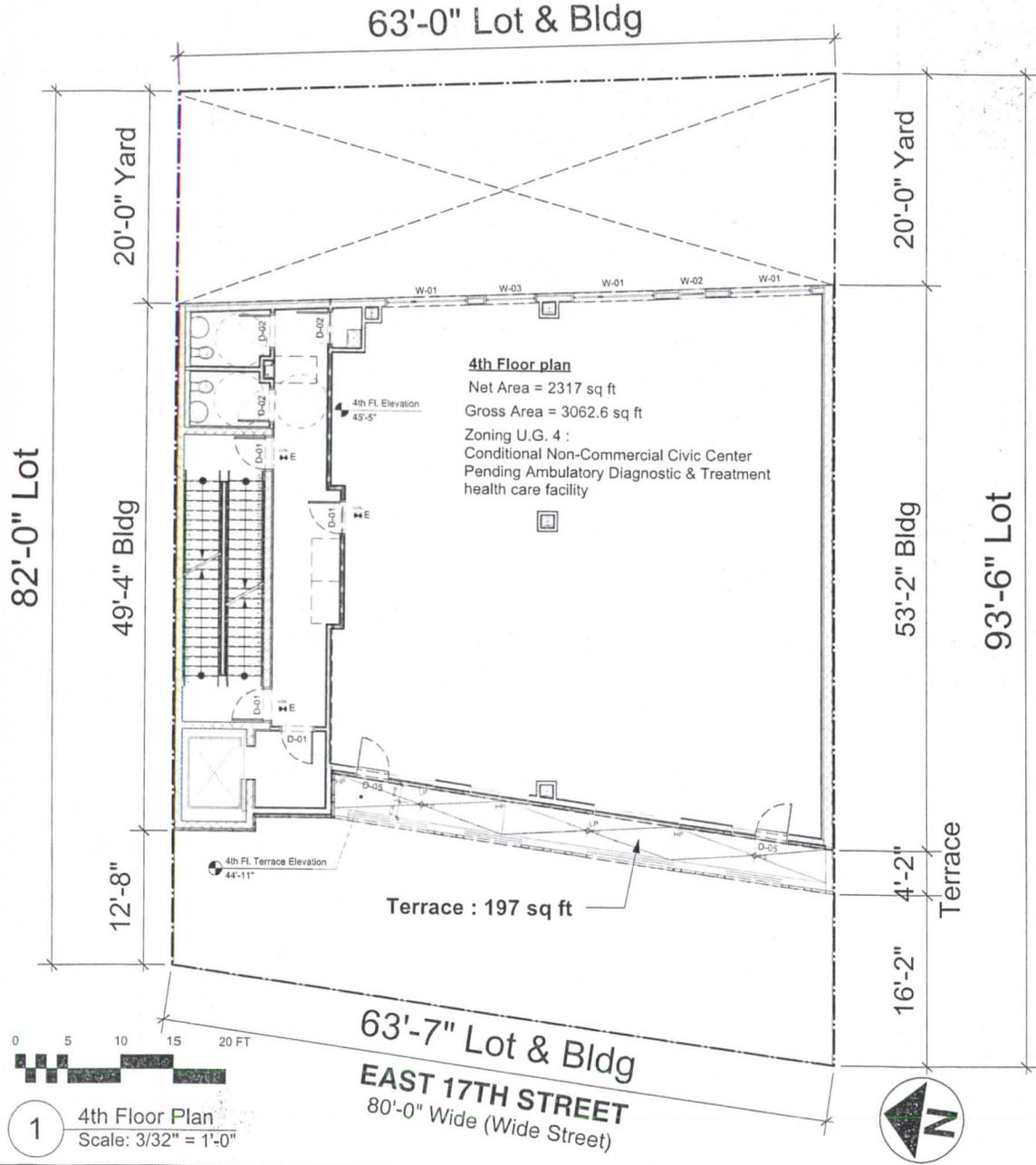
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 Blended Use Commercial  
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PROJECT NO.: 14/15	DATE: 4/4/16 TIME: 12:10:25 PM
SCALE: Refer to Plans	DOB Application No.: 3336746
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SHEET TITLE:  
**3rd Fl. Plan**

A008.00  
 of  
 18

DOB Job Sticker



**4th Floor plan**  
 Net Area = 2317 sq ft  
 Gross Area = 3062.6 sq ft  
 Zoning U.G. 4 :  
 Conditional Non-Commercial Civic Center  
 Pending Ambulatory Diagnostic & Treatment  
 health care facility

**BSA NOTES:**

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 Brooklyn, NY  
 11235

PROJECT NO. 14/15	DATE: 4/4/16 TIME: 12:10:26 PM
SCALE: Refer to Plans	DOB Application No. : 3336746
DRAWN BY: SBD	Checked BY: RJP

SHEET TITLE:  
 4th Fl. Plan

A009.00  
 of  
 18

DOB Job Sticker

63'-0" Lot & Bldg

20'-0" Yard

20'-0" Yard

82'-0"

49'-4" Bldg

41'-3" Bldg

93'-6" Lot

12'-8"

11'-11" Terrace

20'-4"

63'-7" Lot & Bldg

EAST 17TH STREET  
80'-0" Wide (Wide Street)



0 5 10 15 20 FT

1 5th Floor Plan  
Scale: 3/32" = 1'-0"

**BSA NOTES:**

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No. 013124

Proposed 5 Story  
Blended Use Commercial  
& Community Facility  
Building  
2579 East 17th St.  
Brooklyn, NY  
11235

PROJECT NO.: 14/15 DATE: 4/4/16  
TIME: 12:10:27 PM

SCALE: Refer to Plans DOB Application No.: 3336746

DRAWN BY: SBD Checked BY: RJP

SHEET TITLE:  
5th Fl. Plan

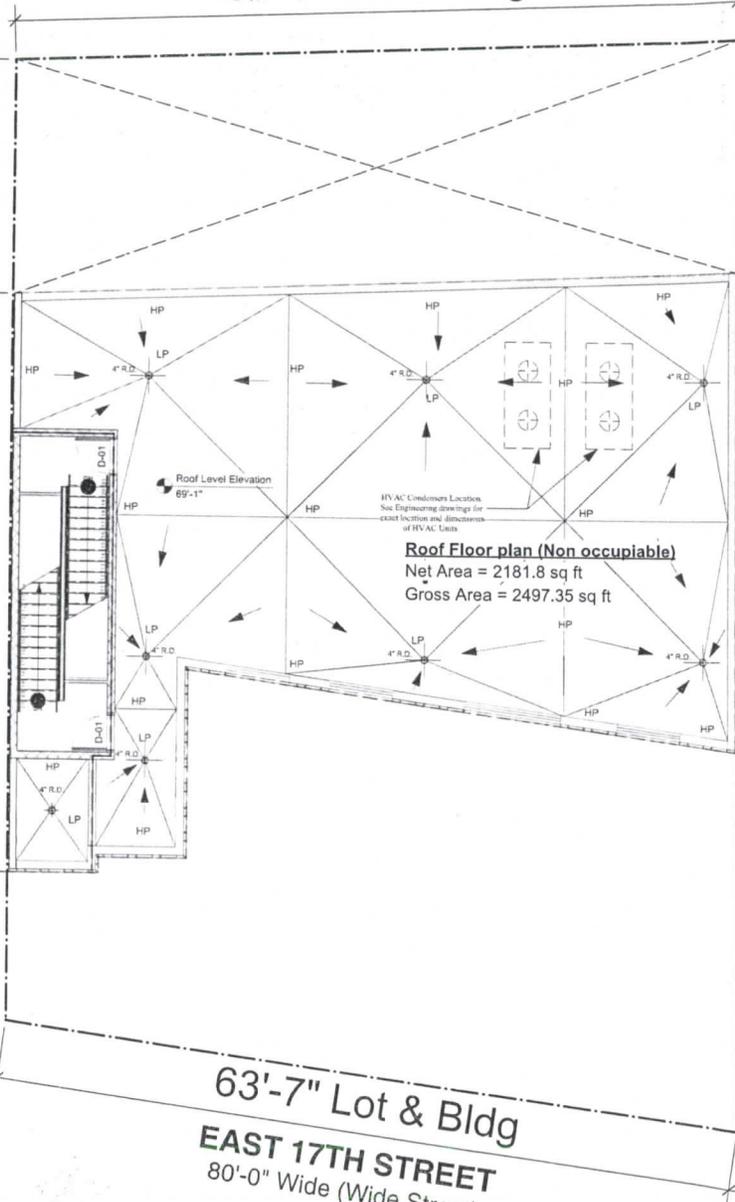
A010.00  
of  
18

DOB Job Sticker

63'-0" Lot & Bldg

82'-0" 1/4"  
20'-0"  
49'-4" Bldg  
12'-8"

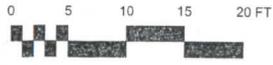
20'-0"  
41'-2" Bldg  
93'-6" Lot  
32'-3"



**Roof Floor plan (Non occupiable)**  
Net Area = 2181.8 sq ft  
Gross Area = 2497.35 sq ft

HVAC Condensers Location  
See Engineering drawings for  
exact location and dimensions  
of HVAC Units

Roof Level Elevation  
89'-1"



1 Roof Plan  
Scale: 3/32" = 1'-0"

63'-7" Lot & Bldg  
EAST 17TH STREET  
80'-0" Wide (Wide Street)



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PROJECT NO.: 14/15  
DATE: 4/4/16  
TIME: 12:10:27 PM

SCALE: Refer to Plans  
DOB Application No.: 3336746

DRAWN BY: SBD  
Checked BY: RJP

SHEET TITLE:  
Roof Plan

A011.00  
of  
18

DOB Job Sticker



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2579 East 17th St.  
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 11235

PROJECT NO.: 14/15  
 DATE: 4/4/16  
 TIME: 12:10:28 PM

SCALE: Refer to Plans  
 DOB Application No.: 3336746

DRAWN BY: SBD  
 Checked BY: RJP

SHEET TITLE:

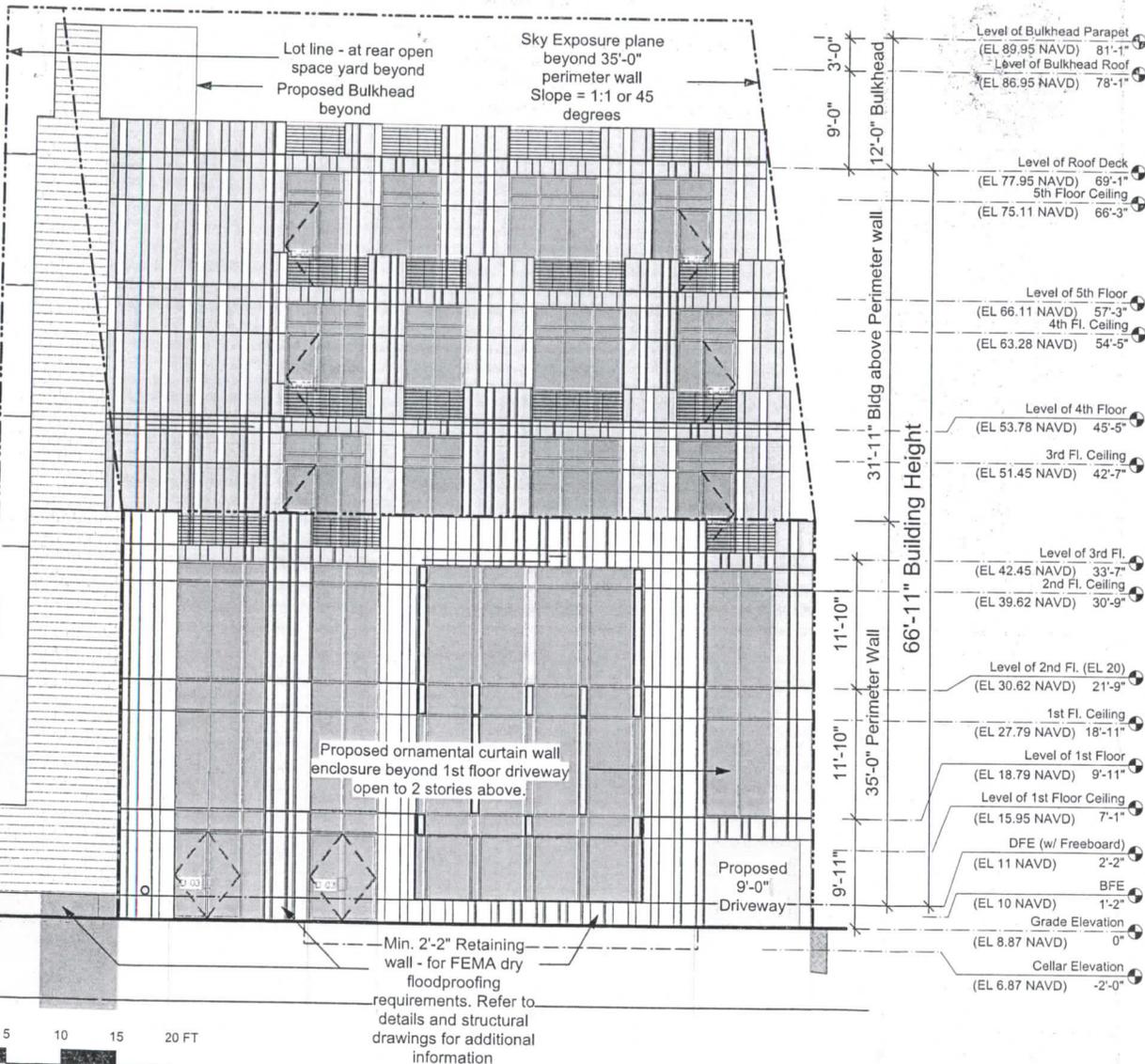
South Elevation

A012.00  
 of  
 18

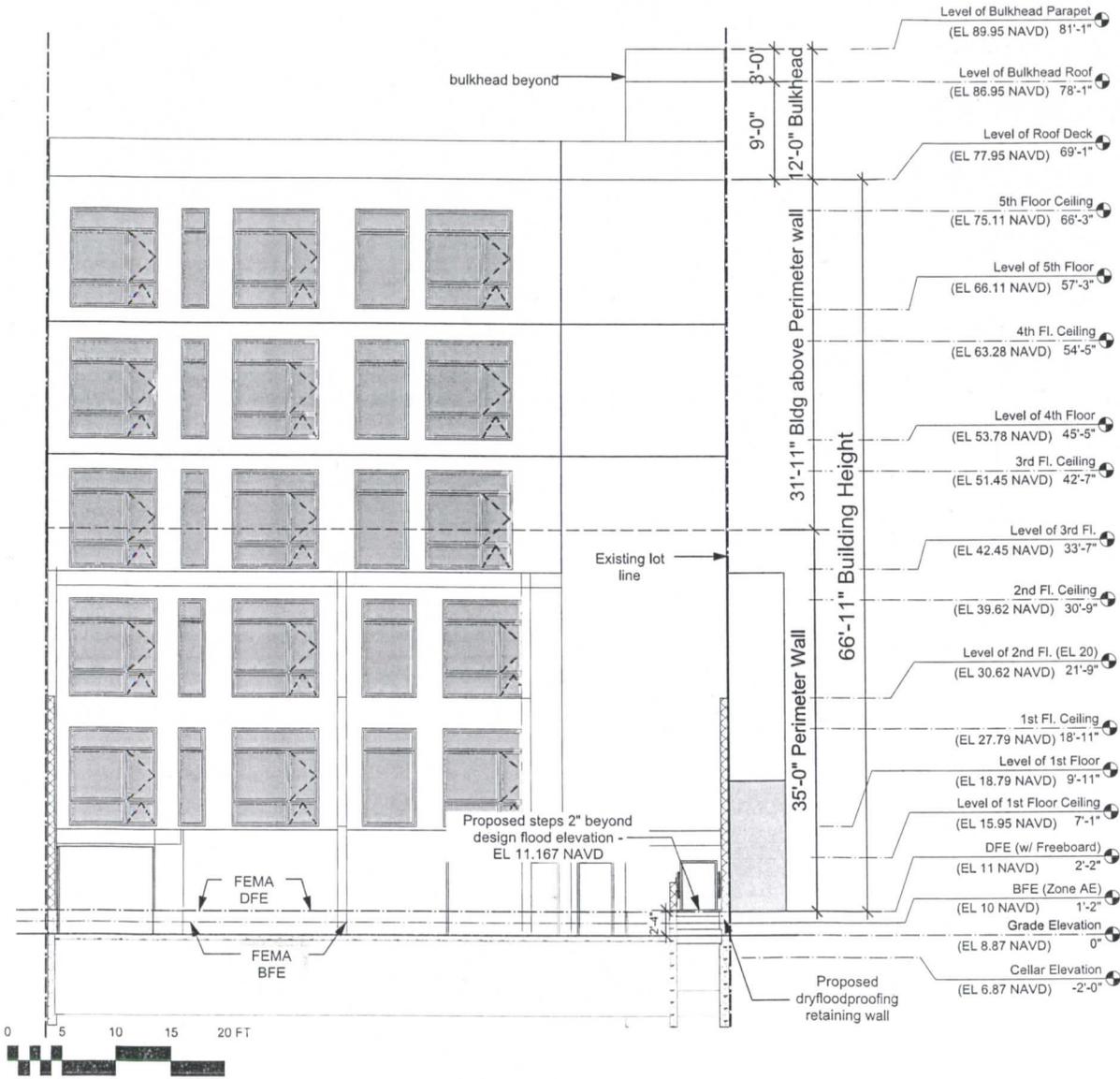
DOB Job Sticker

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1 South Elevation  
 Scale: 3/32" = 1'-0"



**BSA NOTES:**

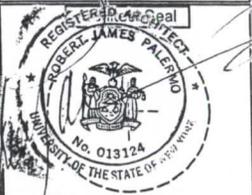
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 Blended Use Commercial  
 & Community Facility  
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 Brooklyn, NY  
 11235

PROJECT NO.: 14/15	DATE: 4/4/16 TIME: 12:10:46 PM
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SCALE: Refer to Plans	DOB Application No.: 3336746
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DRAWN BY: SBD	Checked BY: RJP
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SHEET TITLE:  
**North Elevation**

**A013.00**  
 of  
 18

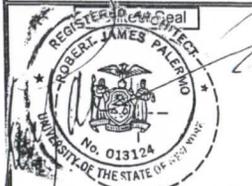
DOB Job Sticker

**2** North Elevation  
 Scale: 3/32" = 1'-0"



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PROJECT NO.: 14/15  
 DATE: 4/4/16  
 TIME: 12:10:53 PM

SCALE: Refer to Plans  
 DOB Application No.: 3336746

DRAWN BY: SBD  
 Checked BY: RJP

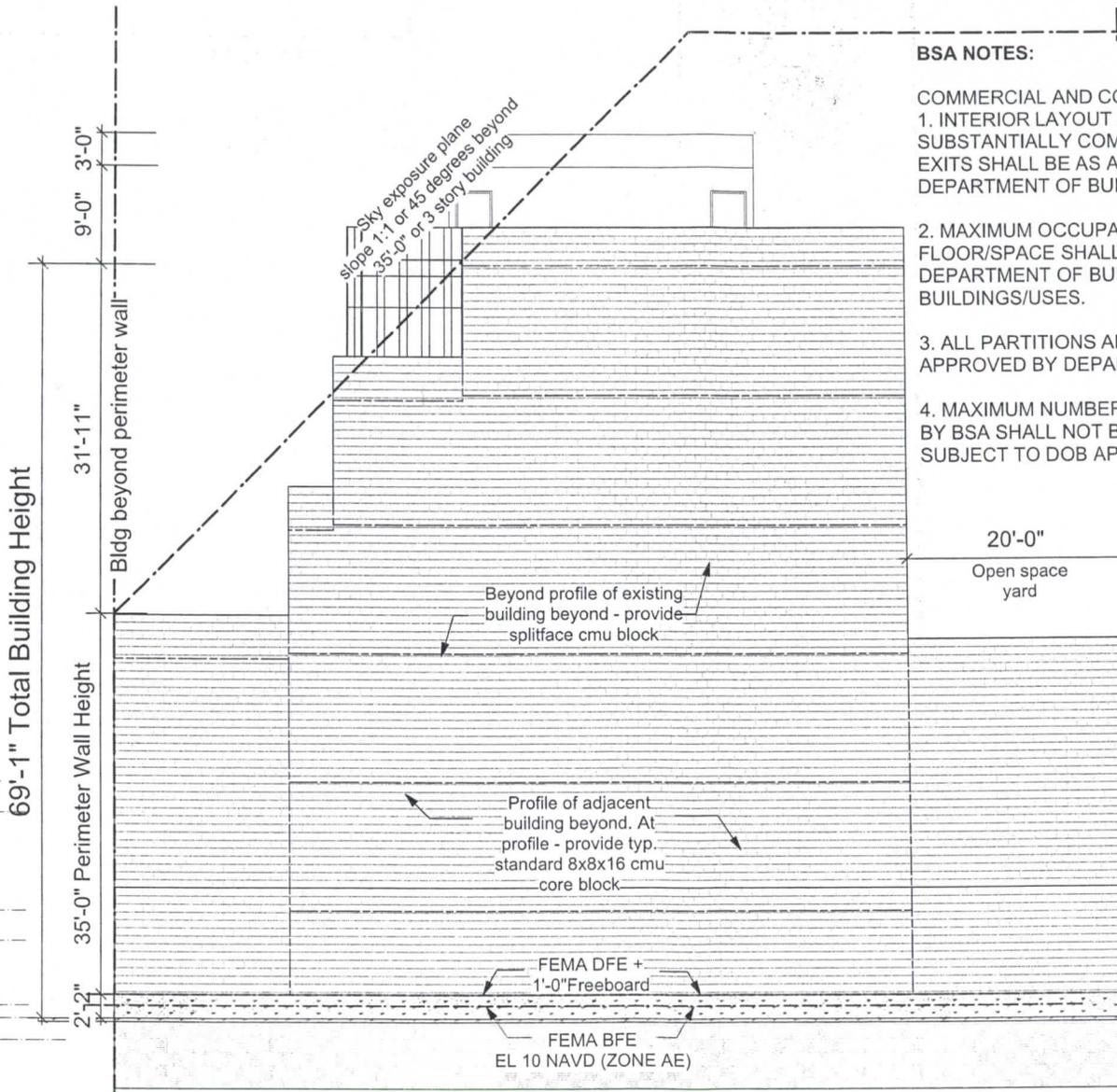
SHEET TITLE:  
 East Elevation

A014.00  
 of  
 18

DOB Job Sticker

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Level of Bulkhead Parapet  
 81'-1" (EL 89.95 NAVD)  
 Level of Bulkhead Roof  
 78'-1" (EL 86.95 NAVD)

Level of Roof Deck  
 69'-1" (EL 77.95 NAVD)  
 5th Floor Ceiling  
 66'-3" (EL 75.11 NAVD)

Level of 5th Floor  
 57'-3" (EL 66.11 NAVD)  
 4th Fl. Ceiling  
 54'-5" (EL 63.28 NAVD)

Level of 4th Floor  
 45'-5" (EL 53.78 NAVD)  
 3rd Fl. Ceiling  
 42'-7" (EL 51.45 NAVD)

Level of 3rd Fl.  
 33'-7" (EL 42.45 NAVD)  
 2nd Fl. Ceiling  
 30'-9" (EL 39.62 NAVD)

Level of 2nd Fl. (EL 20)  
 21'-9" (EL 30.62 NAVD)

1st Fl. Ceiling  
 18'-11" (EL 27.79 NAVD)

Level of 1st Floor  
 9'-11" (EL 18.79 NAVD)

Level of 1st Floor Ceiling  
 7'-1" (EL 15.95 NAVD)

DFE (w/ Freeboard)  
 2'-2" (EL 11 NAVD)

BFE  
 1'-2" (EL 10 NAVD)

Grade Elevation  
 0" (EL 8.87 NAVD)

Cellar Elevation  
 -2'-0" (EL 6.87 NAVD)

69'-1" Total Building Height

35'-0" Perimeter Wall Height

31'-11" Bldg beyond perimeter wall

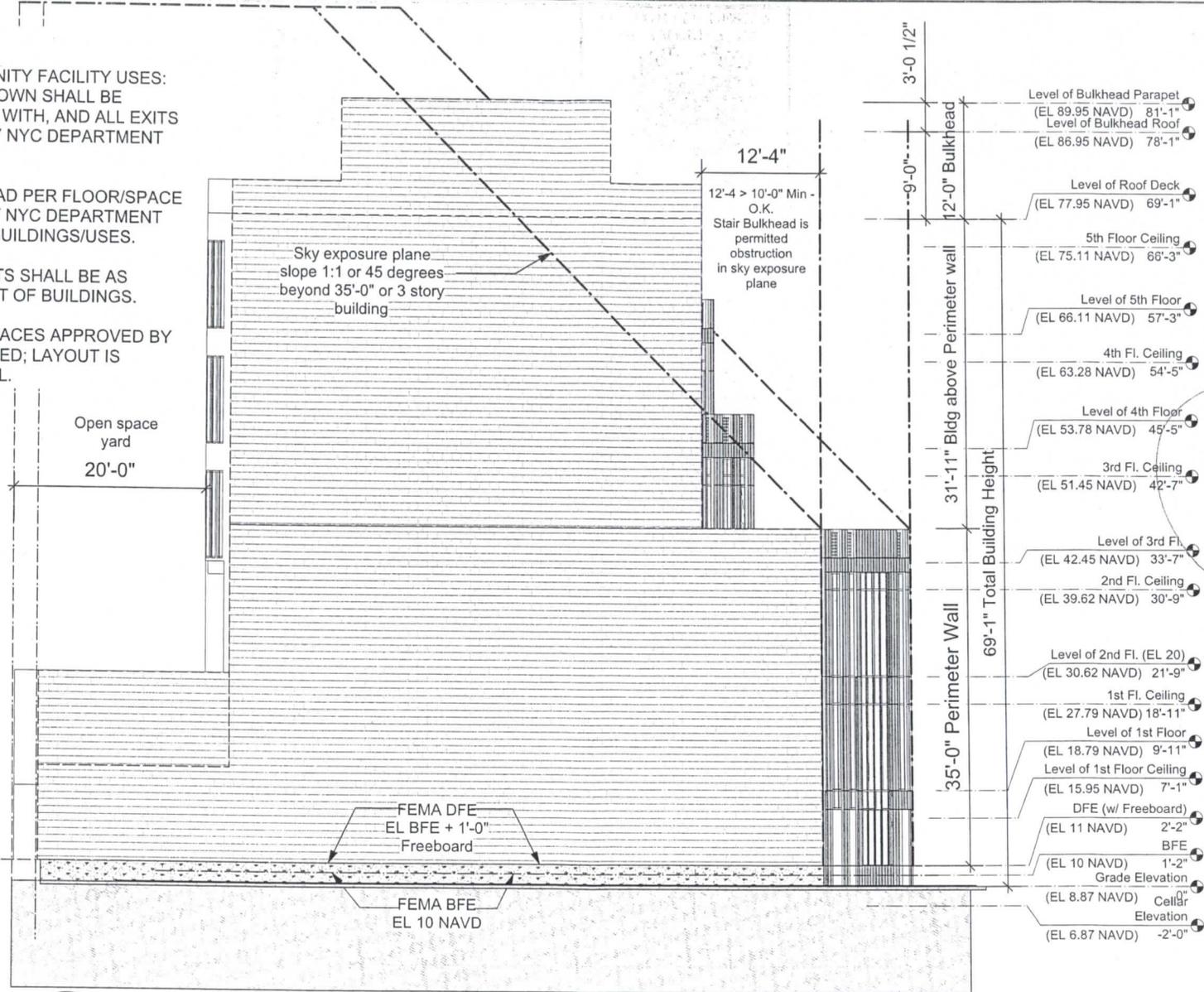
9'-0" 3'-0"

1 East Elevation  
 Scale: 3/32" = 1'-0"



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1

**West Elevation**  
Scale: 3/32" = 1'-0"



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2579 East 17th St.  
 Brooklyn, NY  
 11235

PROJECT NO.: 14/15 DATE: 4/4/16  
 TIME: 12:10:57 PM

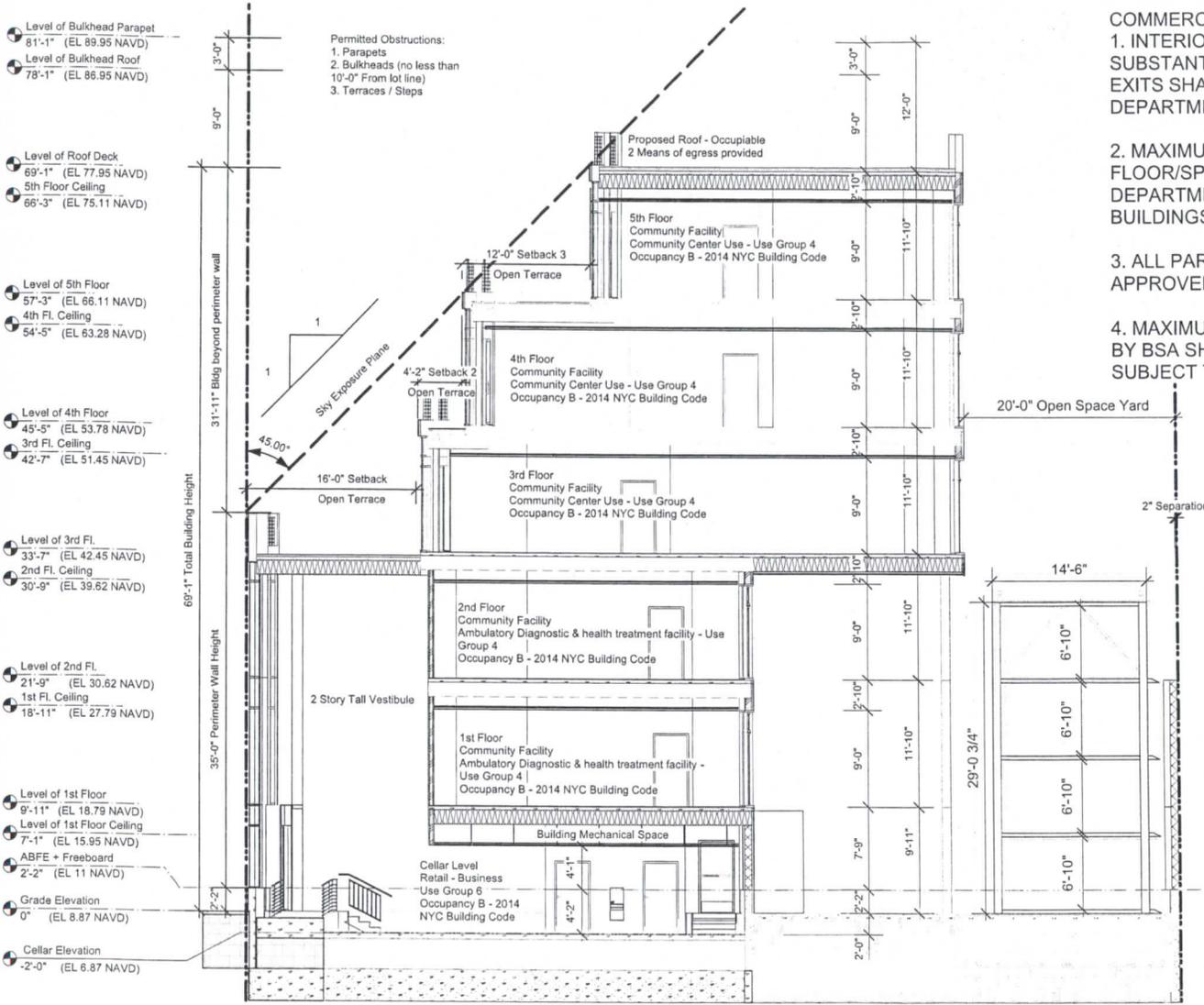
SCALE: Refer to Plans DOB Application No.: 3336746

DRAWN BY: SBD Checked BY: RJP

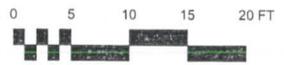
SHEET TITLE:  
**West Elevation**

A015.00  
 of  
 18

DOB Job Sticker



**1** Longitudinal Section 1  
Scale: 3/32" = 1'-0"



**BSA NOTES:**

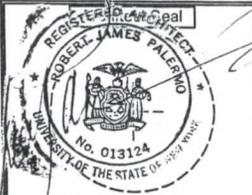
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PROJECT NO.: 14/15  
 DATE: 4/4/16  
 TIME: 12:10:58 PM

SCALE: Refer to Plans  
 DOB Application No.: 3336746

DRAWN BY: SBD  
 Checked BY: RJP

SHEET TITLE:  
**Section 1**

**A016.00**  
 of  
 18

DOB Job Sticker



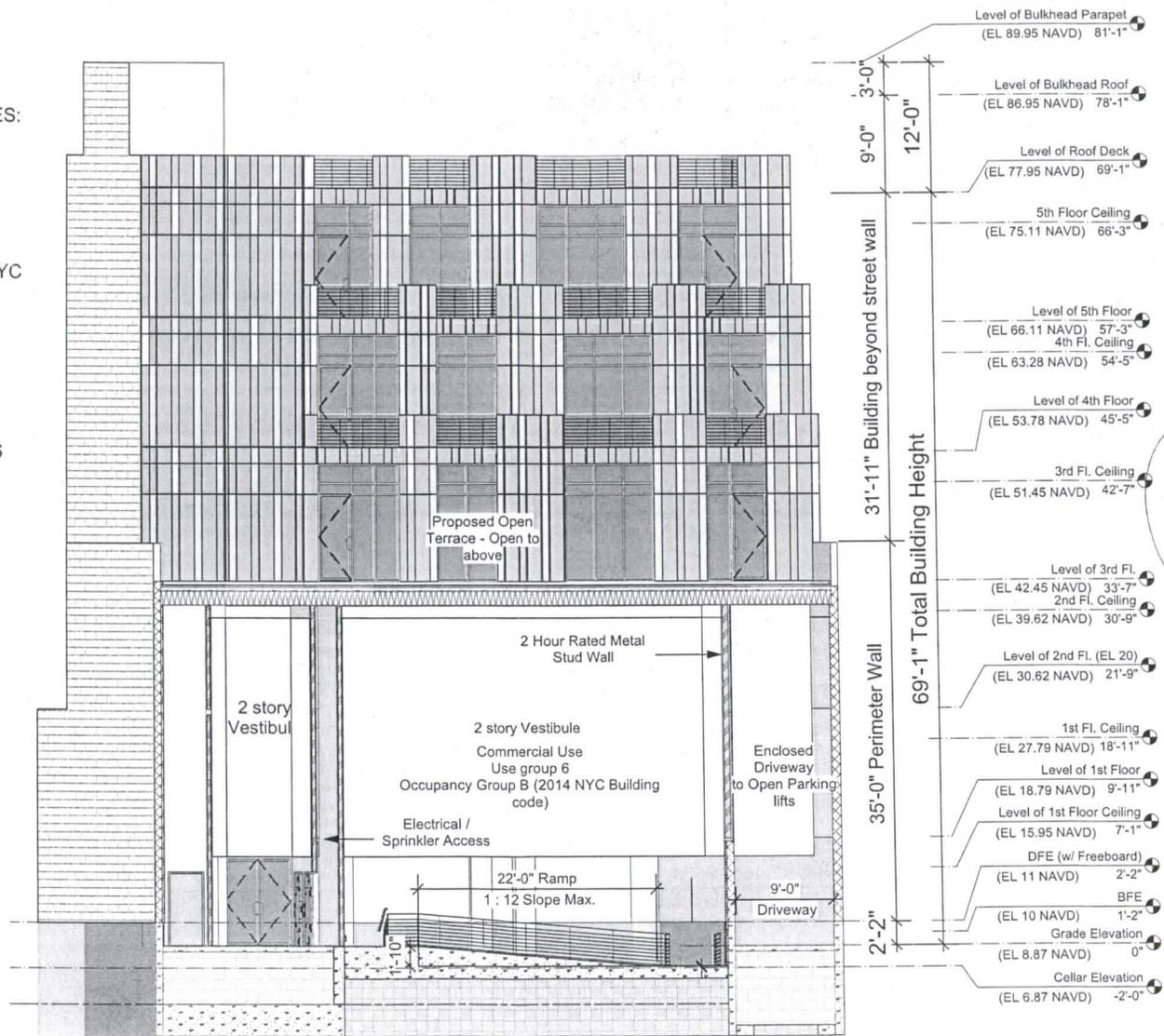
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**2** Latitudinal Section - 2 Story Vestibule  
 Scale: 3/32" = 1'-0"



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 TIME: 12:11:00 PM

SCALE: Refer to Plans  
 DOB Application No.: 3336746

DRAWN BY: SBD  
 CHECKED BY: RJP

SHEET TITLE:  
**Section 3**

A018.00  
 of  
 18

DOB Job Sticker

## PROPOSED PLANS

/D  
0° of Corner)  
ast17th Street

**ZONING**  
**ZR 12-10** ...  
Zone AE Ba ...  
ABFE = Flood ... 1'-0" Freeboard = 11'-0" NAVD

Grade Elevation at site =  $8.96 + 8.78 / 2 = EL 8.87$  NAVD Base  
Plane Grade Elevation = Base Plane  
BFE above grade =  
 $10' NAVD - 8.87' NAVD = 1.13'$  or  $1'-1.5"$  above grade  
Freeboard =  $11' NAVD - 8.87' NAVD = 2.13'$  ( $2'-1.5"$ ) above grade

**ZR 12-10 Floor Area Discounts / Deductions**

- a. Cellar space
- b. Elevator or stair bulkheads (at roof)
- c. Floor Space for Mechanical equipment / shafts
- d. Unusable / Inaccessible spaces 2 story high atrium (see commissioners reconsideration)
- e. Exterior wall thickness up to 8" area weighted average u-factor of all above grade exterior assemblies shall be more than 90 % of the prescribed requirements in NYCECC 2014.

**ZR 32-00 Use Regulations**

Allowable Use groups as per C8-1  
U.G. 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 16  
Proposed Uses  
Use Group 4 Ambulatory diagnostic or treatment health care facilities - PRC B1  
Use Group 6 Business Retail - PRC B1  
Use Group 4 - Ambulatory & Health Care treatment facility.

**ZR 33-122 Maximum Floor Area Ratio for Commercial buildings in all other Commercial districts**

Maximum Allowable Commercial FAR 1.0 FAR (refer to floor area charts for FAR summations - Drawing A002.00)

**ZR 33-123 Community Facility buildings and/or Community Facility / Commercial Blended Buildings**

Maximum Allowable FAR (blended) 2.4 FAR (refer to floor area charts for FAR Summations Drawing A002.00)

Total Commercial Retail Area (U.G. 6) = 648 sq. ft.  
Total Community Facility - Community Center Area (U.G. 4) = 8,823.06 sq. ft.  
Total Ambulatory Diagnostic and Health Treatment Facility Area (U.G. 4) = 4,504.94 sq. ft.  
Total Proposed Gross Area = 13,975.99 sq. ft.

Deductions, Additional Wall Insulation and Mechanical spaces - Refer to A002/3.00 - Floor Plate Summations  
Deductions:

Total Additional Wall Insulation (Z.R. 12-10) = 776.6 S.F.  
Refer to A004.00/A005.00  
Total Publicly Accessible Entryways (Z.R.64-312) = 100 S.F.  
Total discounts = 1176.61 S.F.

**Final Proposed Area with Deductions**

3,975.99 S.F. - 1,176.61 S.F. =  
2,799.38 S.F. < 13,258.72 S.F. Allowable - O.K.  
See Floor Area Charts/Deductions on sheet A002.00

**ZR 33-23 Permitted Obstructions in Yards**

In any Yard (or rear yard equivalent): Allowable & Proposed Permitted Obstructions:  
1. Awnings, screening and other sun control devices shall.  
a. Be limited to a projection of 2'-6"  
b. Solid surfaces shall not cover more than 30% of the area of the building wall  
2. Exterior wall thickness (up to 8")  
3. Quad Lifts used for accessory offstreet parking  
4. Terraces of open porches

**ZR 33-25 Required side yards**

No side yards are required. If provided min side yard shall be 8'-0" in depth.  
Proposed Side yards 0'-0" (No Yards Req'd) O.K.

**ZR 33-26 Min. Required Rear Yards**

Minimum required rear yards = 20'-0"  
No rear yard req'd because site is within 100'-0" of corner (See ZR 33-301)  
Proposed Open space yard = 20'0" building is within 100'-0" of corner Avenue Z and East 17th street. See ZR 33-261 and Plot Plan.

**ZR 33-301 Within one hundred feet of corners**

No rear yards shall be required within 100'-0" of the point of intersection of two street lines intersecting at an angle of 135 degrees or less.  
Intersection of Ave Z and East 17th = 90 degrees < 135 degrees O.K.  
Lot depth =  $93'-6" < 100'-0"$  O.K.  
Distance from Avenue Z =  $31'-11" + 63'-7"$  Lot Width =  $95'-6" < 100'-0"$  O.K. No rear Yard is required. 20'-0"  
Open space yard is provided for distance between lot line and windows.

**ZR 33-40 Height and setback regulations**

**ZR 33-42 Permitted Obstructions in Height**  
F. Elevator or stair bulkheads including shafts and vestibules not larger than 60 s.f. at roof)  
Proposed Bulkhead is 12'-0" away from lot line. 12'-0" is greater than 10'-0" min. - O.K.  
1) Bulkhead is not within 10'-0" of Street wall  
2) Mechanical Units not within 10'-0" of street wall  
3) Proposed Bulkhead is a permitted obstruction beyond 10'-0" - and is applicable to this sub paragraph  
Total Building Street Wall - 637"  
Permitted Area =  $8 \times 63'-7" = 508.7$  s.f.

**Proposed Bulkhead within the permitted sky exposure plane to the roof level:**

Width of bulkhead = 15'5"  
Height above the 3rd floor terrace = 18'-7" (Including parapet)  
Area of Proposed Bulkhead to the roof level =  $15'-5" \times 18'-7" = 286.493$  sq. ft.

**ZR 33-432 Maximum Height of walls and required setbacks in other commercial districts**

East 17th Street = 80 ft wide Existing wide street  
Allowable Maximum Perimeter wall = In C8-1 Districts For blended community facility and commercial buildings maximum height of front wall shall be 35'-0" or 3 stories  
Proposed Perimeter wall = 35'-0" and 3 stories O.K.  
Min. Initial setback distance (on wide street)  
Required perimeter wall Setback = 15'-0"  
Proposed perimeter wall setback = 16'-0" > 15'-0" - O.K.  
Maximum Sky Exposure plane = 1:1 slope / 45 degrees  
Proposed Sky Exposure Plane = 1:1 slope or 45 degrees

**ZR 33-432 Maximum Height of walls (cont'd)**

Measurement from base plane Yes \*  
Measurement from baseplane / flood plane is allowable as per ZR 76- provided that regulations for wet or dry floodproofing as per Article G of NYC Building Code are adhered to.

**64-131 Measurement of Height**

All measurements of height above #curb level#, #base plane#, #base flood elevation#, grade, or other similar ground related datum, shall be from the #flood-resistant construction elevation#  
Base Flood Elevation = 10 NAVD = 1.13' Above Grade  
Freeboard Elevation = 11 NAVD = 2.13' Above Grade

**64-312 Entryways in all other buildings**

For all #buildings# other than #single-# and #two-family residences#, with enclosed publicly accessible entryways below #flood-resistant construction elevation#, up to 100 square feet of such entryways may be excluded from the definition of #floor area# for each foot of difference between the #lowest occupiable floor# and #curb level#. This area may be excluded from the definition of #floor area# provided it is not greater than the total area at each publicly accessible entryway of ramps, stairs, lifts and elevators plus an initial entry area of no more than 100 square feet for each entryway.

Level below grade = 2'-0"  
Number of entryways to building 2  
Allowable deduction per 1'-0" distance between grade and cellar = 100 s.f.

Total Discounted Area = 2'-0" (below curb level) x 2 entryways x 100 s.f. = 400 s.f.

**64-323 Flood panels in required yards and open space**

Temporary flood control devices and associated emergency egress systems that are assembled prior to a storm and removed thereafter shall be permitted obstructions in #yards# and #rear yard equivalents#, #courts#, #open space#, #waterfront yards# as defined in Article VI, chapter 2, #public plazas# and all other publicly accessible open areas during such storm event and for a reasonable period prior to and after such storm event, as determined by the Department of Buildings.

Applicant shall provide 3'-0" bulkhead at perimeter of building and lot. All entryways to building and rear yard shall have flood gates installed.

**ZR 36-21 Required accessory off-street parking spaces for commercial and community facility uses**

Proposed Uses  
U.G. 4 Ambulatory diagnostic or treatment health care facilities 1 per 300 in C8-1  
Total Stalls Proposed = 24 stalls (See chart on A002.00)  
U.G. 6- Commercial Offices U.G. 6 - PRC-B 1 per 300 in C8-1  
Total Stalls Proposed=12 stalls (See chart on A002.00)

Total Required Parking Spaces = 48 Stalls  
Total Proposed Parking Spaces = 24 Stalls

See A002.00 For 73-44 Special Permit Reduction in Parking for Community facility or Commercial office uses required for parking reduction pursuant to special permit

**ZR 36-711 - Bicycle Parking Requirements**

A. Commercial Bicycle Parking (UG 6) = 1 Per 10,000 S.F.  
1 Required  
B. Community Facility - Community Center Bicycle Parking (UG 4) - 1 Per 10,000 S.F.  
1 Required  
C. Community Facility - Ambulatory & Health Care Treatment Facility - 1 Per 10,000 S.F.  
1 Required  
Total Required - 3 Bicycle Spaces Required.

**Bicycle Parking Waiver**

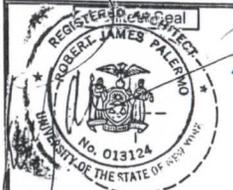
However, the bicycle parking requirements set forth in the table shall be waived for bicycle parking spaces that are accessory to (d) all other #community facility# or #commercial uses# not otherwise listed in the table where the number of required bicycle parking spaces is three or less.  
3 Required = 3 to be waived. - O.K.

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Robert James Palermo  
NY State License  
No. 013124

Proposed 5 Story  
Blended Use Commercial  
& Community Facility  
Building

2579 East 17th St.  
Brooklyn, NY  
11235

PROJECT NO.: 14/15 DATE: 4/4/16  
TIME: 12:27:57 PM

SCALE: Refer to Plans DOB Application No.: 3336746

DRAWN BY: SBD Checked BY: RJP

SHEET TITLE:

Zoning Text

A001.00  
of  
18

DOB Job Sticker

**SPECIAL PERMIT**

**ZR 73-44 : REDUCTION OF PARKING SPACES:**

**I - Required Parking Requirements**

1. REQUIRED PARKING FOR COMMUNITY FACILITY AMBULATORY DIAGNOSTIC AND HEALTH TREATMENT FACILITY AS OF RIGHT : 24 STALLS
2. REQUIRED PARKING FOR COMMERCIAL OFFICES AS OF RIGHT : 24 STALLS
3. TOTAL REQUIRED PARKING AS OF RIGHT : 48 STALLS
4. TOTAL PARKING PROVIDED : 24 STALLS

**II - Parking Requirements Pursuant to Special Permit :**

1. REQUIRED PARKING FOR COMMUNITY FACILITY AMBULATORY DIAGNOSTIC AND HEALTH TREATMENT FACILITY PURSUANT TO SPECIAL PERMIT: 12 SPACES
2. REQUIRED PARKING FOR COMMERCIAL OFFICES AS OF RIGHT : 12 STALLS
3. TOTAL REQUIRED PARKING AS OF RIGHT : 24 STALLS
4. TOTAL PARKING PROVIDED : 24 STALLS

**BSA NOTES:**

**COMMERCIAL AND COMMUNITY FACILITY USES:**

- INTERIOR LAYOUT AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE AS APPROVED BY NYC DEPARTMENT OF BUILDINGS.
- MAXIMUM OCCUPANT LOAD PER FLOOR/SPACE SHALL BE AS APPROVED BY NYC DEPARTMENT OF BUILDINGS ALL OTHER BUILDINGS/USES.
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**F.A.R REQUIREMENTS (Maximum Allowable)**

Zone	Use	Lot Area	Community Facility	Commercial FAR	Total Permitted Floor Area
C8-1	Commercial	5524.335	-	1	5,524.34
	Community Facility	5524.335	2.4	-	13,258.40
	<b>Total Allowable</b>	<b>5524.335</b>	<b>2.4</b>		<b>13,258.40</b>

**Notes**

1. For Lot Area and Building Area Take Offs - Refer to Lot Area Takeoff Chart on A002.00
2. Floor area considerations only reflect Zoning requirements per use. No deductions or proposed areas are included in this Chart.

**Floor Area Deduction Summary**

Floor	Perimeter wall length above grade	Additional Wall Insulation <sup>1</sup>	Enlosed Publicly accessible entryways <sup>2</sup>	Mechanical / Electrical / Sewage Access	Total Floor Area Waived
Cellar	. ' ft	'ft <sup>2</sup>	0.00	0.00	0.00
Grade	160. ' ft	93.21 'ft <sup>2</sup>	400	142.90	636.11
1 <sup>st</sup> Floor	223.75 ' ft	127.56 'ft <sup>2</sup>	-	0.00	127.56
2 <sup>nd</sup> Floor	223.75 ' ft	127.56 'ft <sup>2</sup>	-	0.00	127.56
3 <sup>rd</sup> Floor	373.5 ' ft	215.85 'ft <sup>2</sup>	-	0.00	215.85
4 <sup>th</sup> Floor	186.67 ' ft	107.19 'ft <sup>2</sup>	-	0.00	107.19
5 <sup>th</sup> Floor	186.75 ' ft	105.25 'ft <sup>2</sup>	-	0.00	105.25
<b>Total</b>	<b>1,354 ' ft</b>	<b>776.61 'ft<sup>2</sup></b>	<b>400</b>	<b>142.90</b>	<b>1319.51</b>

**PROPOSED ZONING CALCULATIONS**

Floor	Use	U.G.	Floor Area (Gross)	Deduction (see chart below)	Floor Area (Net) (w/ waivers)	FAR	Required Parking Requirement	BSA Parking Waiver with ZR 73 44	Proposed Countable Parking Area (Net w/ deductions)	Parking Category	Total Parking Required (As of Right)	Total Parking Required as per Special Permit
Cellar	Parking Garage	-	3,133.69	0.00	0.00	0	None	0	0	N/A	0	0.00
Cellar	Commercial - Offices	6	1,763.42	1,763.42	0.00	0.0000	1/300	1/600	1,763.42	B1	6	2.94
Grade	Accessory Entry Corridor	-	627.23	627.23	0.00	0.0000	1/300	1/600	0.00	N/A	0	0.00
1 <sup>st</sup> Floor	Ambulatory Diagnostic & Treatment Health care Facility	4	2,252.47	127.56	2,124.91	0.3846	1/300	1/600	2,124.91	B1	7	3.54
2 <sup>nd</sup> Floor	Ambulatory Diagnostic & Treatment Health care Facility	4	2,252.47	127.56	2,124.91	0.3846	1/300	1/600	2,124.91	B1	7	3.54
3 <sup>rd</sup> Floor	Ambulatory Diagnostic & Treatment Health care Facility	4	3,260.92	215.85	3,045.07	0.5512	1/300	1/600	3,045.07	B1	10	5.08
4 <sup>th</sup> Floor	Commercial - Offices	6	3,062.60	107.19	2,955.41	0.5350	1/300	1/600	2,955.41	B1	10	4.93
5 <sup>th</sup> Floor	Commercial - Offices	6	2,499.54	105.25	2,394.29	0.4334	1/300	1/600	2,394.29	B1	8	3.99
<b>Total</b>	Commercial - Offices	6	7,325.56	1,975.85	5,349.70	0.9684	1/300	1/600	5,349.70	B1	23.71	11.86
<b>Total</b>	Ambulatory Diagnostic & Treatment Health care Facility	4	8,393.09	1,098.19	7,294.90	1.3205	1/300	1/600	7,294.90	B1	24.32	12.16
<b>Total</b>	<b>Building</b>		<b>15,718.65</b>	<b>3,074.05</b>	<b>12,644.60</b>	<b>2.29</b>	<b>ALL Parking Requirements</b>		<b>12,644.60</b>	<b>ALL USES</b>	<b>48</b>	<b>24</b>

**NOTES:**

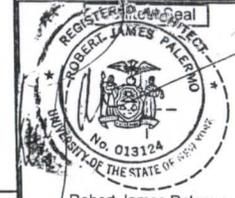
1. (') Denotes reduction in full floor areas at the cellar level where the entire floor area is not counted toward net or zoning floor area.

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Proposed 5 Story  
 Blended Use Commercial  
 & Community Facility  
 Building  
 2579 East 17th St.  
 Brooklyn, NY  
 11235

PROJECT NO.: 14/15  
 DATE: 4/4/16  
 TIME: 12:27:58 PM

SCALE: Refer to Plans  
 DOB Application No.: 3336746

DRAWN BY: SBD  
 CHECKED BY: RJP

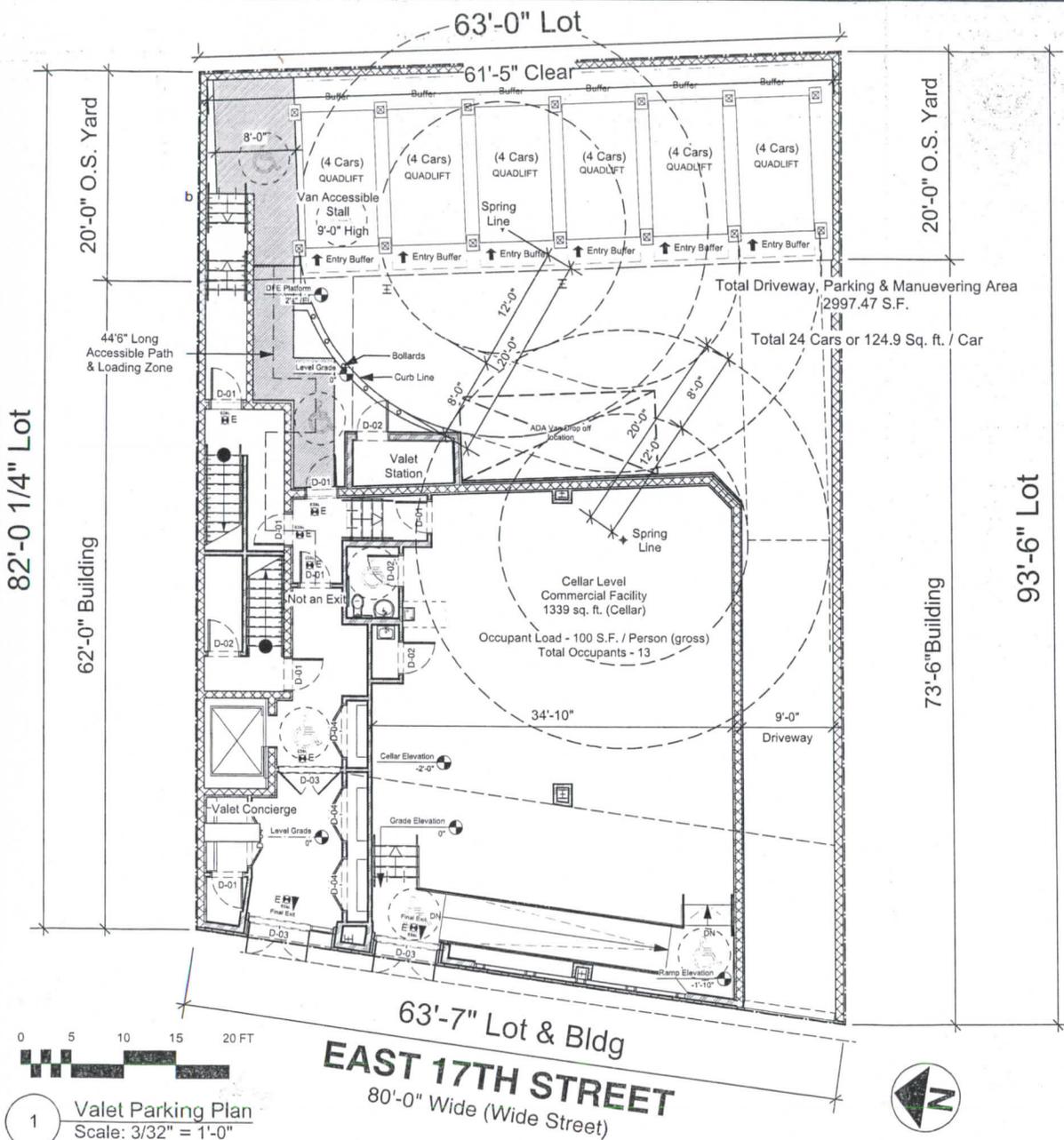
SHEET TITLE:

Proposed BSA Zoning  
 & Parking Summations

A002.00  
 of  
 18

DOB Job Sticker





82'-0 1/4" Lot

63'-0" Lot

20'-0" O.S. Yard

93'-6" Lot

63'-7" Lot & Bldg  
**EAST 17TH STREET**  
 80'-0" Wide (Wide Street)

**BSA NOTES:**

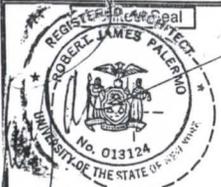
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SCALE: Refer to Plans  
 DOB Application No.: 3336746

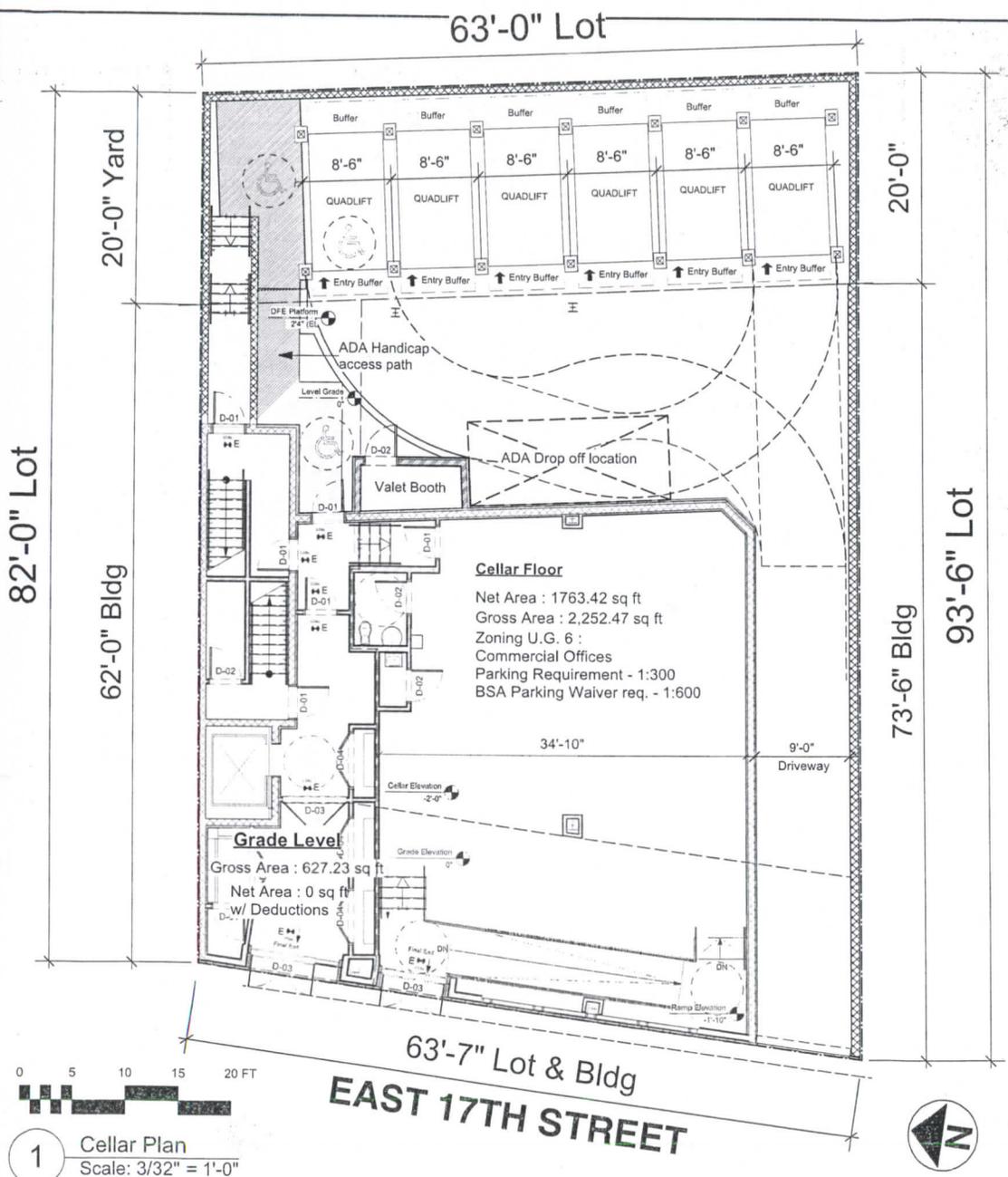
DRAWN BY: SBD  
 Checked BY: RJP

SHEET TITLE:  
**Parking Plan**

A004.00  
 of  
 18

DOB Job Sticker

1 Valet Parking Plan  
 Scale: 3/32" = 1'-0"



63'-0" Lot

20'-0" Yard

82'-0" Lot

62'-0" Bldg

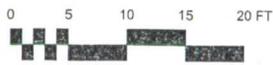
20'-0"

73'-6" Bldg

93'-6" Lot

63'-7" Lot & Bldg

EAST 17TH STREET



1 Cellar Plan  
Scale: 3/32" = 1'-0"



**BSA NOTES:**

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SCALE: Refer to Plans	DOB Application No.: 3336746
DRAWN BY: SBD	Checked BY: RJP

SHEET TITLE:  
 Cellar Plan

A005.00  
 of  
 18

DOB Job Sticker

63'-0" Lot & Bldg

20'-0"

20'-0"

40'-0"

93'-6" Lot

73'-6" Bldg

36'-4"

17'-1"

82'-0"

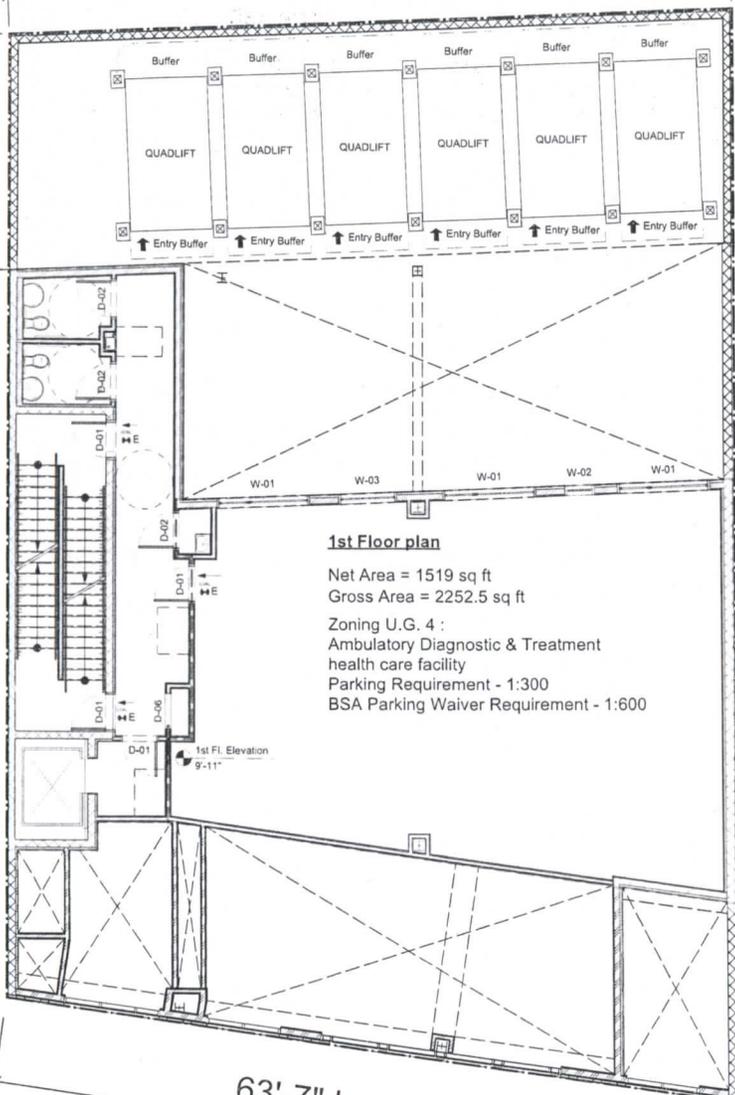
62'-0" Bldg

63'-7" Lot & Bldg

**EAST 17TH STREET**

**BSA NOTES:**

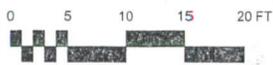
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**1st Floor plan**

Net Area = 1519 sq ft  
 Gross Area = 2252.5 sq ft  
 Zoning U.G. 4 :  
 Ambulatory Diagnostic & Treatment  
 health care facility  
 Parking Requirement - 1:300  
 BSA Parking Waiver Requirement - 1:600

1st Fl. Elevation  
 9'-11"



1 1st Floor Plan  
 Scale: 3/32" = 1'-0"

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 11235

PROJECT NO.: 14/15 DATE: 4/4/16  
 TIME: 12:28:01 PM

SCALE: Refer to Plans DOB Application No.: 3336746

DRAWN BY: SBD CHECKED BY: RJP

SHEET TITLE:  
 1st Fl. Plan  
 A006.00  
 of 18

DOB Job Sticker

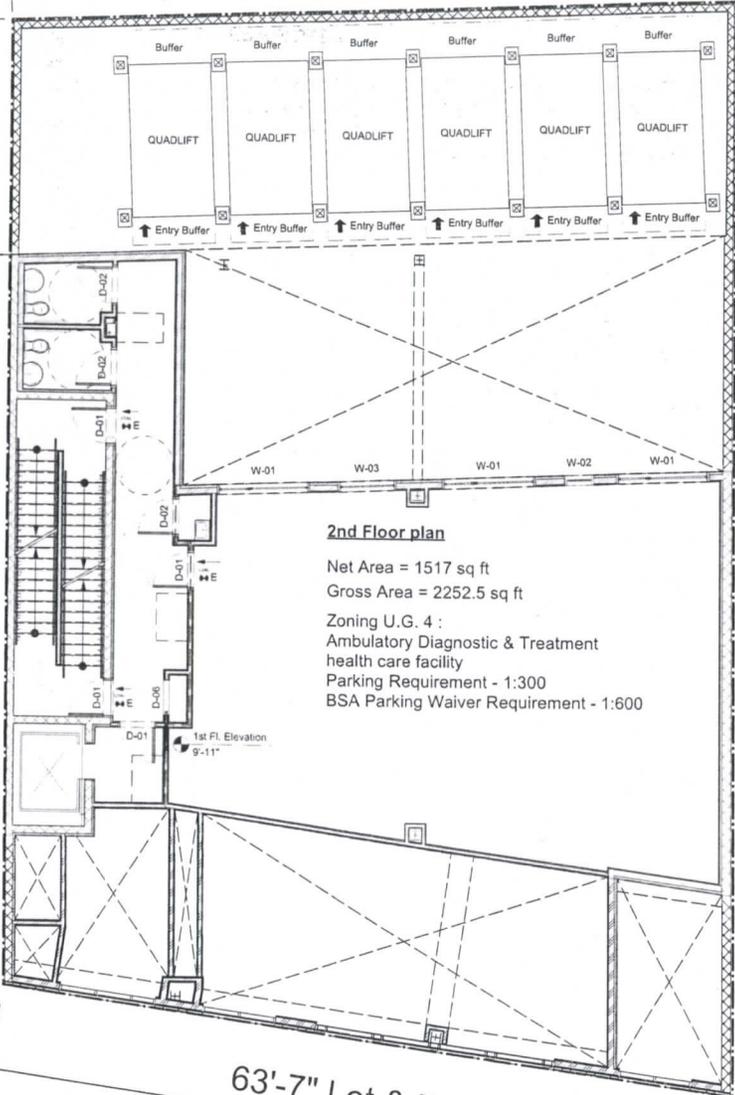
63'-0" Lot & Bldg

82'-0" Lot

20'-0" Yard

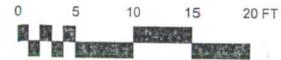
49'-4" Bldg

12'-8"



**2nd Floor plan**

Net Area = 1517 sq ft  
 Gross Area = 2252.5 sq ft  
 Zoning U.G. 4 :  
 Ambulatory Diagnostic & Treatment  
 health care facility  
 Parking Requirement - 1:300  
 BSA Parking Waiver Requirement - 1:600



1 2nd Floor Plan  
 Scale: 3/32" = 1'-0"

63'-7" Lot & Bldg  
**EAST 17TH STREET**



20'-0" Yard

20'-0"

36'-3"  
 73'-6" Bldg

17'-2"

93'-6" Lot

**BSA NOTES:**

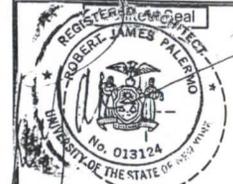
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PROJECT NO.: 14/15 DATE: 4/4/16  
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SCALE: Refer to Plans DOB Application No.: 3336746

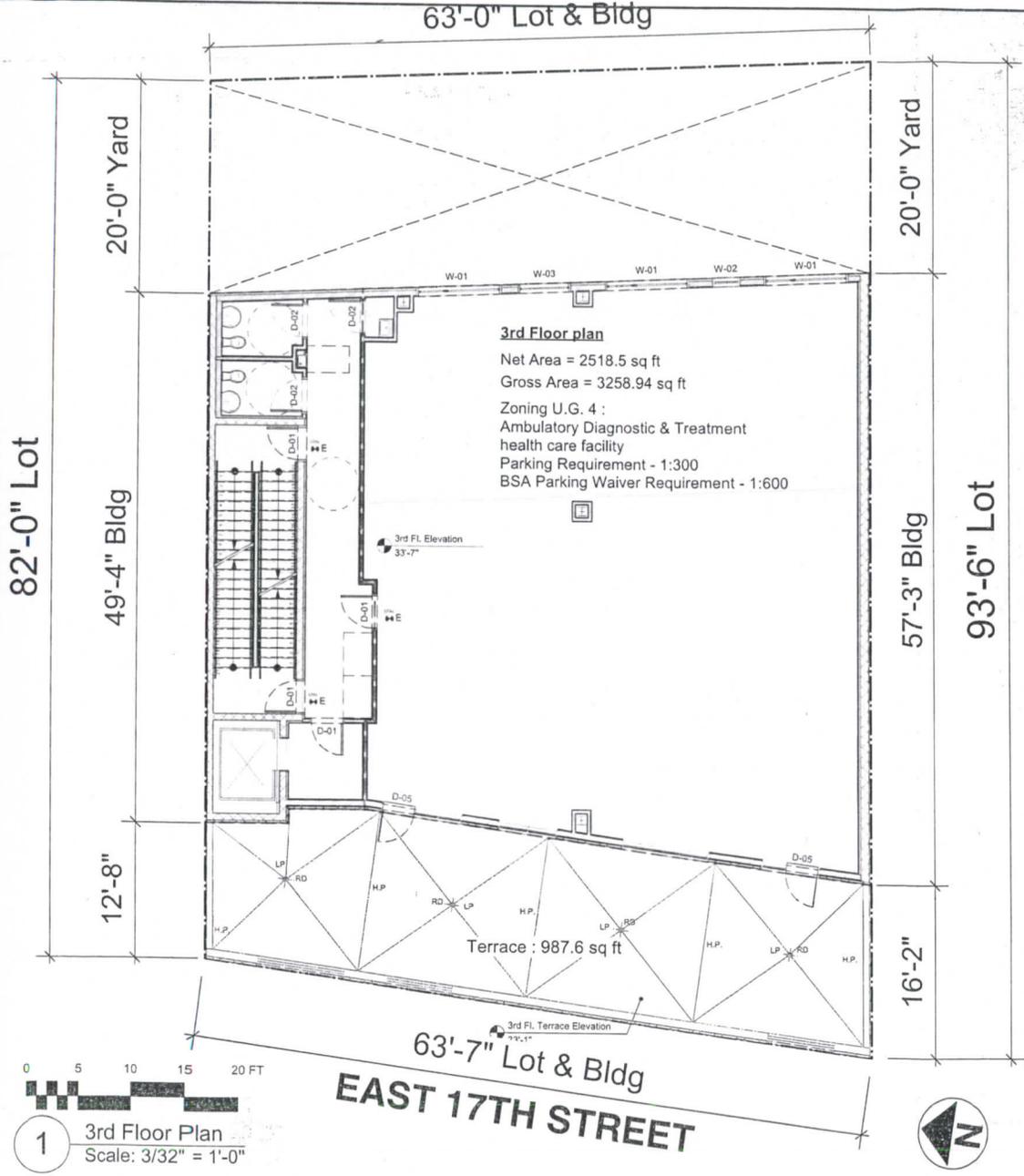
DRAWN BY: SBD Checked BY: RJP

SHEET TITLE:

2nd Fl. Plan

A007.00  
 of  
 18

DOB Job Sticker



**BSA NOTES:**

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Robert James Palermo  
 NY State License  
 No. 013124

Proposed 5 Story  
 Blended Use Commercial  
 & Community Facility  
 Building  
 2579 East 17th St.  
 Brooklyn, NY  
 11235

PROJECT NO.: 14/15  
 DATE: 4/4/16  
 TIME: 12:28:02 PM

SCALE: Refer to Plans  
 DOB Application No.: 3336746

DRAWN BY: SBD  
 Checked BY: RJP

SHEET TITLE:  
 3rd Fl. Plan

A008.00  
 of  
 18

DOB Job Sticker

63'-0" Lot & Bldg

20'-0" Yard

20'-0" Yard

82'-0" Lot

49'-4" Bldg

53'-2" Bldg

93'-6" Lot

12'-8"

4'-2" Terrace

16'-2"

63'-7" Lot & Bldg

EAST 17TH STREET

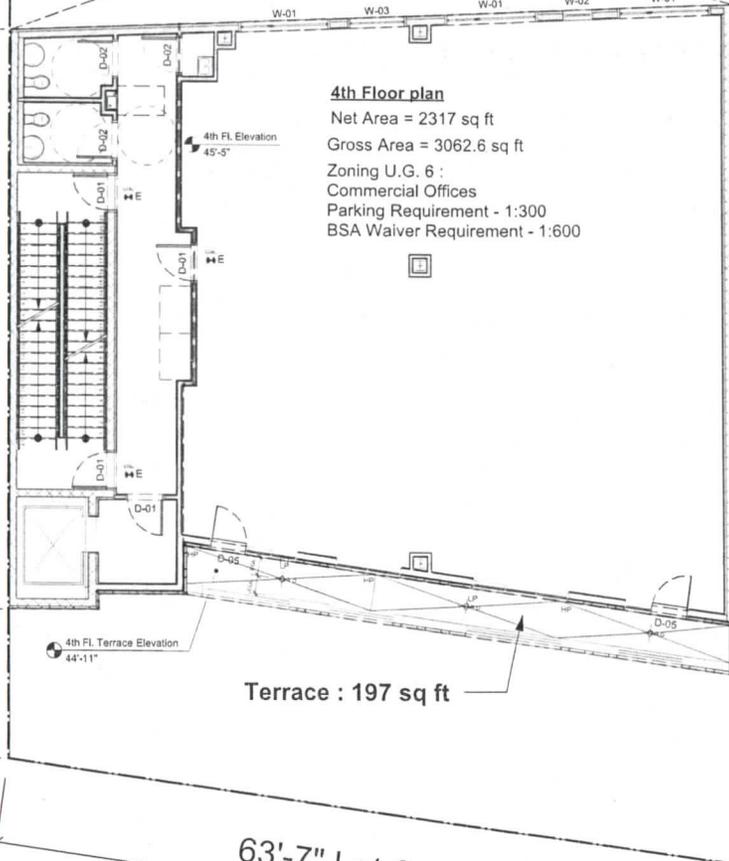
**BSA NOTES:**

COMMERCIAL AND COMMUNITY FACILITY USES:  
1. INTERIOR LAYOUT AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE AS APPROVED BY NYC DEPARTMENT OF BUILDINGS.

2. MAXIMUM OCCUPANT LOAD PER FLOOR/SPACE SHALL BE AS APPROVED BY NYC DEPARTMENT OF BUILDINGS ALL OTHER BUILDINGS/USES.

3. ALL PARTITIONS AND EXITS SHALL BE AS APPROVED BY DEPARTMENT OF BUILDINGS.

4. MAXIMUM NUMBER OF SPACES APPROVED BY BSA SHALL NOT BE EXCEEDED; LAYOUT IS SUBJECT TO DOB APPROVAL.



**4th Floor plan**  
Net Area = 2317 sq ft  
Gross Area = 3062.6 sq ft  
Zoning U.G. 6 :  
Commercial Offices  
Parking Requirement - 1:300  
BSA Waiver Requirement - 1:600

Terrace : 197 sq ft

0 5 10 15 20 FT

1 4th Floor Plan  
Scale: 3/32" = 1'-0"

**CORPORATE DESIGN OF AMERICA, P.C.**



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Brooklyn, NY  
11235

PROJECT NO.: 14/15  
DATE: 4/4/16  
TIME: 12:28:03 PM

SCALE: Refer to Plans  
DOB Application No.: 3336746

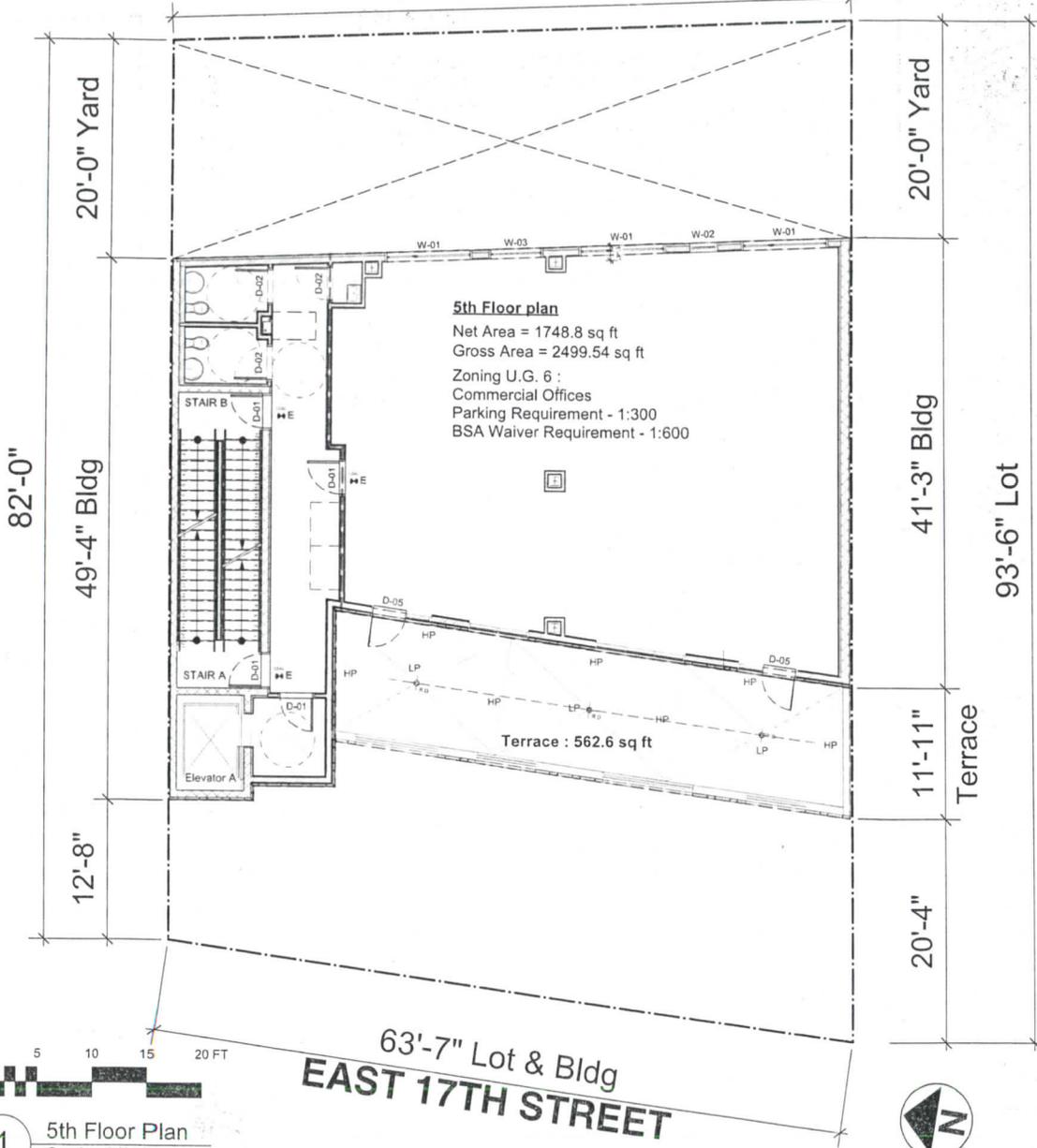
DRAWN BY: SBD  
Checked BY: RJP

SHEET TITLE:  
4th Fl. Plan

A009.00  
of  
18

DOB Job Sticker

63'-0" Lot & Bldg



**5th Floor plan**

Net Area = 1748.8 sq ft  
 Gross Area = 2499.54 sq ft  
 Zoning U.G. 6 :  
 Commercial Offices  
 Parking Requirement - 1:300  
 BSA Waiver Requirement - 1:600

Terrace : 562.6 sq ft

**BSA NOTES:**

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 2579 East 17th St.  
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 11235

PROJECT NO.: 14/15  
 DATE: 4/4/16  
 TIME: 12:28:04 PM

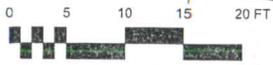
SCALE: Refer to Plans  
 DOB Application No.: 3336746

DRAWN BY: SBD  
 Checked BY: RJP

SHEET TITLE:  
 5th Fl. Plan

A010.00  
 of  
 18

DOB Job Sticker



1 5th Floor Plan  
 Scale: 3/32" = 1'-0"

63'-7" Lot & Bldg  
**EAST 17TH STREET**



63'-0" Lot & Bldg

82'-0 1/4"

20'-0"

49'-4" Bldg

12'-8"

20'-0"

41'-2" Bldg

93'-6" Lot

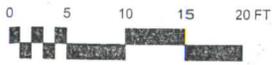
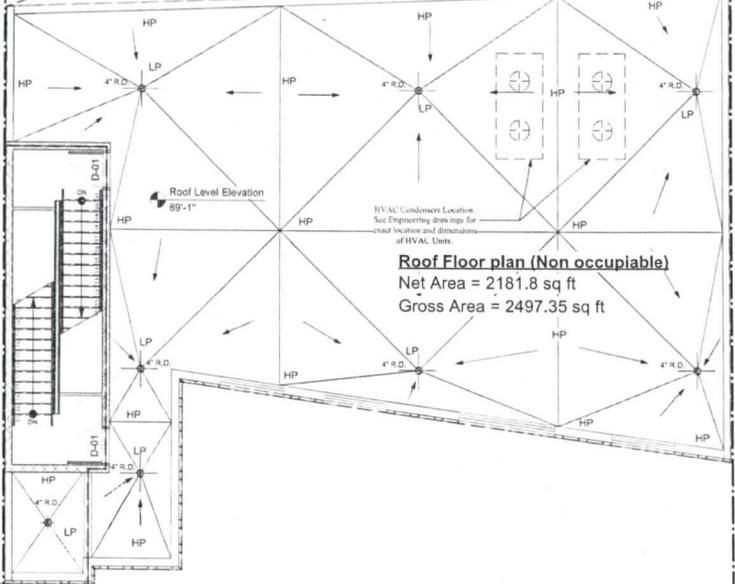
32'-3"

63'-7" Lot & Bldg

EAST 17TH STREET

**BSA NOTES:**

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1 Roof Plan  
Scale: 3/32" = 1'-0"



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 & Community Facility  
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 11235

PROJECT NO: 14/15	DATE: 4/4/16 TIME: 12:28:04 PM
SCALE: Refer to Plans	DOB Application No.: 3336746
DRAWN BY: SBD	Checked BY: RJP

SHEET TITLE:  
**Roof Plan**

A011.00  
of  
18

DOB Job Sticker



Architecture | Planning | Design  
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 2579 East 17th St.  
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 11235

PROJECT NO.: 14/15 DATE: 4/4/16  
 TIME: 12:28:05 PM

SCALE: Refer to Plans DOB Application No.: 3336746

DRAWN BY: SBD CHECKED BY: RJP

SHEET TITLE:  
 South Elevation

A012.00  
 of 18

DOB Job Sticker

**BSA NOTES:**

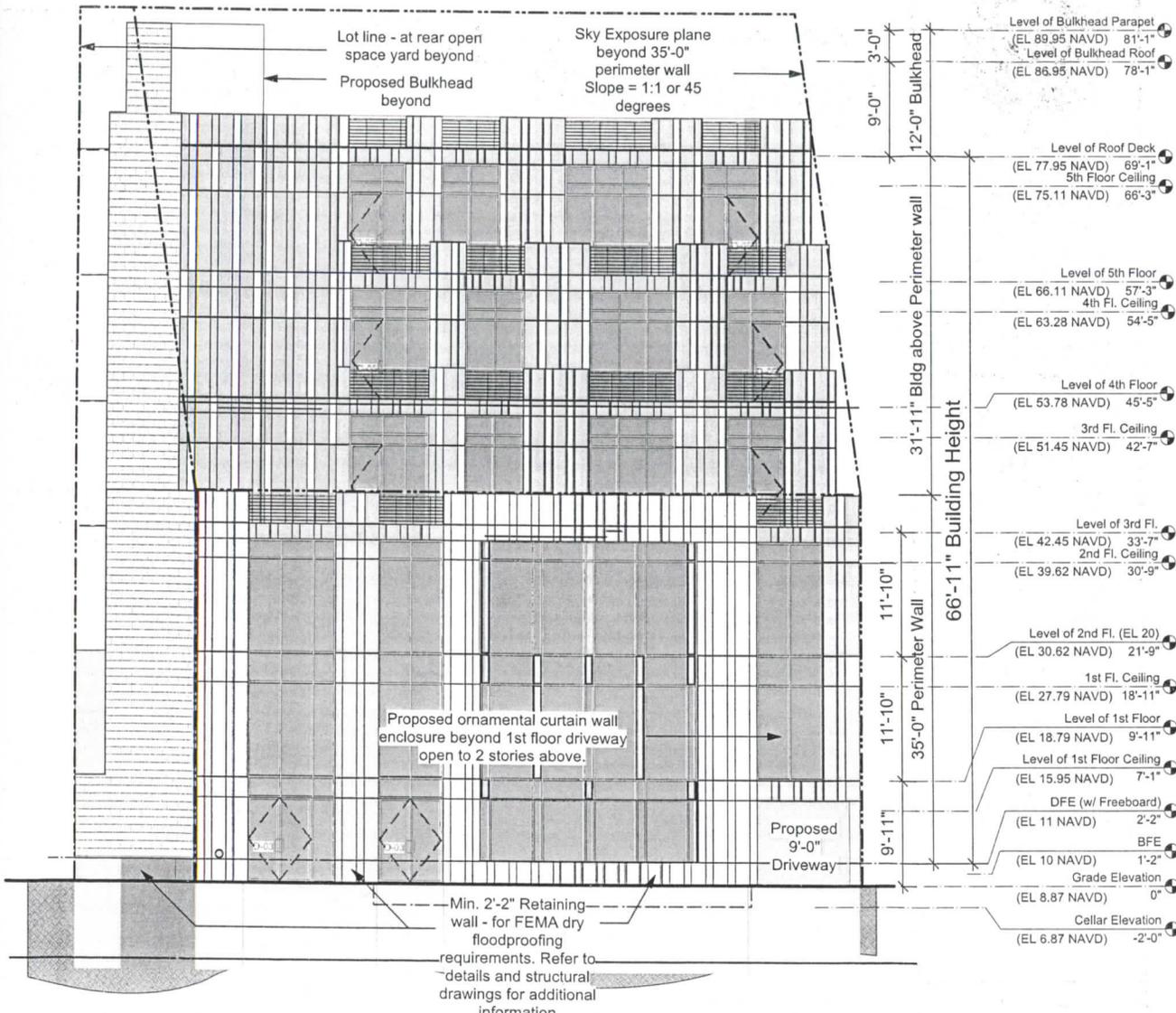
COMMERCIAL AND COMMUNITY FACILITY USES:

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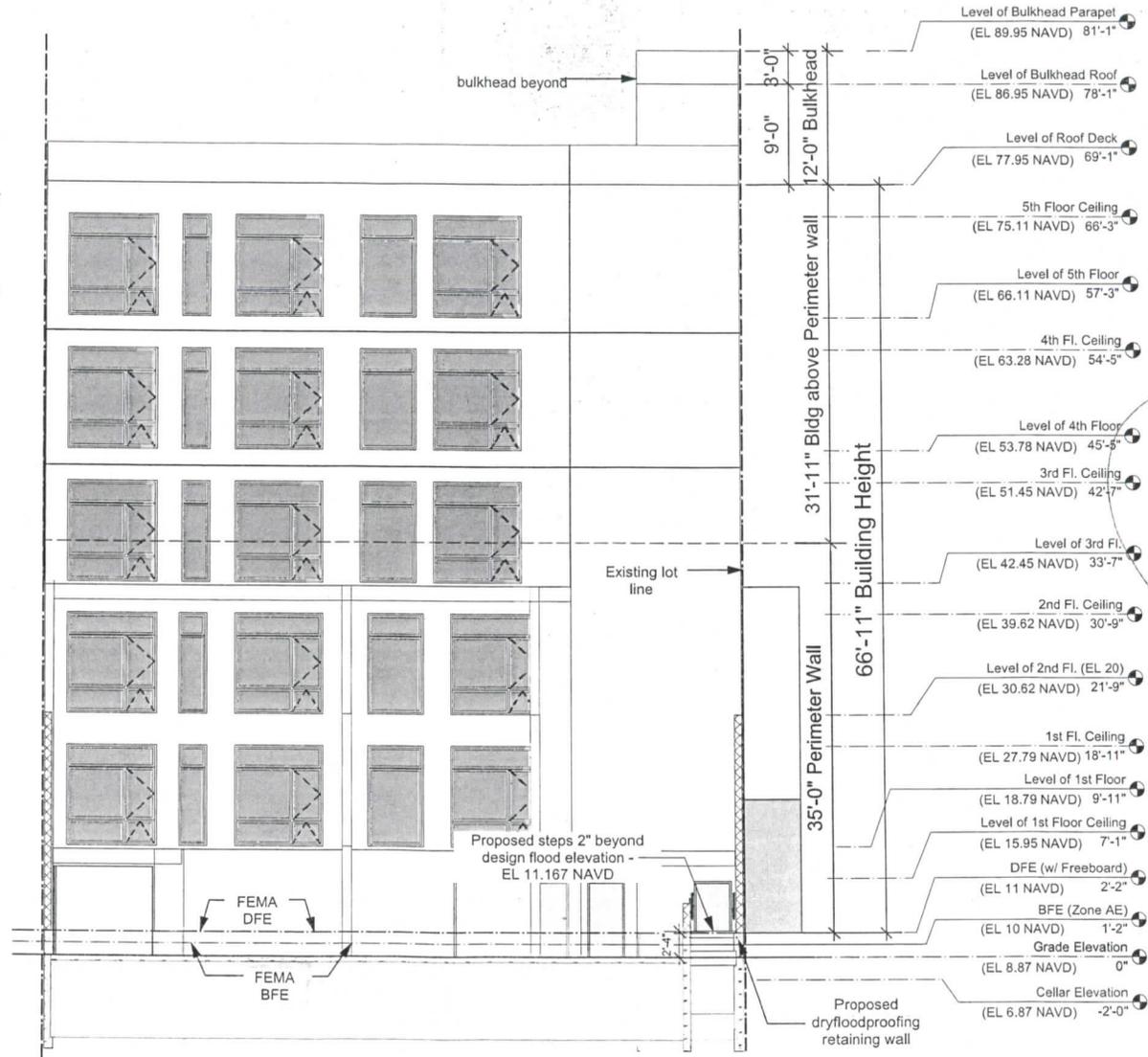
4. MAXIMUM NUMBER OF SPACES APPROVED BY BSA SHALL NOT BE EXCEEDED; LAYOUT IS SUBJECT TO DOB APPROVAL.



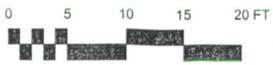
1 South Elevation  
 Scale: 3/32" = 1'-0"  
 0 5 10 15 20 FT

**BSA NOTES:**

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2 North Elevation  
 Scale: 3/32" = 1'-0"



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 11235

PROJECT NO.: 14/15  
 DATE: 4/4/16  
 TIME: 12:28:24 PM

SCALE: Refer to Plans  
 DOB Application No.: 3336746

DRAWN BY: SBD  
 CHECKED BY: RJP

SHEET TITLE:  
**North Elevation**

A013.00  
 of  
 18

DOB Job Sticker



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 Blended Use Commercial  
 & Community Facility  
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 2579 East 17th St.  
 Brooklyn, NY  
 11235

PROJECT NO.: 14/15 DATE: 4/4/16  
 TIME: 12:28:31 PM

SCALE: Refer to Plans DOB Application No.: 3336746

DRAWN BY: SBD Checked BY: RJP

SHEET TITLE:  
 East Elevation

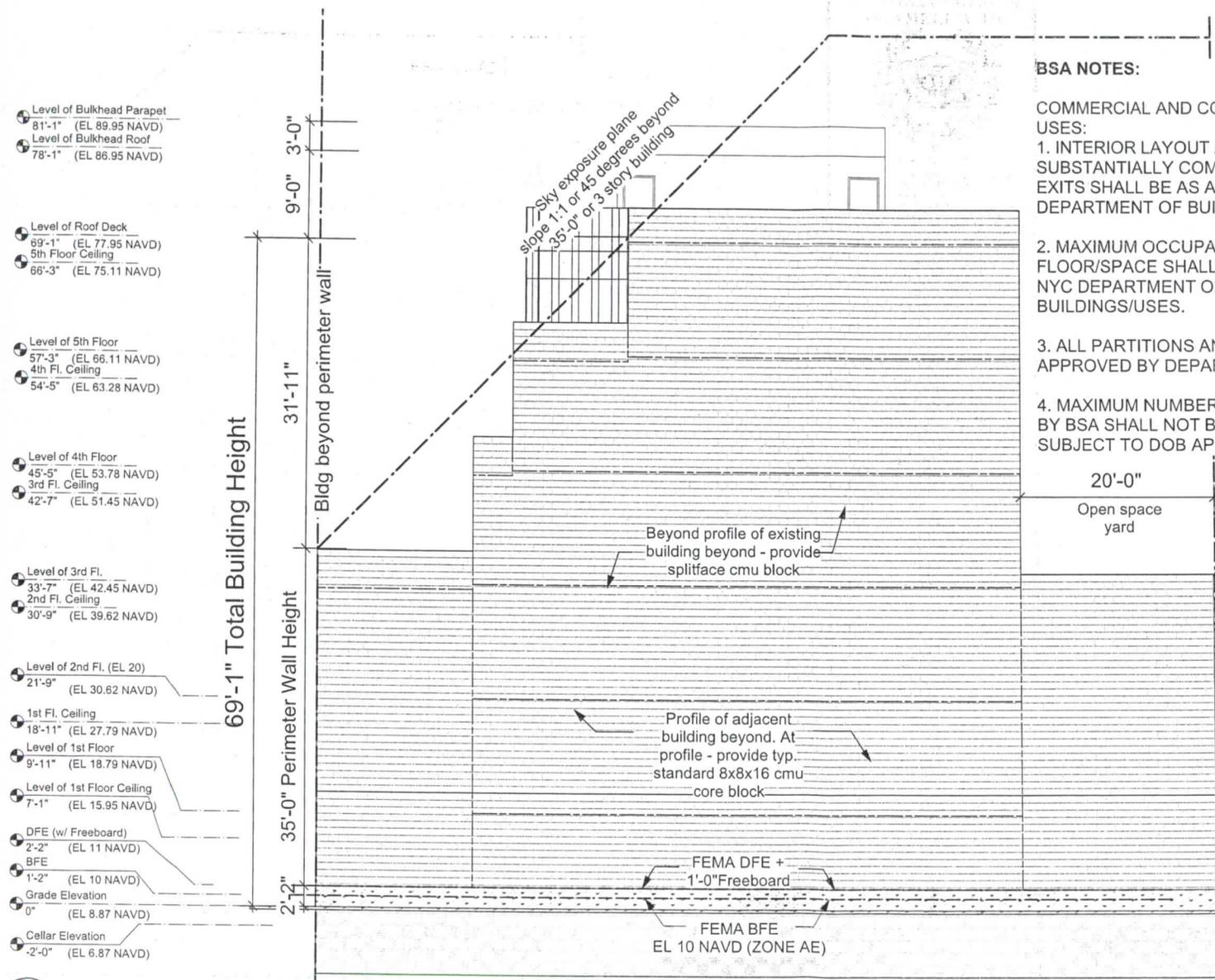
A014.00  
 of 18

DOB Job Sticker

**BSA NOTES:**

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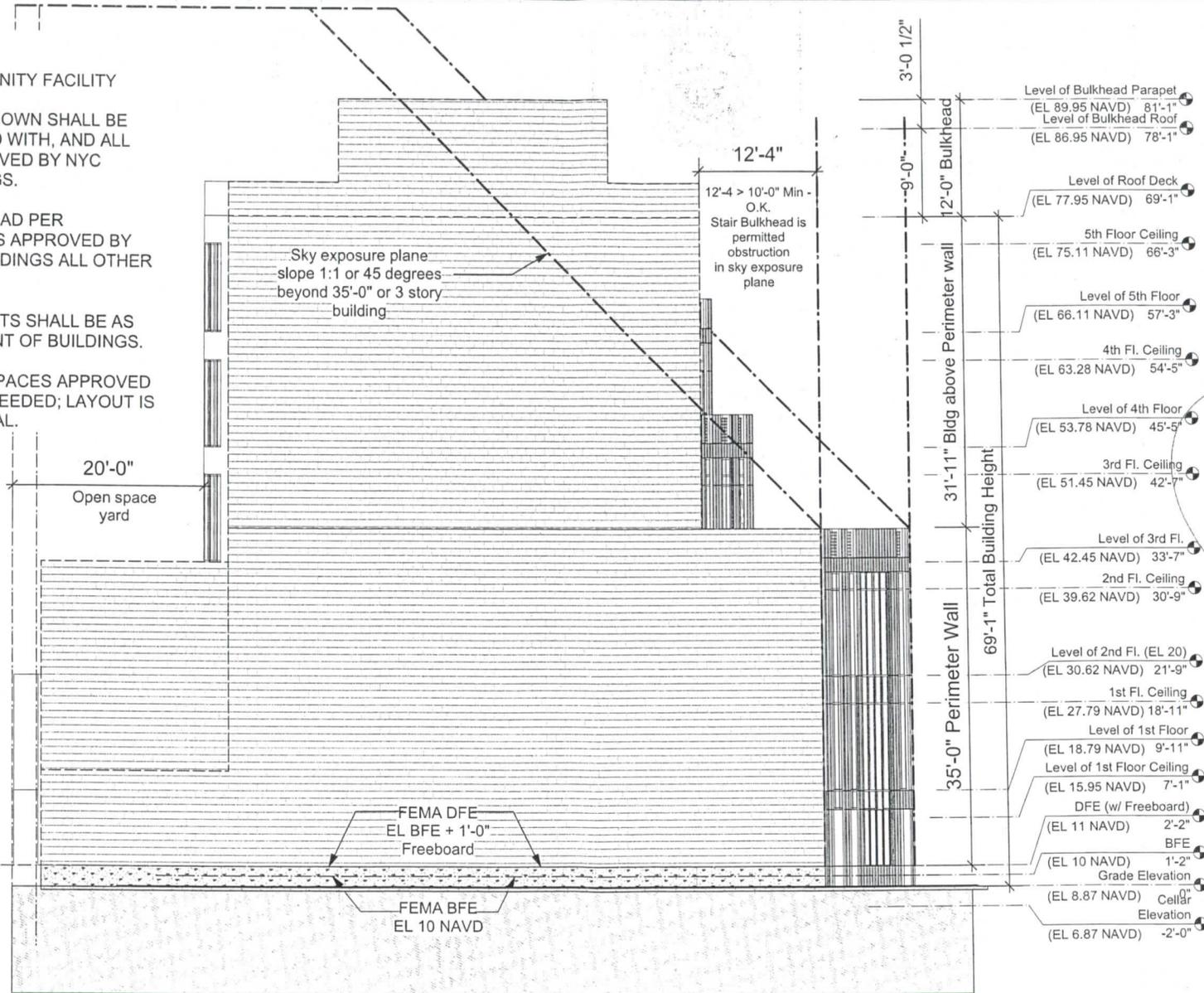
- Level of Bulkhead Parapet 81'-1" (EL 89.95 NAVD)
- Level of Bulkhead Roof 78'-1" (EL 86.95 NAVD)
- Level of Roof Deck 89'-1" (EL 77.95 NAVD)
- 5th Floor Ceiling 66'-3" (EL 75.11 NAVD)
- Level of 5th Floor 57'-3" (EL 66.11 NAVD)
- 4th Fl. Ceiling 54'-5" (EL 63.28 NAVD)
- Level of 4th Floor 45'-5" (EL 53.78 NAVD)
- 3rd Fl. Ceiling 42'-7" (EL 51.45 NAVD)
- Level of 3rd Fl. 33'-7" (EL 42.45 NAVD)
- 2nd Fl. Ceiling 30'-9" (EL 39.62 NAVD)
- Level of 2nd Fl. (EL 20) 21'-9" (EL 30.62 NAVD)
- 1st Fl. Ceiling 18'-11" (EL 27.79 NAVD)
- Level of 1st Floor 9'-11" (EL 18.79 NAVD)
- Level of 1st Floor Ceiling 7'-1" (EL 15.95 NAVD)
- DFE (w/ Freeboard) 2'-2" (EL 11 NAVD)
- BFE 1'-2" (EL 10 NAVD)
- Grade Elevation 0" (EL 8.87 NAVD)
- Cellar Elevation -2'-0" (EL 6.87 NAVD)

1 East Elevation  
 Scale: 3/32" = 1'-0"  
 0 5 10 15 20 FT

**BSA NOTES:**

COMMERCIAL AND COMMUNITY FACILITY USES:

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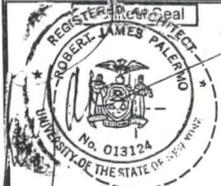
1

West Elevation  
Scale: 3/32" = 1'-0"



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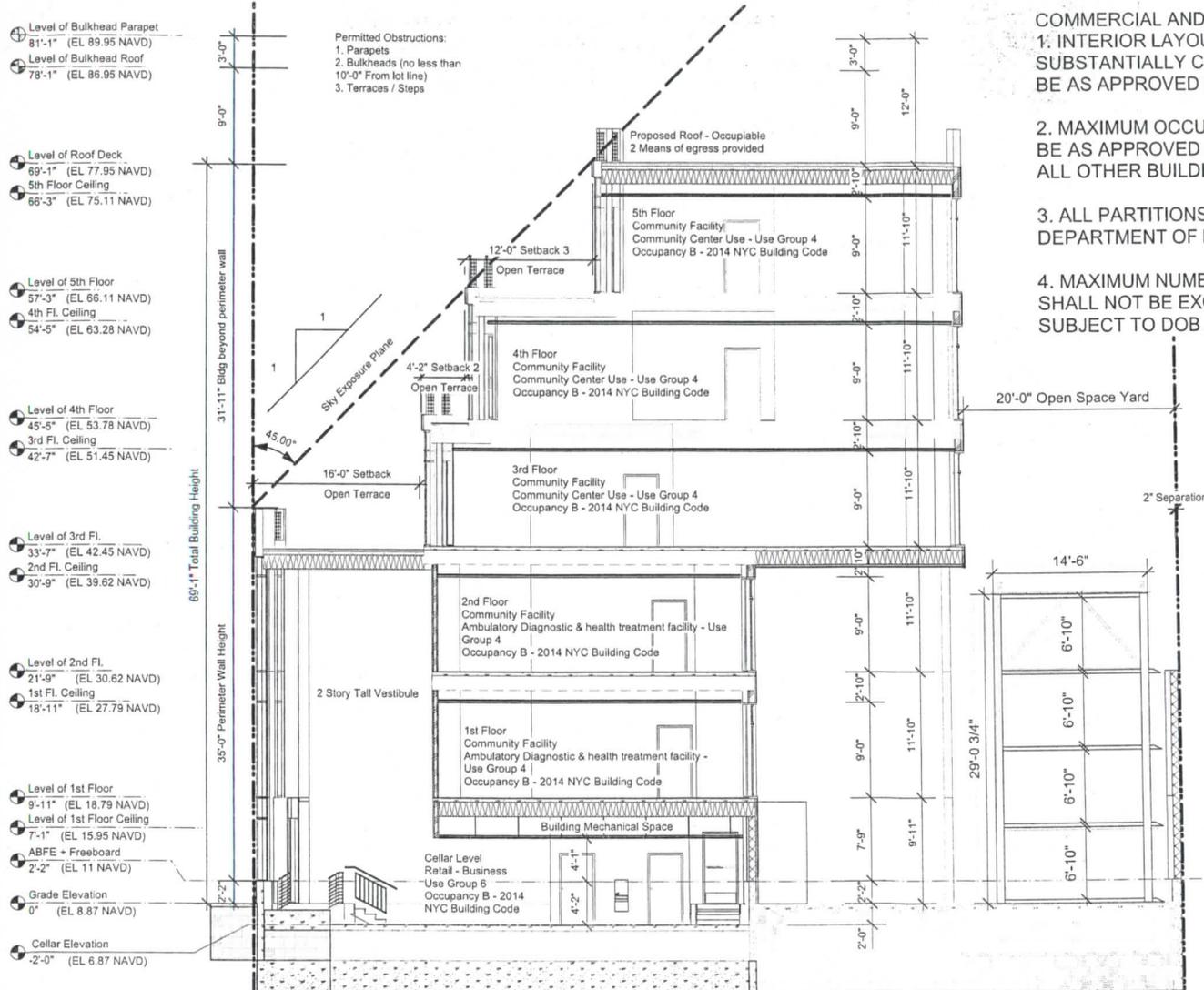
PROJECT NO.: 14/15	DATE: 4/4/16
SCALE: Refer to Plans	TIME: 12:28:32 PM
DOB Application No.:	3336746

DRAWN BY: SBD	Checked BY: RJP
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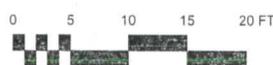
SHEET TITLE:  
**West Elevation**

A015.00  
of  
18

DOB Job Sticker



1 Longitudinal Section 1  
Scale: 3/32" = 1'-0"



**BSA NOTES:**

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2579 East 17th St.  
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PROJECT NO.: 14/15	DATE: 4/4/16 TIME: 12:28:36 PM
SCALE: Refer to Plans	DOB Application No.: 3336746
DRAWN BY: SBD	Checked BY: RJP

SHEET TITLE:  
 Section 1

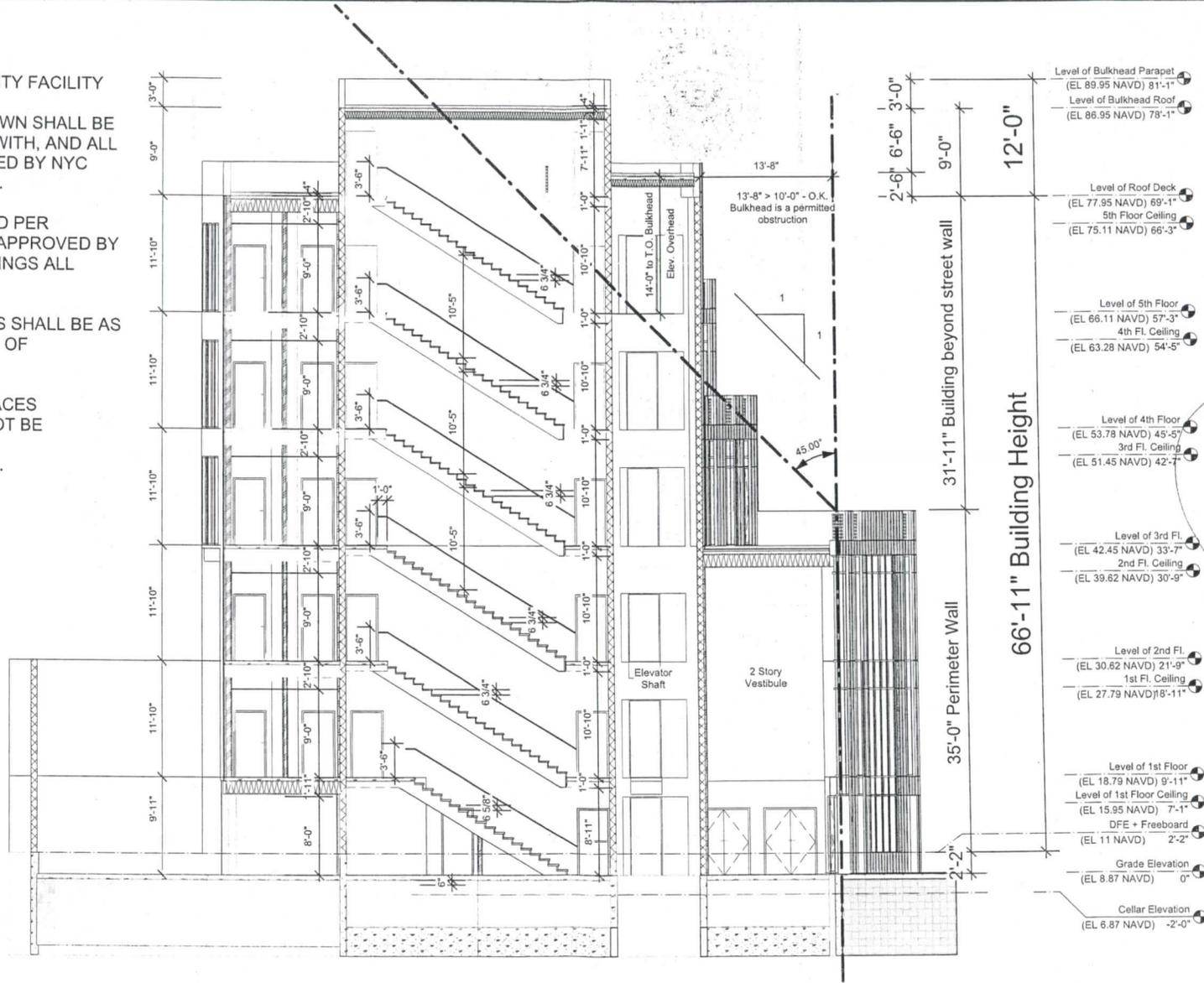
A016.00  
 of  
 18

DOB Job Sticker

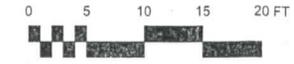
**BSA NOTES:**

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**1** Longitudinal Section 2  
Scale: 3/32" = 1'-0"



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2579 East 17th St.  
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11235

PROJECT NO.: 14/15	DATE: 4/4/16 TIME: 12:28:38 PM
SCALE: Refer to Plans	DOB Application No.: 3336746
DRAWN BY: SBD	Checked BY: RJP

SHEET TITLE:  
**Section 2**

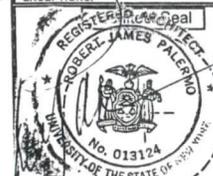
A017.00  
of  
18

DOB Job Sticker



Architecture | Planning | Design  
**Robert J. Palermo, RA, AIA**  
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 2579 East 17th St.  
 Brooklyn, NY  
 11235

PROJECT NO.: 14/15 DATE: 4/4/16  
 TIME: 12:28:41 PM

SCALE: Refer to Plans DOB Application No.: 3336746

DRAWN BY: SBD CHECKED BY: RJP

SHEET TITLE:

Section 3

A018.00  
 of  
 18

DOB Job Sticker

**BSA NOTES:**

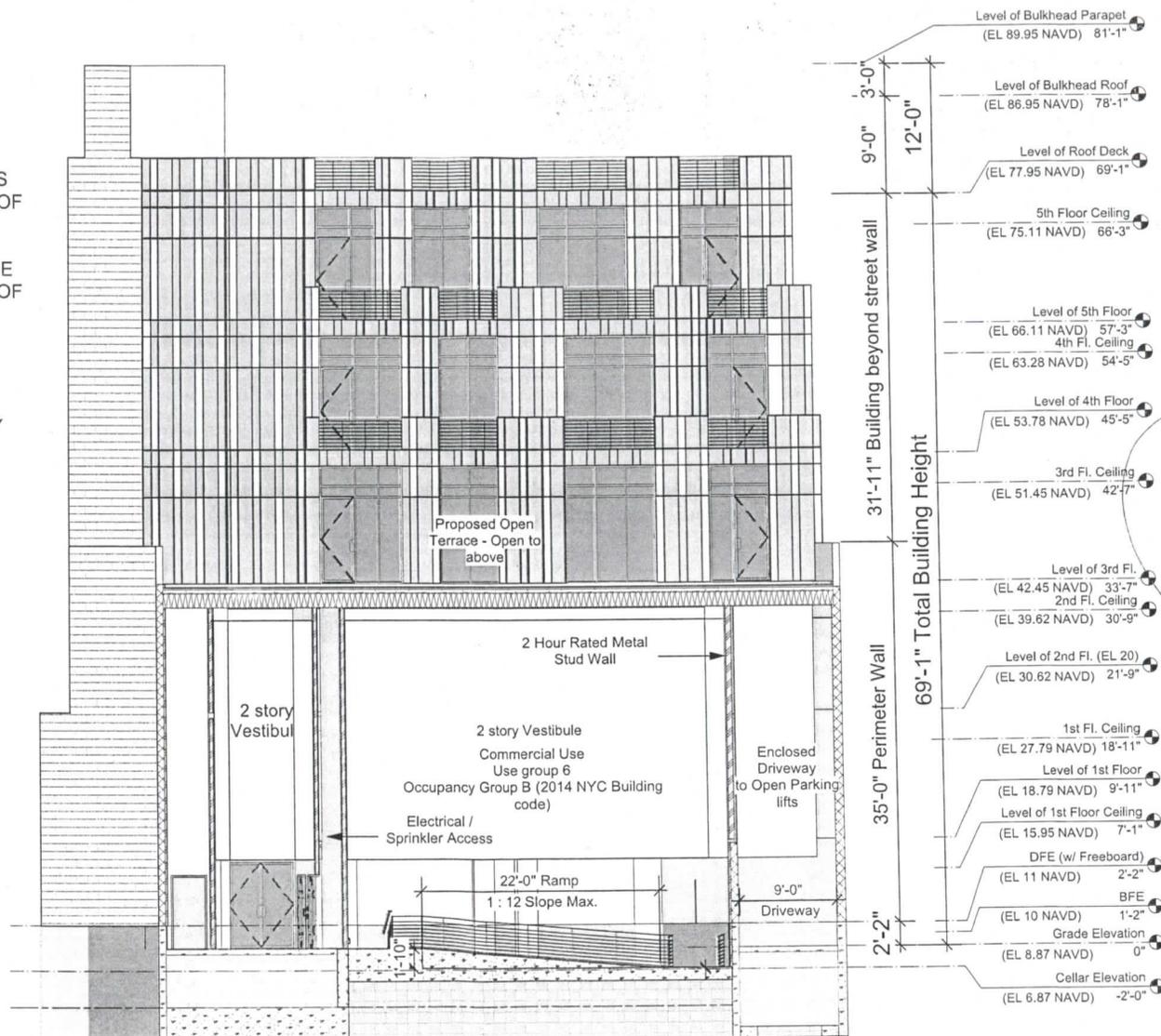
**COMMERCIAL AND COMMUNITY FACILITY USES:**

1. INTERIOR LAYOUT AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE AS APPROVED BY NYC DEPARTMENT OF BUILDINGS.

2. MAXIMUM OCCUPANT LOAD PER FLOOR/SPACE SHALL BE AS APPROVED BY NYC DEPARTMENT OF BUILDINGS ALL OTHER BUILDINGS/USES.

3. ALL PARTITIONS AND EXITS SHALL BE AS APPROVED BY DEPARTMENT OF BUILDINGS.

4. MAXIMUM NUMBER OF SPACES APPROVED BY BSA SHALL NOT BE EXCEEDED; LAYOUT IS SUBJECT TO DOB APPROVAL.



2 Latitudinal Section - 2 Story Vestibule  
 Scale: 3/32" = 1'-0"

